

329 GREENFIELD AVENUE
SAN MATEO, CA 94403



ARCHITECTURE + INTERIORS

329 GREENFIELD AVENUE

SAN MATEO, CA 94403

12SINGLE FAMILY DATA INFORMATION			1GENERAL NOTES			1PROJECT SUMMARY			1DRAWING SHEET INDEX						
SITE ADDRESS:		329 GREENFIELD AVE. SAN MATEO, CA 94403		1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURE WITH THE PROJECT. NEITHER THE OWNER NOR THE ARCHITECT IS RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW PROPER SAFETY PROCEDURES. 2. ALL CODES HAVING JURISDICTION ARE HEREBY MADE A PART OF THIS DOCUMENT AND ARE TO BE STRICTLY OBSERVED BY THE CONTRACTOR IN THE CONSTRUCTION OF THE PROJECT. IN THE EVENT OF CONFLICT BETWEEN THESE DOCUMENT AND THE CODE, THE CODE SHALL PREVAIL. ANY CONFLICT OR DISCREPANCY SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. 3. ALL WORK TO BE ACCEPTABLE, MUST BE IN COMPLIANCE WITH THESE DRAWINGS AND SPECIFICATIONS, AND UST BE OF A QUALITY EQUAL OR BETTER THAN THE STANDARD OF THE TRADE. FINISHED WORKS SHALL BE FIRM, LEVEL-ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE. 4. CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER, RAIN, WINDSTORMS, OR HEAT SO AS TO MAINTAIN ALL WORK, MATERIALS, EQUIPMENT AND APPARATUS FREE FORM INJURY OR DAMAGE. 5. CONTRACTOR SHALL VISIT THE SITE OF THE PROJECT, EXAMINE FOR HIMSELF/HERSELF THE NATURE OF THE EXISTING CONDITIONS AND ALL OTHER CONDITIONS RELEVANT TO THE SATISFACTORY COMPLETION FO TEH PROJECT. SUBMISSION OF A BID FOR CONSTRUCTION SHALL BE CONSIDERED EVIDENCE OF SUCH EXAMINATION BY THE CONTRACTOR. 6. BEFORE ORDERING MATERIAL OR COMMENCING WORK WHICH IS DEPENDENT FOR THE PROPER SIZE AND INSTALLATION UPON COORDINATION WITH CONDITIONS IN THE BUILDING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS. ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND THE EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR ADJUSTMENTS BEFORE ANY WORK BEGINS OR MATERIALS ARE PURCHASED. 7. MATERIALS, PRODUCT AND EQUIPMENT SHALL ALL BE NEW, EXCEPT AS SPECIFICALLY NOTED OTHERWISE. 8. CONTRACTOR SHALL BE RESPONSIBLE FOR T LOCATION ALL DEBRIS IN A LOCATION OF THE PROPERTY APPROVE BY THE OWNER AND SHALL REMOVE SAME IN A TIMELY MANNER DURING THE COURSE OF WORK. 9. CONTRACTOR SHALL REMOVE FROM SITE ALL EXISTING CONSTRUCTION AND IMPROVEMENTS NECESSARY FRO COMPLETION OF THE PROJECT, PROTECTION FROM DAMAGE OR INJURY ALL EXISTING TREES, LANDSCAPING AND IMPROVEMENT INDICATED BY THE DRAWINGS. 10. EXCAVATE ALL FOOTING AS NECESSARY, INDICATED ON THE DRAWING TO REACH SOLID, UNDISTURBED SOIL. BOTTOMS FOR EXCAVATIONS SHALL BE LEVEL, CLEAN AND DRY AND AT THE ELEVATIONS INDICATED ON THE STRUCTURAL DRAWINGS. 11. PROVIDE FINISH GRADES TO DRAIN AWAY FROM THE FOUNDATIONS ON ALL SIDE OF THE BUILDING. IF THERE ARE EXTERIORS IMPROVEMENTS. 12. CONTRACTOR TO PRECISELY LOCATE ALL UTILITIES PRIOR TO ANY CONSTRUCTION AND/OR EXCAVATION. 13. SEE STRUCTURAL DRAWINGS FOR REQUIRED SPECIAL INSPECTIONS.		APN#:		042214030		ARCHITECTURAL: A0.0 COVER SHEET A0.1 GENERAL NOTES A0.2 CALGREEN CHECKLIST A0.3 ARBORIST REPORT A0.4 EXISTING AND PROPOSED EXTERIOR VIEWS A0.5 EXISTING FLOOR AREA DIAGRAM AND CALCULATIONS A0.6 PROPOSED FIRST & SECOND FLOOR AREA DIAGRAM AND CALCULATIONS A1.0 EXISTING SITE PLAN & PROPOSED SITE PLAN A1.1 EXISTING ROOF PLAN / DEMO PLAN A1.2 PROPOSED ROOF PLAN A1.3 PROPOSED SITE PLAN / ADJACENT PROPERTIES WINDOWS A1.4 EXISTING & PROPOSED PERVIOUS DIAGRAM AND CALCULATIONS A1.5 GRADING AND DRAINAGE PLAN A2.0 EXISTING FLOOR PLAN / DEMO PLAN A2.1 PROPOSED FIRST FLOOR & SECOND FLOOR PLAN A2.2 DOOR AND WINDOW SCHEDULES A3.0 EXISTING ELEVATIONS A3.1 EXISTING ELEVATIONS A3.2 PROPOSED ELEVATIONS A3.3 PROPOSED ELEVATIONS A4.0 SECTIONS AND DETAILS A4.1 STREETSCAPE ELEVATION A5.0 PROPOSED INTERIOR VIEWS A6.0 CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)		SURVEY:		SU-1 TOPOGRAPHIC AND BOUNDARY SURVEY	
APN: 042-214-030		042-214-030				ZONING:		R1-C Single Family							
ZONING CLASSIFICATION:		R1-C SINGLE FAMILY				CONSTRUCTION TYPE:		V-B							
LOT SIZE (SQ.FT.):		±5,268 SF				HISTORIC STATUS:		NONE							
PERMITTED FLOOR AREA RATIO:		50%				LOT SIZE:		±5,268 SF*							
MAXIMUM PERMITTED FLOOR AREA (SQ. FT.): ±		±2,634 SF				SETBACKS:									
SETBACK -FRONT:15'-0" REAR: 15'-0" / NEW CONSTRUCTION ABOVE SINGLE STORY 25'-0" LEFT: 5'-0" RIGHT: 5'-0"						FRONT:		15'-0"							
FLOOD ZONE: NO						SIDE:		5'-0"							
		EXISTING:		PROPOSED:		REAR:		15'-0" / NEW CONSTRUCTION ABOVE SINGLE STORY 25'-0"							
						PARKING:		(2) EXISTING COVERED PARKING SPACE IN GARAGE TO REMAIN							
FLOOR AREA (SQ. FT.):						MAX. FLOOR AREA:									
SINGLE FAMILY RESIDENCE¹:		±1,236 SF		±2,146 SF		MAX FA ALLOWED: 5,268 SF * 50% = ±2,634 SF									
ATTACHED/DETACHED GARAGE:		±404 SF		±404 SF		EXISTING FLOOR AREA:									
FRONT PORCH:		(-) ±140 SF		±99 SF		(E) HOUSE:		±1,236 SF							
COVERED PATIOS/ BALCONIES:		N/A		N/A		(E) GARAGE:		±404 SF							
DETACHED ACCESSORY STRUCTURES:		(-) ±106 SF (SHED)		TO BE DEMO		(E) SHED (TO BE DEMO):		(-) ±106 SF							
FRONT PORCH EXEMPTION (SUBTRACT UP TO 100 SQ. FT.):		±0 SF		(-) ±99 SF		(E) PORCH:		(-) ±140 SF							
TOTAL FLOOR AREA:		±1,640 SF		±2,550 SF		TOTAL EXISTING FLOOR AREA:		±1,640 SF*							
						PROPOSED FLOOR AREA:									
EXISTING INTERIOR FLOOR AREA TO BE REMODELED:		±638 SF				(E) HOUSE:		±1,236 SF							
PERCENTAGE AND LINEAR FEET OF EXISTING EXTERIOR RESIDENCE/ GARAGE WALLS TO BE DEMOLISHED²:		±55 LF (33%)				(E) GARAGE:		±404 SF							
TOTAL FLOOR AREA FOR PARKING REQUIREMENTS (SEE ZONING CODE SECTION 27.18.110):¹		2 GARAGE SPACES				(N) FIRST FLOOR ADDITION:		±344 SF							
TOTAL GARAGE PARKING STALLS (MIN. 10' BY 18'):		1 COVERED				(N) SECOND FLOOR ADDITION:		±566 SF							
TOTAL UNCOVERED PARKING STALLS (TANDEM NOT PERMITTED):		1 UNCOVERED				TOTAL PROPOSED FLOOR AREA:		±2,550 SF*							
LIST OF ALL HERITAGE TREES ON SITE INCLUDING SPECIES AND SIZE:						EXISTING LOT COVERAGE:									
1. SEE "SINGLE FAMILY RESIDENCE "FLOOR AREA" AND "PARKING FLOOR AREA" CALCULATION INFORMATION" ON PAGES 23-25 OF THIS GUIDE. RESIDENCE FLOOR AREA INCLUDES ALL PORCHES (WITH A LIMITED EXCLUSION), COVERED PATIOS, COVERED BALCONIES, POSSIBLY ATTICS AND BASEMENTS.						(E) HOUSE:		±1,236 SF							
2. EXISTING EXTERIOR WALLS THAT ARE CONVERTED TO INTERIOR WALLS SHALL BE COUNTED AS WALLS TO BE DEMOLISHED. DOORS, INCLUDING GARAGE DOORS, ENTRY DOORS, AND SLIDING GLASS DOORS, SHALL NOT BE INCLUDED IN THE PERCENTAGE CALCULATION OF AN EXISTING STRUCTURE'S EXTERIOR WALLS.						(E) GARAGE:		±404 SF							
						(E) PORCH:		±140 SF							
						(E) SHED:		±106 SF							
						TOTAL EXISTING LOT COVERAGE:		±1,886 SF*							
						PROPOSED LOT COVERAGE:									
						(E) HOUSE:		±1,236 SF							
						(E) GARAGE:		±404 SF							
						(E) SHED (TO BE DEMO):		(-) ±106 SF							
						(N) PORCH:		(-) ±99 SF							
						(N) FIRST FLOOR ADDITION:		(+) ±344 SF							
						(N) SECOND FLOOR ADDITION:		(+) ±566 SF							
						TOTAL PROPOSED LOT COVERAGE:		±2,550 SF*							
						NOTE:		FIRE SPRINKLERS WILL BE INSTALLED UNDER A SEPARATED DEFERRED FIRE PERMIT. APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.							

RENDERING OF PROPOSED FRONT ELEVATION



2	DEC. 20, 2022	PLANNING RESUBMITTAL
1	OCT. 1, 2022	PLANNING RESUBMITTAL
	JUNE 13, 2022	PLANNING SUBMITTAL



1A0.0

COVER SHEET

ABBREVIATIONS												CALIFORNIA GREEN BUILDING CODE- RESIDENTIAL MANDITORY MEASURES		GENERAL NOTES																																	
<div><div>A</div><div>AC ACOUST ACRE-FT AD ADJ AFF AGGR ALT ALUM/AL ANCH ANOD AP APPROX ARCH ASPH AVG</div></div>	<div><div>AIR CONDITIONING ACOUSTICAL ACRE-FOOT AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR AGGREGATE ALTERNATE ALUMINUM ANCHOR ANODIZED ACCESS PANEL APPROXIMATE ARCHITECT/ ARCHITECTURAL ASPHALT/ ASPHALTIC AVERAGE</div></div>	<div><div>DR DS DWG DWR</div></div>	<div><div>DOOR DOWNSPOUT DISHWASHER DRAWING DRAWER</div></div>	<div><div>GND GR GSM GYP GYP BD</div></div>	<div><div>GROUND GRADE GALVANIZED SHEET METAL GYPSUM GYPSUM BOARD</div></div>	<div><div>MP MS MTD MTG MTL MULL MW</div></div>	<div><div>METAL PANEL MOTION SENSOR MOUNTED MOUNTING METAL MULLION MICROWAVE</div></div>	<div><div>RD REBAR RECEP RECT REF REFR REINF REQD RESIL RETG REV RCSTR RM RND RO RWL</div></div>	<div><div>ROOF DRAIN REINFORCING RECEPTACLE RECTANGULAR REFERENCE REFRIGERATOR REINFORCED RESILIENT RETAINING REVISION REGISTER ROOM ROUND ROUGH OPENING RAIN WATER LEADER</div></div>	<div><div>TB TBD TCA TD TEL TEMP THK THRES TO TOC TOP TOPO TOS TOW TV TYP</div></div>	<div><div>TOWEL BAR TO BE DETERMINED TILE COUNCIL OF AMERICA TRENCH DRAIN TELEPHONE TEMPERED THICK THRESHOLD TOP OF TOP OF CONCRETE TOP OF PAVEMENT TOPOGRAPHY TOP OF STEEL TOP OF WALL TELEVISION TYPICAL</div></div>	<div><div>1. CGBSC 4.106: REFER TO CIVIL DRAWINGS FOR STORMWATER TREATMENT DURING CONSTRUCTION, SITE GRADING AND PAVING, & SITE DRAINAGE IN COMPLIANCE WITH LOCAL STORMWATER MANAGEMENT REQUIREMENTS.</div><div>2. CGBSC 4.303: REFER TO SHEET MEP 0.1, "PLUMBING GENERAL NOTES." FOR FIXTURE FLOW RATE REQUIREMENTS IN COMPLIANCE WITH CGBSC. 20% REDUCTION IN WATER USE SHALL BE DEMONSTRATED BY PRESCRIPTIVE/ PERFORMANCE METHOD PER 4.303.1.</div><div>3. CGBSC 4.304: REFER TO SHEET I1.1-11.4 FOR INFORMATION ON IRRIGATION AND WEATHER-BASED CONTROLLER SPECIFIC NOTES.</div><div>4. CGBSC 4.406: REFER TO SHEET A1.1, 'SITE PLAN' NOTE 12, FOR REQUIREMENTS ON RODENT PROOFING.</div><div>5. CGBSC 4.408: REFER TO SHEET A1.1, 'SITE PLAN' NOTE 12, FOR REQUIREMENTS ON CONSTRUCTION WASTE AND SALVAGE.</div><div>6. CGBSC 4.410: REFER TO SHEET A0.2, BUILDING MAINTENANCE & OPERATIONS, FOR REQUIREMENTS ON MAINTAINING PROJECT SYSTEMS.</div><div>7. CGBSC 4.500: PROJECT HAS BEEN DESIGNED AND DOCUMENTED TO COMPLY WITH THIS SECTION. REFER TO SPECIFICATIONS SECTION 01355.</div></div>	<div><div>1. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR, CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY AND OTHER CONDITIONS), DRAWINGS, SPECIFICATIONS, ADDENDA AND MODIFICATIONS ISSUED PRIOR TO OR AFTER EXECUTION OF THE CONTRACT, AND OTHER DOCUMENTS LISTED IN THE AGREEMENT.</div><div>2. THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT LEAVING ALL WORK READY FOR USE.</div><div>3. THE CONTRACT DOCUMENTS DESCRIBE SPECIFIC DESIGN INTENT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS. THE PLANS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL INCLUSIVE. ALL DEMOLITION AND NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWING IS INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES.</div><div>4. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.</div><div>5. THE GENERAL CONTRACTOR (AND ANY OTHER SUBCONTRACTORS REQUIRED) SHALL EXAMINE THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT HIS WORK. CONTRACTORS SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY THEMSELVES AS TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. THE GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCT WORK AND CONDUIT), AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. EXPOSED OR CONCEALED ELEMENTS SHALL BE DETERMINED AND REVIEWED WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.</div><div>6. ANY DISCREPANCIES OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.</div><div>7. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.</div><div>8. ALL DIMENSIONS ARE TO FACE OF FRAMING, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLR" ARE TO BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS NOTED AS "+/-".</div><div>9. ALL DIMENSIONS NOTED "VIF" ARE TO BE CHECKED BY CONTRACTOR PRIOR TO CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT.</div><div>10. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.</div><div>11. "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR.</div><div>12. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.</div><div>13. FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.</div><div>14. GRID LINES ARE SHOWN TO FACE OF FRAMING U.O.N. AND ARE FOR REFERENCE.</div><div>15. OWNER WILL PROVIDE WORK NOTED "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.</div><div>16. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.</div><div>17. VERIFY ALL EQUIPMENT SIZES BEFORE BEGINNING WORK.</div><div>18. FURNISH AND INSTALL ALL MISCELLANEOUS AND STRUCTURAL ITEMS (STEEL ALUMINUM, ETC. INCLUDING MATERIAL FOR SEPARATION OF DISSIMILAR METALS) FOR EXTERIOR WALL SYSTEMS, WINDOWS, ARCHITECTURAL GLASS, RAILINGS, PARAPET WALLS, SCREEN WALLS, MARQUEES, ETC. ASSOCIATED WITH THE BUILDING ENVELOPE AND ROOF.</div><div>19. IN THE EVENT OF CONFLICT BETWEEN DATA OR INFORMATION SHOWN ON DRAWINGS AND DATA AND INFORMATION IN THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DETAIL DRAWINGS SHALL TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE.</div><div>20. COORDINATE LOCATION AND PROVIDE BLOCKING, BACKING AND/OR REINFORCEMENTS IN PARTITIONS FOR ALL CABINETS, COUNTERTOPS AND ANY WALL MOUNTED ITEMS. REFER TO ELEVATIONS AND DETAILS FOR LOCATIONS OF WALL STANDARDS AND OTHER SUPPORTS.</div><div>21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY FRAMING, BRACING AND STRUCTURING ALL WALL, BULKHEAD AND OTHER DRYWALL CONSTRUCTION IN ACCORDANCE WITH APPLICABLE TYPICAL DETAILS CONTAINED IN THE DRAWINGS WHETHER OR NOT SPECIFICALLY REFERENCED IN THE PLANS.</div></div>																																		
<div><div>B</div><div>BD BITUM BLDG BLK BLKG BM BOT BRKT BTU BUR</div></div>												<div><div>BOARD BITUMINOUS BUILDING BLOCK BLOCKING BEAM BOTTOM BRACKET BRITISH THERMAL UNITS BUILT-UP ROOFING</div></div>	<div><div>(F) FABR FAR FB FD FDTN FF FH FHMS FHWS FIN FIXT FLASH FLR FLUOR FO FOC FOF FOM FOS FOT FRPF FS FT FTG FURR</div></div>	<div><div>FUTURE FABRICATE FLOOR AREA RATIO FLAT BAR FLOOR DRAIN FOUNDATION FINISH FLOOR FULL HEIGHT FLAT HEAD MACHINE SCREW FLAT HEAD WOOD SCREW FINISH FIXTURE FLASHING FLOOR FLUORESCENT FINISHED OPENING FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUD FACE OF TREAD FIREPROOFING FULL SIZE FOOT FOOTING FURRING</div></div>	<div><div>I</div><div>ID IN INCAD INFO INSUL INT</div></div>	<div><div>INSIDE DIAMETER/ DIMENSION INCH INCANDESCENT INFORMATION INSULATION INTERIOR</div></div>	<div><div>J</div><div>J-BOX JST JT</div></div>	<div><div>JUNCTION BOX JOIST JOINT</div></div>	<div><div>K</div><div>KD KIT</div></div>	<div><div>KILN DRIED KITCHEN</div></div>	<div><div>L</div><div>L LAM LAV LB LCD LD LP LTG</div></div>	<div><div>LONG/ LENGTH LAMINATE LAVATORY POUND LIQUID CRYSTAL DIODE LINEAR DIFFUSER LOW POINT LIGHT LIGHTING</div></div>	<div><div>M</div><div>MACH MAT MAX MBR</div></div>	<div><div>MACHINE MATERIAL MAXIMUM MODIFIED BITUMEN ROOFING MECHANICAL MEMBRANE MEZZANINE MANUFACTURER MIDDLE MINIMUM/ MINUTE MIRROR MISC MO</div></div>	<div><div>N</div><div>(N) N NIC NO NOM NRCA NTS</div></div>	<div><div>NEW NOT IN CONTRACT NUMBER NOMINAL NATIONAL ROOFING CONTRACTORS ASSOCIATION NOT TO SCALE</div></div>	<div><div>O</div><div>O/ OA OC OD OFCI</div></div>	<div><div>OVER OVERALL ON CENTER OUTSIDE DIMENSION OWNER FURNISHED/ CONTRACTOR INSTALLED FURNISHED/ OWNER INSTALLED OPPOSITE HAND OPENING OPPOSITE OXYGEN</div></div>	<div><div>P</div><div>PERF PERP PL PLAM PLAS PLUMB PLYWD PNT PRCST PREFAB PSF</div></div>	<div><div>PERFORATED PERPENDICULAR PLATE PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD PAINT/ PAINTED PRECAST PREFABRICATED POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT/ PRESSURE TREATED POLYVINYL BUTYRAL POWER</div></div>	<div><div>Q</div><div>QT QTY</div></div>	<div><div>QUARRY TILE QUANTITY</div></div>	<div><div>R</div><div>(R) R RAD RB RCP</div></div>	<div><div>REMOVE RISER RADIUS RUBBER BASE REFLECTED CEILING PLAN</div></div>	<div><div>S</div><div>S SCD SCHD SCR SCWD SECT SF SHT SHTHG SHWR SIM SLD</div></div>	<div><div>SOUTH/ SWITCH SOLID CORE SEE CIVIL DRAWINGS SCHEDULE SCREEN SOLID CORE WOOD DOOR SECTION SQUARE FOOT SHEET SHEATHING SHOWER SIMILAR SEE LANDSCAPE DRAWINGS SKYLIGHT SHEET METAL/ AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION SEE MECHANICAL DRAWING SHEET METAL SCREW SHEET MEMBRANE WATERPROOFING SPECIFICATIONS/ SPECIAL SUPPLY REGISTER SQUARE SEE STRUCTURAL DRAWINGS STAINLESS STEEL STANDARD STAGGER STEEL STORAGE STRUCTURAL SURFACE SUSPENDED SERVICE SURVEY SYMMETRICAL</div></div>	<div><div>T</div><div>T T&B T&G</div></div>	<div><div>TREAD/ THERMOSTAT TOP & BOTTOM TONGUE & GROOVE</div></div>	<div><div>U</div><div>UBC UL UNF UON</div></div>	<div><div>UNIFORM BUILDING CODE UNDERWRITER'S LABORATORY UNFINISHED UNLESS OTHERWISE NOTED</div></div>	<div><div>V</div><div>VERT VEST VG VIF</div></div>	<div><div>VERTICAL VESTIBULE VERTICAL GRAIN VERIFY IN FIELD</div></div>	<div><div>W</div><div>W W/ WD WH WIN WO WP WR WT WTR</div></div>	<div><div>WEST/ WIDE/ WIDTH WITH WOOD WATER HEATER WINDOW WHERE OCCURS WITHOUT WATERPROOF WATER RESISTANT WEIGHT WATER</div></div>	<div><div>WILDLAND URBAN INTERFACE</div></div>	<div><div>PROJECT SHALL COMPLY WITH SECTION R327 OF CALIFORNIA RESIDENTIAL CODE, 2013 EDITION:</div><div>1. PROPOSED CONSTRUCTION MATERIALS SHALL BE NON-COMBUSTIBLE / IGNITION RESISTANT PER CRC SECTION 327.4.</div><div>2. PROPOSED ROOFING SHALL BE COMPLY WITH CRC SECTION R327.5.</div><div>3. VENTING FOR SOFFITS AND EAVES SHALL BE HAVE MESH SCREENING PER CRC SECTION R327.6.</div><div>4. EXTERIOR COVERING SHALL BE COMPLY WITH CRC R327.7.</div><div>5. EXTERIOR WINDOWS AND DOORS SHALL BE MULTI-PANED, TEMPERED GLASS PER CRC SECTION R327.8.</div><div>6. EXTERIOR DECKING AND WALKWAYS SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT PER CRC SECTION R327.9.</div></div>	<div><div>7. THE GENERAL CONTRACTOR (AND ANY OTHER SUBCONTRACTORS REQUIRED) SHALL EXAMINE THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT HIS WORK. CONTRACTORS SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY THEMSELVES AS TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. 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<div><div>C</div><div>C/C CB CEM CER CLG CLR CMU CNTR COL COMB CONC CONST CONT CONTR CPT CT CTR CTSK CW</div></div>												<div><div>CENTER TO CENTER CATCH BASIN CEMENT CERAMIC CEILING CAULKING CLEAR CONCRETE MASONRY UNIT COUNTER COLUMN COMBINATION CONCRETE CONSTRUCTION CONTINUOUS CONTRACTOR CARPET CERAMIC TILE CENTER COUNTERSUNK COLD WATER</div></div>	<div><div>FHMS FHWS FIN FIXT FLASH FLR FLUOR FO FOC FOF FOM FOS FOT FRPF FS FT FTG FURR</div></div>	<div><div>FUTURE FABRICATE FLOOR AREA RATIO FLAT BAR FLOOR DRAIN FOUNDATION FINISH FLOOR FULL HEIGHT FLAT HEAD MACHINE SCREW FLAT HEAD WOOD SCREW FINISH FIXTURE FLASHING FLOOR FLUORESCENT FINISHED OPENING FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUD FACE OF TREAD FIREPROOFING FULL SIZE FOOT FOOTING FURRING</div></div>	<div><div>J</div><div>J-BOX JST JT</div></div>	<div><div>JUNCTION BOX JOIST JOINT</div></div>	<div><div>K</div><div>KD KIT</div></div>	<div><div>KILN DRIED KITCHEN</div></div>	<div><div>L</div><div>L LAM LAV LB LCD LD LP LTG</div></div>	<div><div>LONG/ LENGTH LAMINATE LAVATORY POUND LIQUID CRYSTAL DIODE LINEAR DIFFUSER LOW POINT LIGHT LIGHTING</div></div>	<div><div>M</div><div>MACH MAT MAX MBR</div></div>	<div><div>MACHINE MATERIAL MAXIMUM MODIFIED BITUMEN ROOFING MECHANICAL MEMBRANE MEZZANINE MANUFACTURER MIDDLE MINIMUM/ MINUTE MIRROR MISC MO</div></div>	<div><div>N</div><div>(N) N NIC NO NOM NRCA NTS</div></div>	<div><div>NEW NOT IN CONTRACT NUMBER NOMINAL NATIONAL ROOFING CONTRACTORS ASSOCIATION NOT TO SCALE</div></div>	<div><div>O</div><div>O/ OA OC OD OFCI</div></div>	<div><div>OVER OVERALL ON CENTER OUTSIDE DIMENSION OWNER FURNISHED/ CONTRACTOR INSTALLED FURNISHED/ OWNER INSTALLED OPPOSITE HAND OPENING OPPOSITE OXYGEN</div></div>	<div><div>P</div><div>PERF PERP PL PLAM PLAS PLUMB PLYWD PNT PRCST PREFAB PSF</div></div>	<div><div>PERFORATED PERPENDICULAR PLATE PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD PAINT/ PAINTED PRECAST PREFABRICATED POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT/ PRESSURE TREATED POLYVINYL BUTYRAL POWER</div></div>	<div><div>Q</div><div>QT QTY</div></div>	<div><div>QUARRY TILE QUANTITY</div></div>	<div><div>R</div><div>(R) R RAD RB RCP</div></div>	<div><div>REMOVE RISER RADIUS RUBBER BASE REFLECTED CEILING PLAN</div></div>	<div><div>S</div><div>S SCD SCHD SCR SCWD SECT SF SHT SHTHG SHWR SIM SLD</div></div>	<div><div>SOUTH/ SWITCH SOLID CORE SEE CIVIL DRAWINGS SCHEDULE SCREEN SOLID CORE WOOD DOOR SECTION SQUARE FOOT SHEET SHEATHING SHOWER SIMILAR SEE LANDSCAPE DRAWINGS SKYLIGHT SHEET METAL/ AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION SEE MECHANICAL DRAWING SHEET METAL SCREW SHEET MEMBRANE WATERPROOFING SPECIFICATIONS/ SPECIAL SUPPLY REGISTER SQUARE SEE STRUCTURAL DRAWINGS STAINLESS STEEL STANDARD STAGGER STEEL STORAGE STRUCTURAL SURFACE SUSPENDED SERVICE SURVEY SYMMETRICAL</div></div>	<div><div>T</div><div>T T&B T&G</div></div>	<div><div>TREAD/ THERMOSTAT TOP & BOTTOM TONGUE & GROOVE</div></div>	<div><div>U</div><div>UBC UL UNF UON</div></div>	<div><div>UNIFORM BUILDING CODE UNDERWRITER'S LABORATORY UNFINISHED UNLESS OTHERWISE NOTED</div></div>	<div><div>V</div><div>VERT VEST VG VIF</div></div>	<div><div>VERTICAL VESTIBULE VERTICAL GRAIN VERIFY IN FIELD</div></div>	<div><div>W</div><div>W W/ WD WH WIN WO WP WR WT WTR</div></div>	<div><div>WEST/ WIDE/ WIDTH WITH WOOD WATER HEATER WINDOW WHERE OCCURS WITHOUT WATERPROOF WATER RESISTANT WEIGHT WATER</div></div>	<div><div>WILDLAND URBAN INTERFACE</div></div>	<div><div>PROJECT SHALL COMPLY WITH SECTION R327 OF CALIFORNIA RESIDENTIAL CODE, 2013 EDITION:</div><div>1. 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ARCHITECTURE + INTERIORS

329 GREENFIELD AVENUE

SAN MATEO, CA 94403

2	DEC. 20, 2022	PLANNING RESUBMITTAL
1	OCT. 1, 2022	PLANNING RESUBMITTAL
	JUNE 13, 2022	PLANNING SUBMITTAL



A0.1

GENERAL NOTES



ARCHITECTURE + INTERIORS

329 GREENFIELD AVENUE

SAN MATEO, CA 94403

COMMUNITY DEVELOPMENT DEPARTMENT

330 West 20th Avenue
San Mateo, CA 94403
www.cityofsanmateo.org

CALGREEN: RESIDENTIAL BUILDING PLAN SUBMITTAL CHECKLIST

New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the buildings conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

* LOCAL GREEN BUILDING AND ENERGY ORIDNANCE MEASURES ARE LOCATED WITHIN THE CHECKLIST AND ARE IDENTIFIED WITH "SMMC" AND THE SAN MATEO MUNICIPAL CODE REFERENCE.

BUILDING PERMIT #: _____
ADDRESS: 329 GREENFIELD AVENUE, SAN MATEO, CA 94403

Feature or Measure (For full details of the code requirements see the 2019 Cal Green Code)	Yes/No and Plan Reference
PLANNING AND DESIGN SITE DEVELOPMENT (4.106)	
Storm water pollution control. A plan has been developed and will be implemented to manage storm water drainage during construction per CGC 4.106.2 & 4.106.3. Note: Refer to the State Water Resource Control Board for project which disturb one acre or more of soil or are part of a larger common plan of development which in total disturbs one acre or more of soil. Grading and Paving. Construction plans to indicate how site grading and drainage system will manage all water flows to keep water from entering buildings. Examples found at CGC 4.106.3. Alterations and additions are excluded.	Yes Sheet A6.0
*Electric Vehicle Charging for New Construction. Single Family, Duplex, and Townhouse: For new single-family, duplex, and townhouse, install electric vehicle charging wiring and panels per the requirements of SMMC 23.70.030. Multifamily dwelling: New Multifamily, install electric vehicle charging wiring and panels per SMMC 23.24.040: • Tier 1: 15 percent of the total number of parking spaces on a building site, provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging spaces (EV spaces) capable of supporting future electric vehicle supply equipment (EVSE). Calculations for required number of EV spaces shall be rounded up to the nearest whole number. • All EV space design requirements shall be follow under SMMC 23.70.060.	
ENERGY EFFICIENCY LOCAL & CA ENERGY CODE	
New low-rise residential Solar Installation: For new low-rise residential buildings, including single family, duplexes, etc., see Section 150.1.(c).14 of the 2019 California Energy Code, Equation 150.1-C. * Local amendment for mandatory solar installations (SMMC 23.24.030). New High-Rise Residential Building: For new high-rise residential building (4 stories or more) shall provide a minimum of a 3-kilowatt photovoltaic system.	
WATER EFFICIENCY AND CONSERVATION INDOOR WATER USE (CGC 4.303)	
Water conserving plumbing fixtures. Plumbing fixtures (Water closets and urinals) shall comply with the following: 1. The effective flush volume of all water closets shall not exceed 1.28 gal/flush (CGC 403.1.1). 2. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gal/flush. The effective flush volume for all other urinals shall not exceed 0.5 gal/flush. (CGC 403.1.2).	Yes Sheet A2.2

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Feature or Measure (For full details of the code requirements see the 2019 Cal Green Code)	Yes/No and Plan Reference
Water conserving plumbing fittings. Fittings (faucets and showerheads) have all required standards listed on plans and are in accordance to CGC 4.303.1.3 and CGC 403.1.4.	
OUTDOOR WATER USE (CGC 4.304)	
Scope. The provisions of Section 4.304 reference the mandatory Model Water Efficiency Landscape Ordinance (MWEL) contained within Chapter 2.7, Division 2, Title 23 of the California Code of Regulations per CGC 4.304.1. WATER REUSE SYSTEMS (CGC 4.305)	
Laundry to Landscape Infrastructure. New single-family dwellings shall install a three-way diverter valve at the drain line intended for optional laundry-to-landscape irrigation per CGC 4.305.1.	
MATERIAL CONSERVATION AND RESOURCE EFFICIENCY ENHANCED DURABILITY AND REDUCED MAINTENANCE (CGC 4.406)	
Rodent Proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be rodent proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency per CGC 4.406.1.	Yes
CONSTRUCTION WASTE REDUCTION, DISPOSAL, AND RECYCLING (CGC 4.408)	
Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste per CGC 4.408.1	Yes
BUILDING MAINTENANCE AND OPERATION (CGC 4.410)	
Operation and maintenance manual. An operation and maintenance manual will be provided to the building occupant or owner per CGC 4.410.1.	Yes
Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a single site, provide readily accessible collection areas that serve all buildings on the site for depositing, storage and collection of non-hazardous recyclables (including paper, corrugated cardboard, glass, plastics, organic waste, and metals) per CGC 4.410.2.	Yes
ENVIRONMENTAL QUALITY	
Fireplaces. Any gas fireplaces shall be a direct-vent sealed-combustible type.	
Woodstoves. Any wood stove or pellet stove shall comply with US EPA New Source Performance Standards emission limits per CGC 4.503.1.	
POLLUTANT CONTROL (CGC 4.504)	
Duct and mechanical systems protection. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution components openings shall be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris, which may enter the system per CGC 4.504.1.	Yes
Finish material pollutant control. Finish materials shall comply with Sections 4.504.2.1 through 4.504.5.1.	Yes
Adhesives, sealants and caulks. Adhesives, sealants and caulks used on the project shall meet the requirements of the standards listed in CGC 4.504.2.1.	Yes
Paints and coatings. Paints and coatings shall comply with VOC limits per CGC 4.504.2.2.	Yes
Aerosol paints and coatings. Aerosol paints and coatings shall meet the Product-weighted MIR limits for ROC and other requirements per CGC 4.504.2.3.	Yes
Verification. Documentation will be provided, at the request of the Building Division, to verify compliance with VOC finish materials per CGC 4.504.2.4.	Yes
Carpet systems. All carpet installed in the building interior shall meet the testing and product requirement per CGC 4.504.3. Carpet cushion and adhesive also must comply.	Yes
Resilient flooring systems. 80% of flooring must comply with one of the following: the VOC-emission limits defined in the 2012 CHPS criteria and listed on its High-Performance Products Database; products certified under UL Greenguard Gold program; certified under the Resilient Floor Covering Institute FloorScore program; or meet California Department of Public Health 2010 Specifications per CGC 4.504.4.	Yes
Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior and exterior of the building shall comply with the low formaldehyde emission standards per CGC 4.504.5.	Yes
Documentation. Verification of compliance with this section shall be provided at the request of the enforcing agency.	

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INTERIOR MOISTURE CONTROL (4.505)	
Concrete slab foundations. A capillary break shall be installed if a slab on grade foundation system is used. The use of a 4" thick base of ½" or larger clean aggregate under a 6-mil vapor retarder with joint lapped not less than 6" will be provided per CGC 4.505.2 and CRC R506.2.3.	
Moisture content of building materials. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.505.3.	Yes
INDOOR AIR QUALITY AND EXHAUST (4.506)	
Bathroom exhaust fans. ENERGY STAR compliant exhaust fans shall be provided in every bathroom per CGC 4.506.1. Fans shall be ducted to the outside and must be controlled by a humidity control, unless functioning as part of a whole house ventilation system.	
ENVIRONMENTAL COMFORT (CGC 4.507)	
Heating and air conditioning. Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods: 1. Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2011 or equivalent; 2. Duct systems are sized according to ANSI/ACCA 1, Manual D-2014 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent.	
INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS HVAC INSTALLER QUALIFICATION (CGC 702)	
HVAC installer training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program per CGC 702.1.	
VERIFICATION (CGC 703)	
Compliance documentation. Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance.	Yes

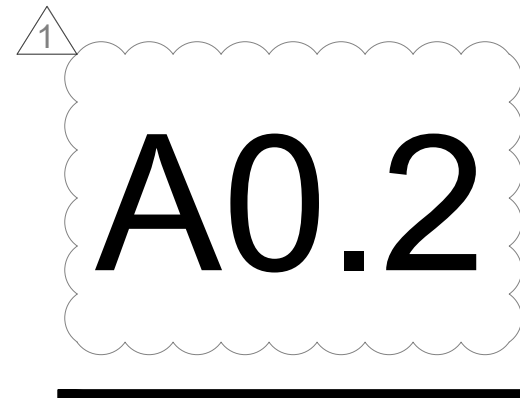
Responsible Designer's Declaration Statement	
I hereby certify that this project has been designed to meet the requirements of the 2019 California Green Building Standards Code.	
Name: Jessica Sin	Company: JSD Architecture + Designs
Signature:	Address: 1328 Ebener Street, Redwood City, CA 94061
Date: June 13, 2022	City/State/Zip

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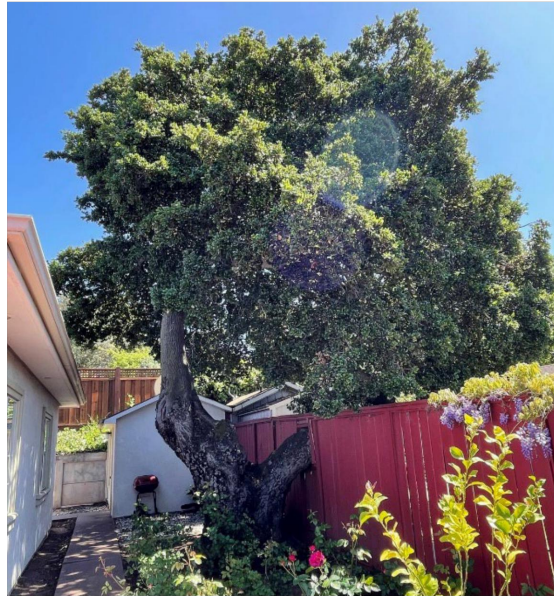
CALGREEN CHECKLIST

Kielty Arborist Services LLC
Certified Arborist WE#10724A TRAQ Qualified
P.O. Box 6187
San Mateo, CA 94403
650-532-4418

June 2nd, 2022

Heba and Ertan Dogrultan

Address: 329 Greenfield Avenue, San Mateo, CA 94403



Dear Heba and Ertan Dogrultan,

As requested on Tuesday, May 31st, 2022, Kielty Arborist Services LLC visited the above site to inspect and comment on a Coast Live Oak tree. Your concerns as to the future health and safety of the tree has prompted this site visit. In this letter you will find a summary of the tree in question and recommended mitigation measures.

Showing the oak tree in question

Method:

All inspections were made from the ground; the tree was not climbed for this inspection. The tree in question was shown to Kielty Arborist Services by you and its location will be shown on a Google Earth image within this report. The tree was then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The tree was given a condition rating for form and vitality. The tree's condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

The height of the tree was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Survey Key:

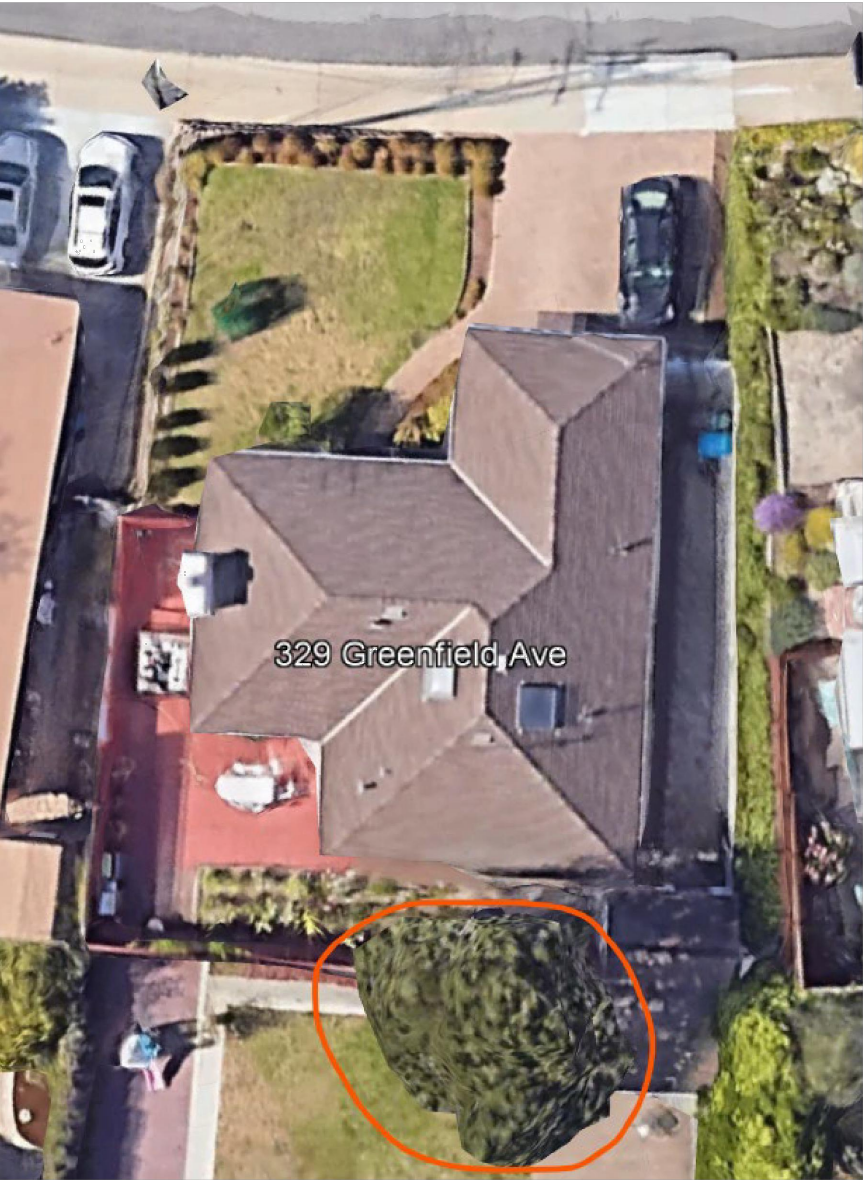
H-Protected tree (Heritage) **DBH**- Diameter at breast height (54 inches above grade)

CON-Condition rating **HT/SP**-Tree height and canopy spread

329 Greenfield (2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1H	Coast Live Oak (<i>Quercus agrifolia</i>)	33.5-22.7	45	25/35	Good vigor, poor form, codominant at 4', smaller leader grows through property line fence and into neighboring property, extensive decay in larger leader at 5', decay at root crown.



Showing tree location

329 Greenfield (3)

Discussion:

The Coast Live Oak tree in question was given a poor condition rating of 45 out of 100, and is a Heritage tree in the city of San Mateo. The tree is 25' tall with a canopy spread of 35'. The vigor of the tree is good, but the structure of the tree is poor. A large cavity was observed on the larger leader. This leader was probed. Probing the decayed trunk revealed a large 5 foot deep cavity that extends all the way down to grade. The decayed area at the root crown was also probed indicating a 2.5' depth of decay. The tree is heavy into the neighbor's yard as the tree has been pruned away from the roof in the past. The tree is 7' away from the foundation of the home and may be causing foundation damage. Sycamore borer was observed on the trunk of the tree.



Showing areas of decay on trunk

Showing probed area, notice green pole

Recommendation:

It is recommended to remove the tree. The large hollow decayed section within the trunk makes for a high risk of tree failure with the home and neighbor's home being the targets at the point of failure. There is no way to stop the heartwood decay from progressing. The heart wood rot is a fungal disease that causes the decay of wood at the center of the trunk and branches. The diseased heartwood softens the wood making the tree structurally weaker and prone to breakage. No mitigation measures within ANSI A300 pruning standards would be expected to help the tree, and further decline is expected. Roots of the tree are also at risk of impacting the foundation of the home as the tree is only 7' from the home. Cutting roots at the foundation would only further stress the tree and raise risk of tree failure. The tree removal ordinance states the Director shall consider and determine the following in rendering a decision on tree removals: A)-The condition of the tree or trees with respect to **disease, danger of falling, proximity to existing or proposed structures** and interference with utility services.

329 Greenfield (4)



Replacement plan:

Trees removed under jurisdiction of a planning approval pursuant to Chapter 27.71 shall conform with the replacement conditions specified in the planning approval. Tree removed with a valid tree removal permit shall be replaced in accordance with the direction of the Director. Replacement direction shall include direction on the location and species of the replacement tree. Tree replacement shall be one 24" box size tree approved by the Director, for each tree removed. The owner is willing to replant per the Directors direction.

Showing decay at root crown

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

David Beckham Certified Arborist WE#10724A TRAQ Qualified

David Beckham

329 Greenfield (5)

Kielty Arborist Services

P.O. Box 6187
San Mateo, CA 94403
650-532-4418

ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.

Arborist: *David Beckham*

Date: David Beckham
June 2nd, 2022



CITY OF SAN MATEO

TREE WORK PERMIT

Department of Parks and Recreation
Tree Division, 2001 Pacific Blvd, San Mateo, CA 94403
Phone: 650-522-7420 treepermits@cityofsanmateo.org



PERMIT MUST BE POSTED ONSITE DURING PERFORMANCE OF THE WORK DESCRIBED BELOW

PERMIT # HT-2022-001393

ISSUE DATE 07/21/22

Permit expires 12 months from issue date

EMERGENCY PERMIT ☐ YES ☒ NO

Permit Holder: Heba Dogrultan

Tree Address: 329 Greenfield Ave., San Mateo, CA 94403

Work to be performed: Heritage Tree

☒ Removal

☐ Pruning more than 1/4 of the crown

☐ Root Pruning within 6 times the trunk diameter

Street Tree

☐ Removal

☐ Pruning

Number of Trees: 1 Tree Species: coast live oak

Fees Paid: Application Fee

☐ No permit fee (*Street tree permits only*)

☒ \$100 permit fee (*non-refundable*)

Refundable Tree Deposit (see conditions below)

☐ \$483 tree deposit

☒ \$740 tree deposit

☐ Other

Pruning Specifications: N/A

Replanting Conditions: Replant either ONE 24-inch box tree from the Official Replant List or TWO 15 gallon trees from the "Preferred" Category.

Applicants have up to 12 months, (unless otherwise noted), from the date of the permit to satisfy the replanting conditions and request a refund of the paid deposit. The Department only collects a deposit sufficient to cover the in-lieu fee for a single tree at the time of permit issuance. If multiple replants are required, but not replanted, the Department will bill the applicant the in-lieu fee for each unsatisfied replant, less the amount of the paid deposit.

ISSUED BY:

Matthew Fried
Matthew Fried, Managing Arborist



ARCHITECTURE + INTERIORS

329 GREENFIELD AVENUE

SAN MATEO, CA 94403

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A0.3

ARBORIST REPORT



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329 GREENFIELD AVENUE

SAN MATEO, CA 94403



1 EXISTING FRONT VIEW

NOT TO SCALE



2 PROPOSED FRONT VIEW

NOT TO SCALE

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EXISTING & PROPOSED
EXTERIOR VIEWS



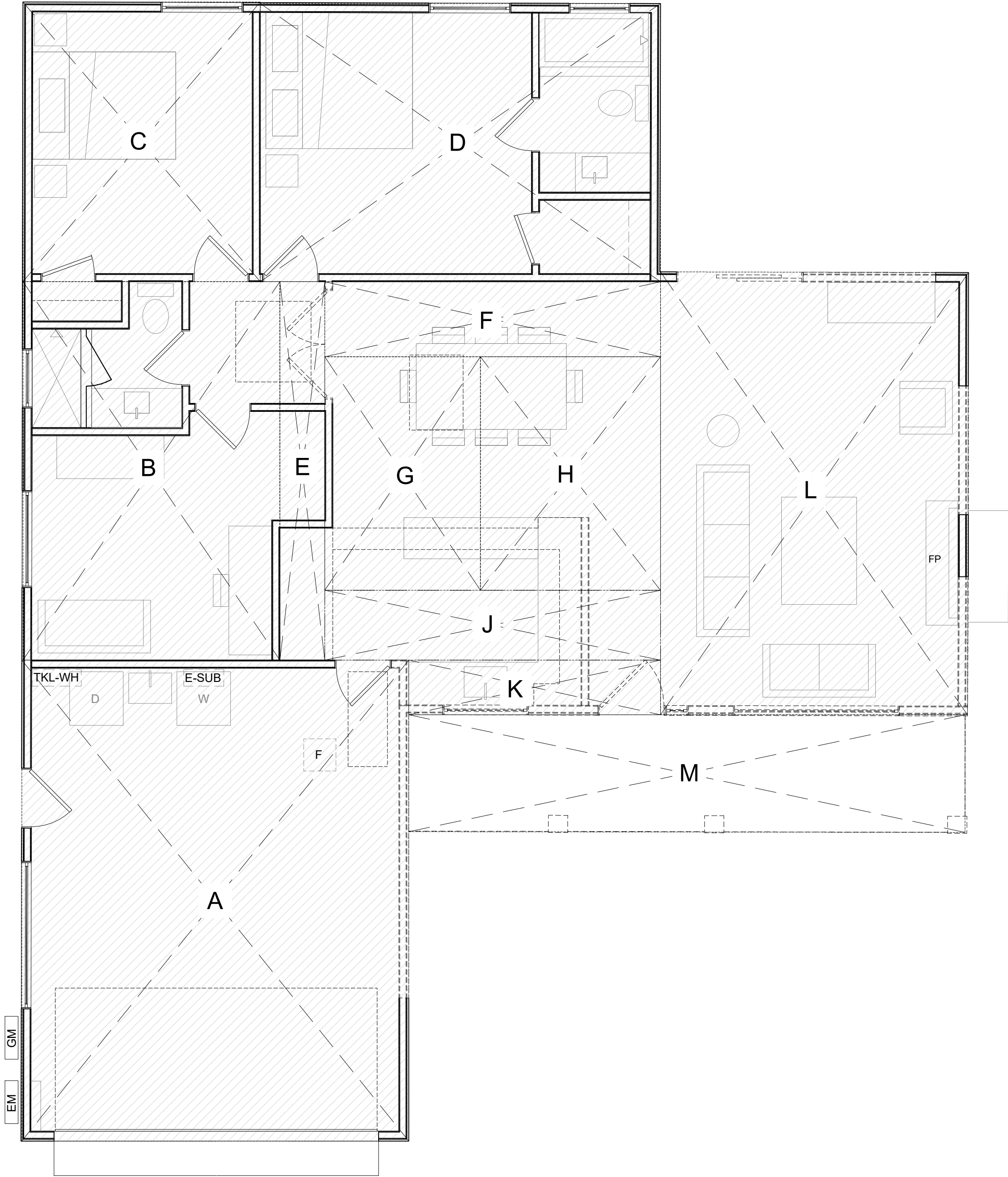
ARCHITECTURE + INTERIORS

329 GREENFIELD AVENUE

SAN MATEO, CA 94403

FLOOR AREA CALCULATION	
AREA	SF
A	±404 SF
B	±211 SF
C	±144 SF
D	±242 SF
E	±37 SF
F	±55 SF
G	±79 SF
H	±91 SF
J	±51 SF
K	±31 SF
L	±295 SF
M	±140 SF

EXISTING FLOOR AREA:	
(E) HOUSE B + C + D + E + F + G + H + J + K + L =	±1,236 SF
(E) GARAGE A =	±404 SF
TOTAL (E) FLOOR AREA =	±1,640 SF
EXISTING /LOT COVERAGE:	
(E) HOUSE B + C + D + E + F + G + H + J + K + L =	±1,236 SF
(E) GARAGE A =	±404 SF
(E) COVERED PORCH: M =	(-) ±140 SF
TOTAL EXISTING LOT COVERAGE:	±1,780 SF



0 3 6
Scale: 1/4" = 1'-0"

2 EXISTING FLOOR AREA CALCULATIONS

1 EXISTING FLOOR AREA DIAGRAM

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EXISTING FLOOR AREA
DIAGRAM AND CALCULATIONS



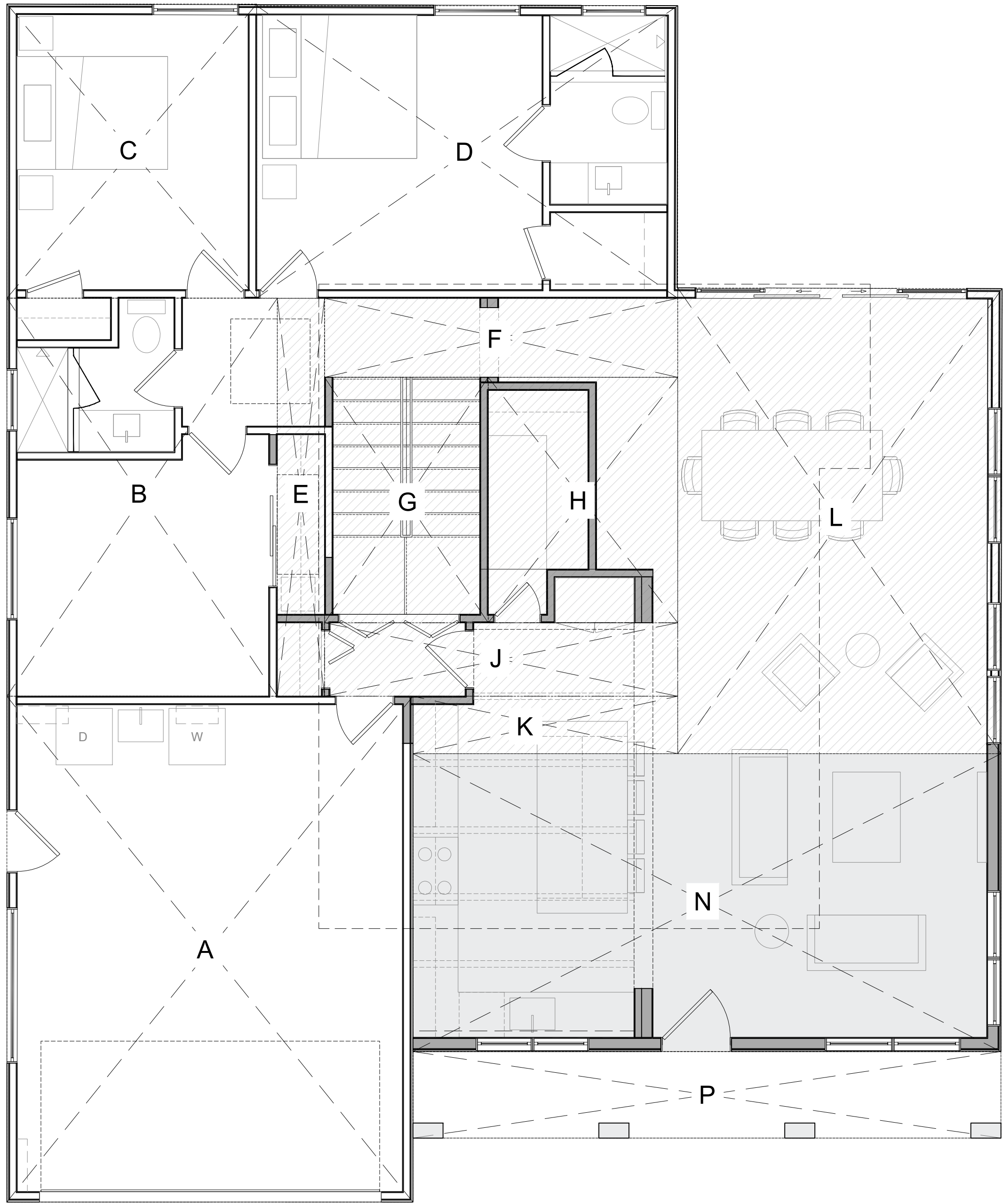
ARCHITECTURE + INTERIORS

329 GREENFIELD AVENUE

SAN MATEO, CA 94403

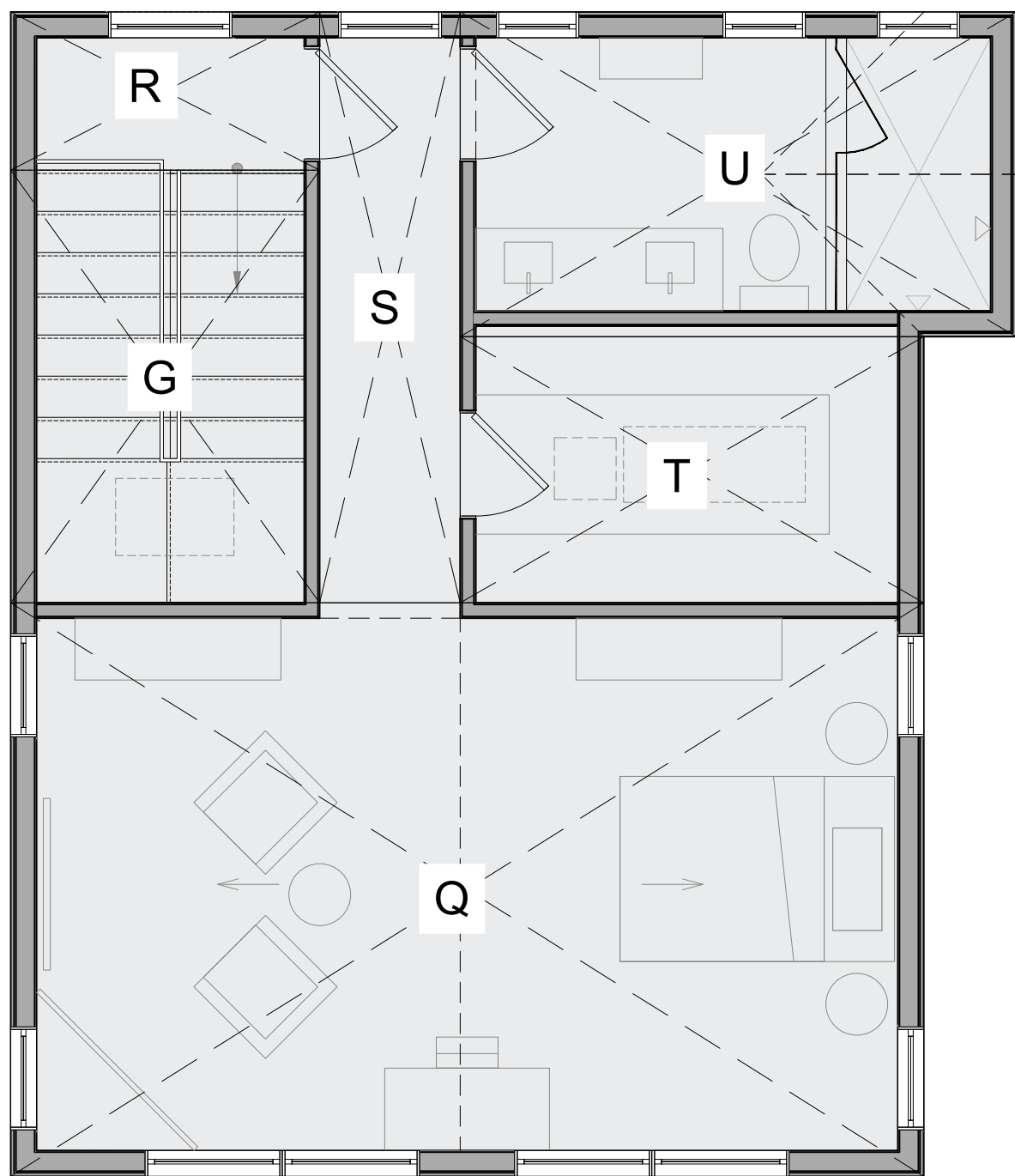
FLOOR AREA CALCULATION	
AREA	SF
A	±404 SF
B	±211 SF
C	±144 SF
D	±242 SF
E	±37 SF
F	±55 SF
G	±79 SF
H	±91 SF
J	±51 SF
K	±31 SF
L	±295 SF
N	±344 SF
P	±99 SF
Q	±309 SF
R	±29 SF
S	±49 SF
T	±73 SF
U	±106 SF

EXISTING FLOOR AREA:	
(E) HOUSE B + C + D + E + F + G + H + J + K + L =	±1,236 SF
(E) GARAGE A =	±404 SF
TOTAL (E) FLOOR AREA =	±1,640 SF
PROPOSED FLOOR AREA:	
FIRST FLOOR ADDITION N =	±344 SF
SECOND FLOOR ADDITIONS Q + R + S + T + U =	±566 SF
TOTAL ADDITIONS =	±910 SF
TOTAL PROPOSED FLOOR AREA =	±2,550 SF



1 PROPOSED FIRST FLOOR AREA DIAGRAM

Scale: 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR AREA DIAGRAM

Scale: 1/4" = 1'-0"

3 PROPOSED FLOOR AREA CALCULATIONS

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PROPOSED 1ST & 2ND FLOOR
AREA DIAGRAM & CALCULATIONS



0 4

Scale: $\frac{1}{8}" = 1'-0"$



Scale: 1/8" = 1'-0"

JUNE 13, 2022 PLANNING SUBMITTAL

EXISTING & PROPOSED SITE PLAN

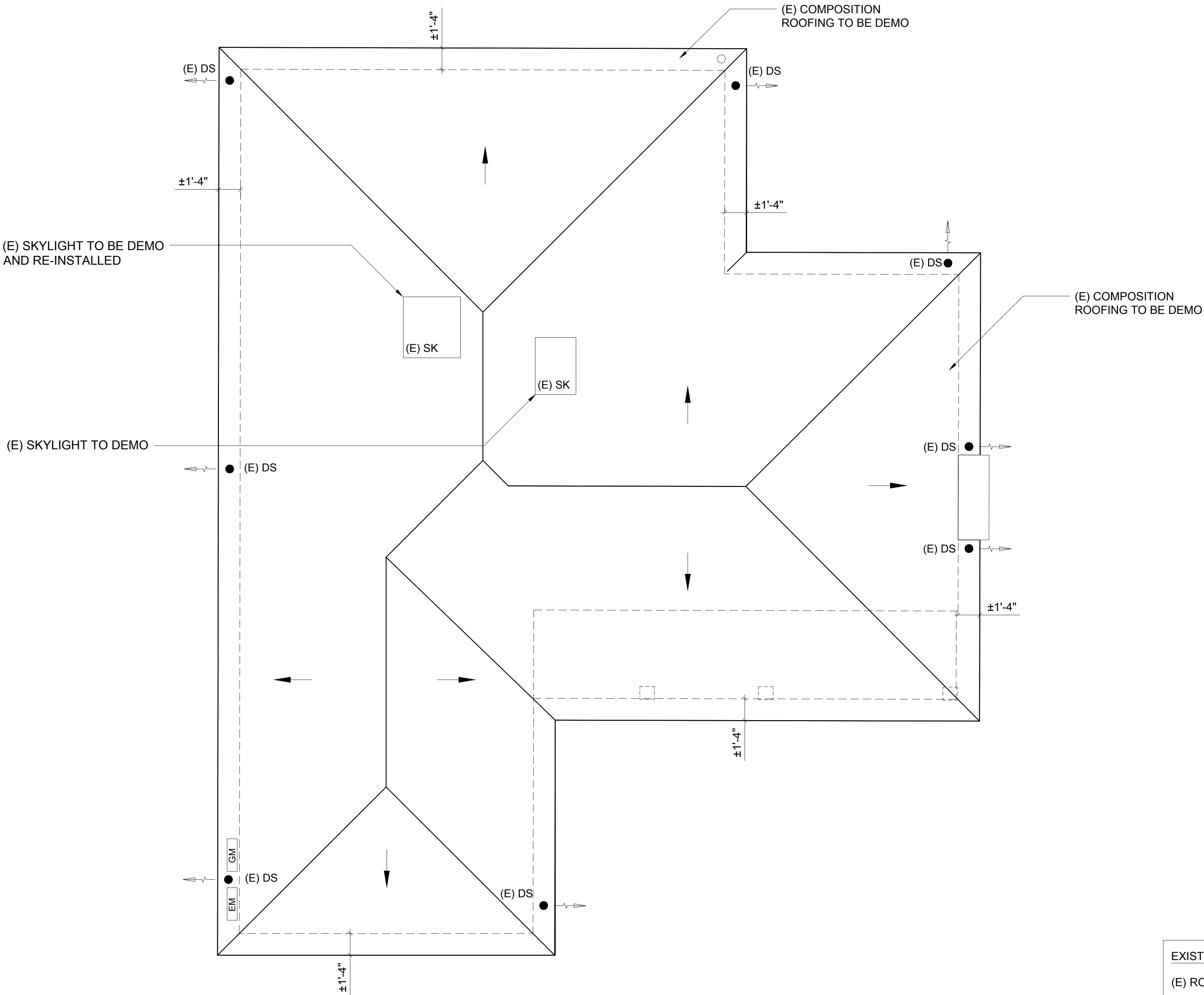
NOTE:
1. ALL NEW ROOF DRAINAGE WILL BE DIRECTED TO LANDSCAPED AREAS TO THE EXTENT FEASIBLE AND NOT ONTO ADJACENT PROPERTIES.



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329 GREENFIELD AVENUE

SAN MATEO, CA 94403



EXISTING ROOF AREA	
(E) ROOF =	±2,041 SF
(E) ROOF TO DEMO =	±2,041 SF (100%)

NOTE:
ALL ROOF TO BE REPLACED WITH METAL ROOF

1 EXISTING ROOF PLAN / DEMO PLAN
Scale: 1/4" = 1'-0"

2	DEC. 20, 2022	PLANNING RESUBMITTAL
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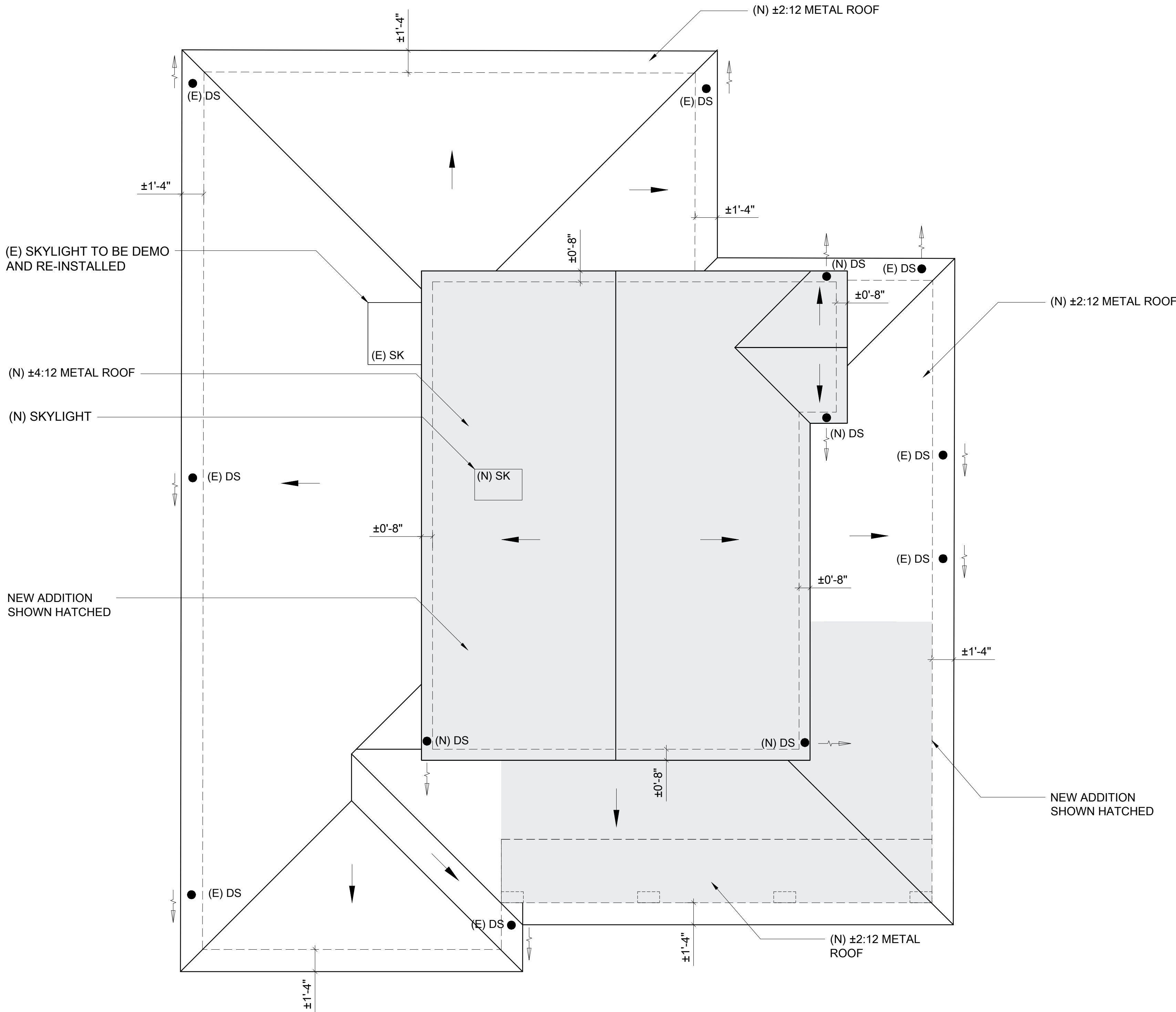




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329 GREENFIELD AVENUE

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1 PROPOSED ROOF PLAN

Scale: 1/4" = 1'-0"

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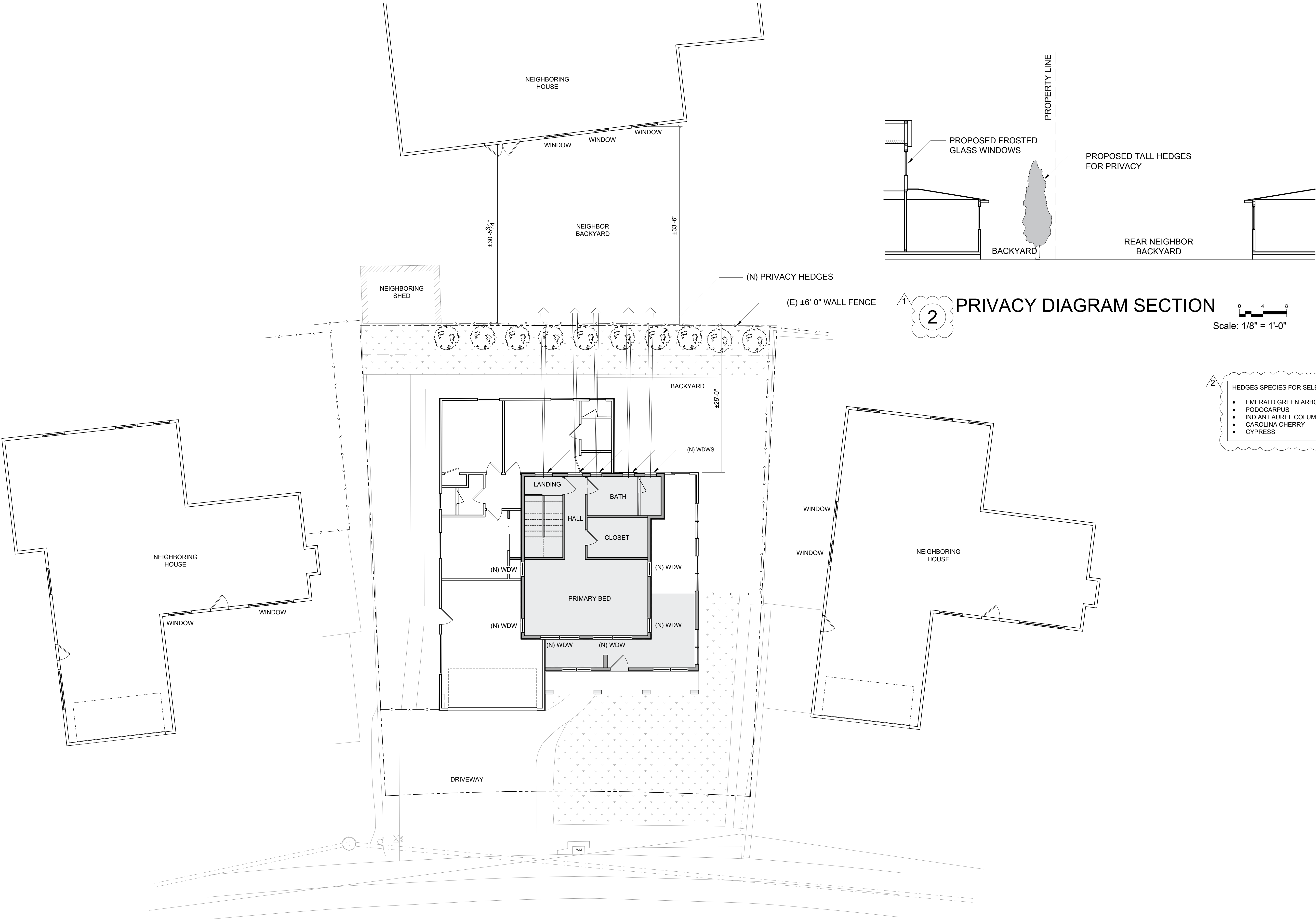
329 GREENFIELD AVENUE

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PROPOSED SITE PLAN /
ADJACENT PROPERTIES WINDOWS



1 PROPOSED SITE PLAN / ADJACENT PROPERTIES WINDOWS
Scale: 1/8" = 1'-0"

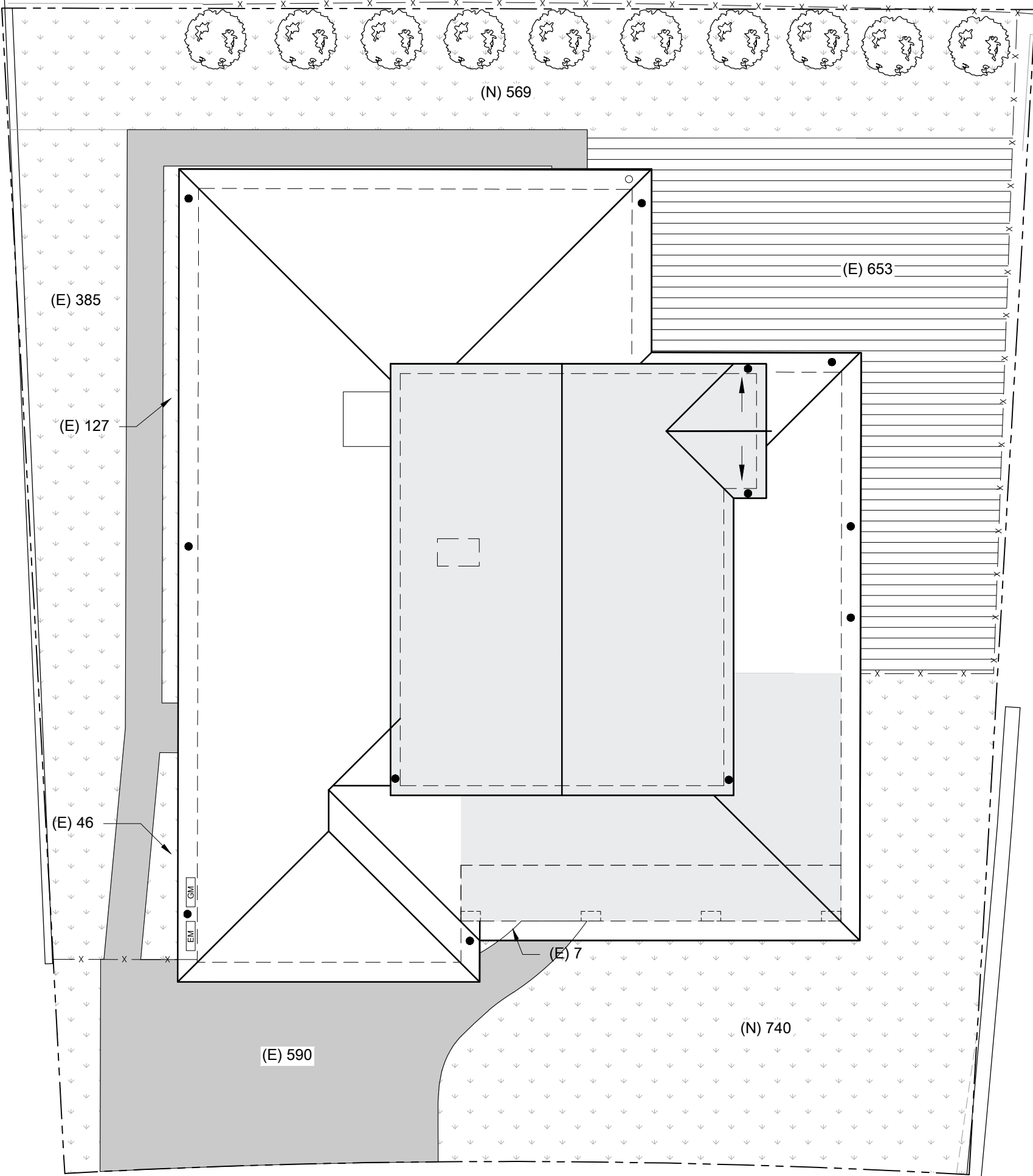
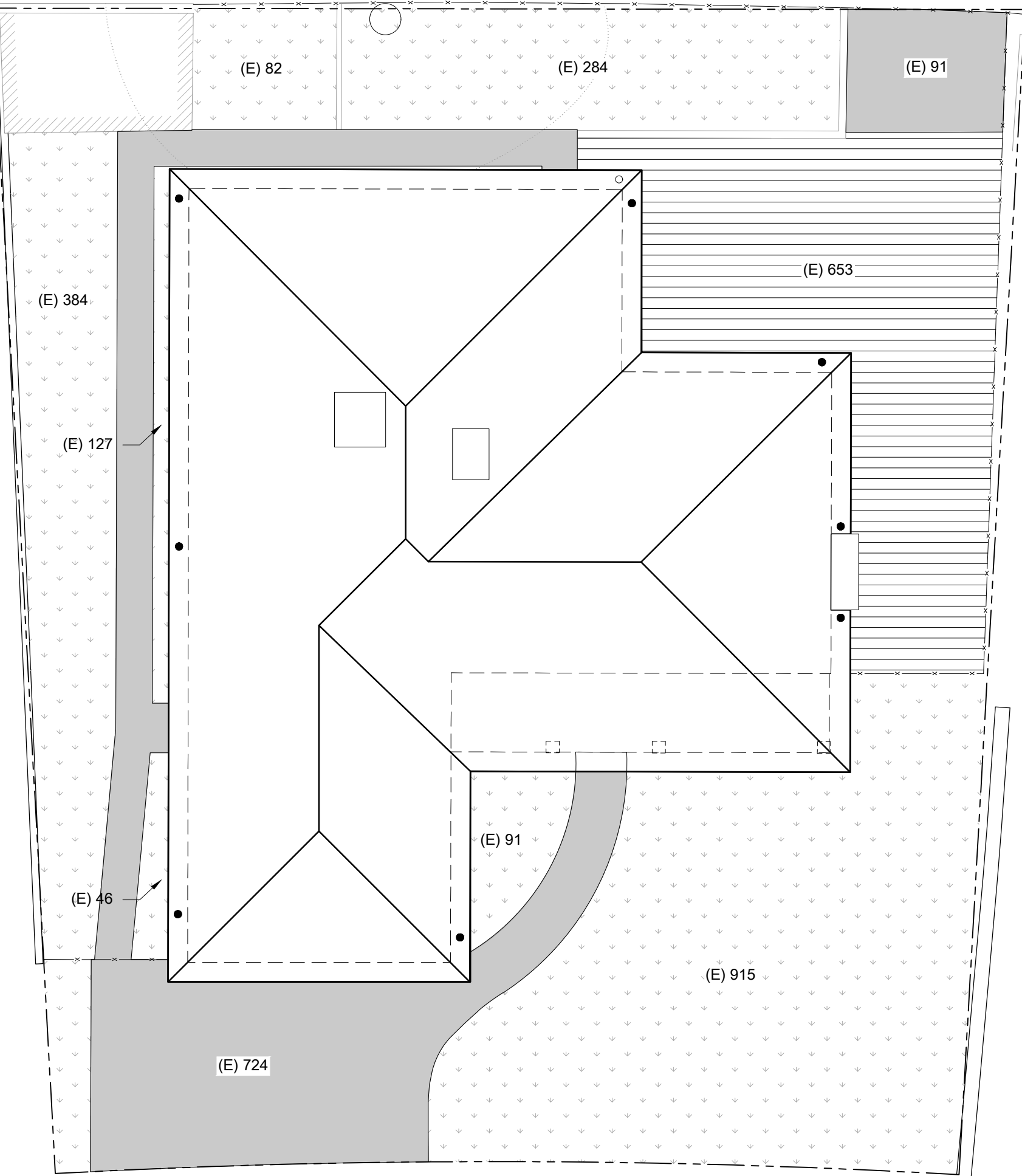
2 PRIVACY DIAGRAM SECTION
Scale: 1/8" = 1'-0"



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329 GREENFIELD AVENUE

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EXISTING PERVIOUS AREA:
(E) PERVIOUS AREA = ±2,582 SF
PROPOSED PERVIOUS AREA:
(N) PERVIOUS AREA = ±2,527 SF

- LEGEND:
- LANDSCAPE AREA
 - PAVED AREA
 - WOODEN AREA
 - WOODEN FENCE
 - RETAINING WALL

1 EXISTING SITE PERVIOUS DIAGRAM
Scale: 1/8" = 1'-0"

2 PROPOSED SITE PERVIOUS DIAGRAM
Scale: 1/8" = 1'-0"

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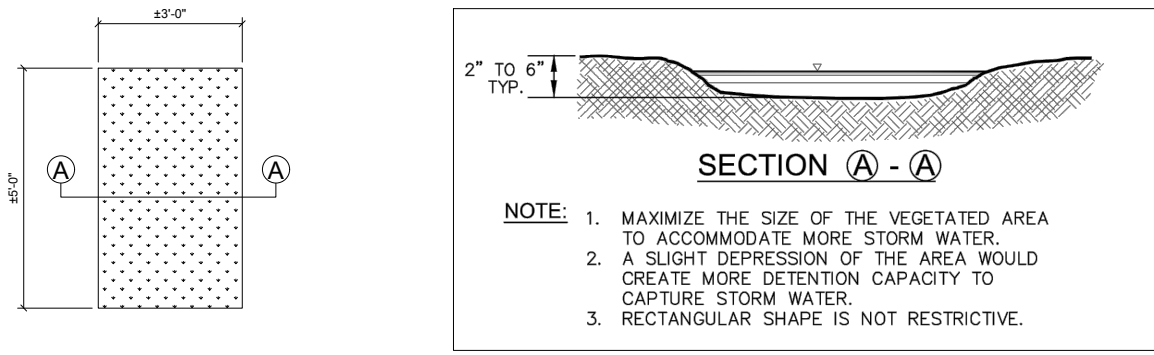
GRADING AND DRAINAGE PLAN

DRAINAGE CALCULATION FOR STORM WATER RUN-OFF CONTROL				
(N) IMPREVIOUS AREA (SF)		RUN-OFF COEFFICIENT (N ROOF)	RUN-OFF COEFFICIENT (E LAWN)	TOTAL-RUN OFF COEFFICIENT
443		0.950	0.300	0.650
DISCHARGE RATE ADDITIONAL (TIME OF CONCENTRATION OF 10 MINUTES, INTENSITY FOR 10 YEARS STORM)				
AREA (SF)	SF TO ACRE	FACTOR (INTENSITY)	RUN-OFF COEFFICIENT	TOTAL (CFS)
443	0.01017	1.750	0.650	0.012
STORAGE DETENTION VOLUME (10 MINUTES)				
CFS	FACTOR	MINUTES	SECONDS PER MINUTE	TOTAL (CF)
0.012	1.5000	10	60	10.411

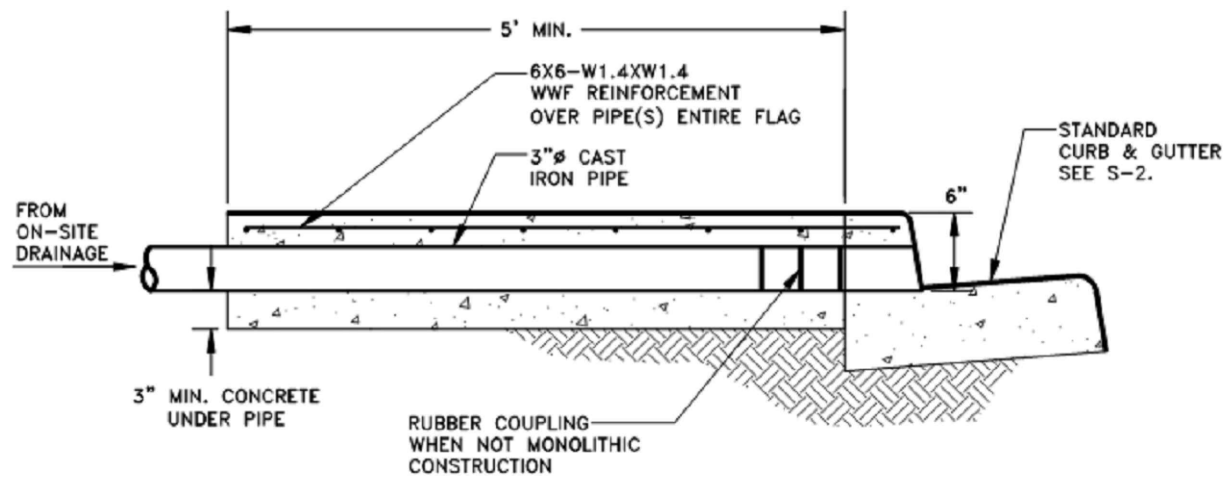
NEW ADDITION ROOF AREA:
(N) ADDITION LENGTH - A = 26.06 FT.
(N) ADDITION WIDTH - B = 17 FT.
A (26.06 FT.) x B (17 FT.) = 443.02 SF.
TOTAL ADDITION = 443.02 SF

STORM WATER RETENTION SYSTEM			
LAWN / GRASS / VEGETATED AREA DETENTION FOR INFILTRATION			
CF		FACTOR %	TOTAL (CF)
10.411		0.4000	26.028
AREA OF DETENTION:	CF	FEET (FACTOR)	TOTAL (SF)
	26.028	2	13.014
NOTE: MAXIMUM DEPTH OF BED IS LIMITED AT 2 FEET AND BED MUST BE KEPT 5 FEET MINIMUM AWAY FROM NEAREST PROPERTY LINE AND ANY TREE			

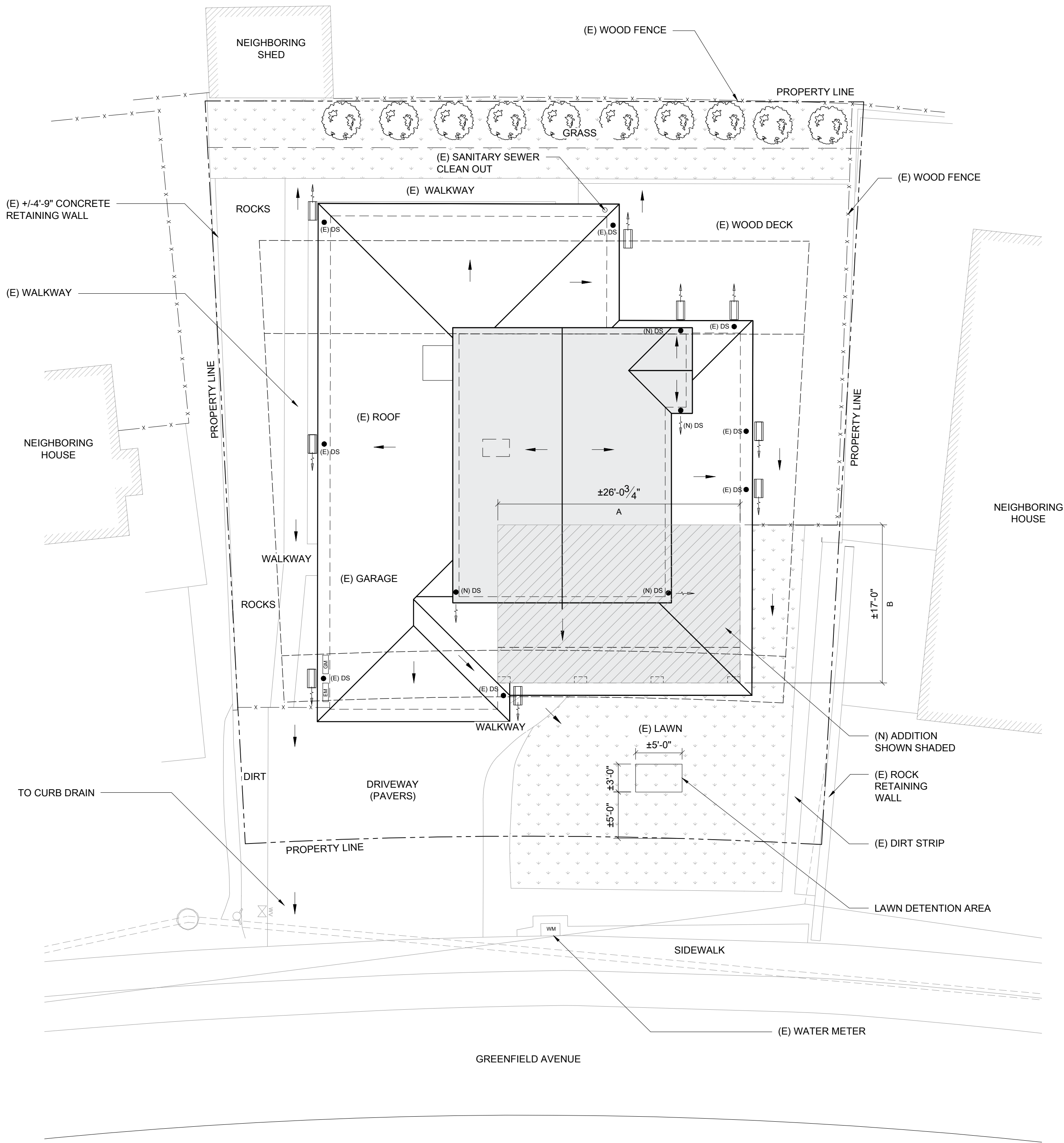
2 DRAINAGE CALCULATIONS



3 LAWN / GRASS / VEGETATED AREA DETAIL



4 CURB DRAIN DETAIL



1 GRADING AND DRAINAGE PLAN

Scale: 1/8" = 1'-0"



ARCHITECTURE + INTERIORS

329 GREENFIELD AVENUE

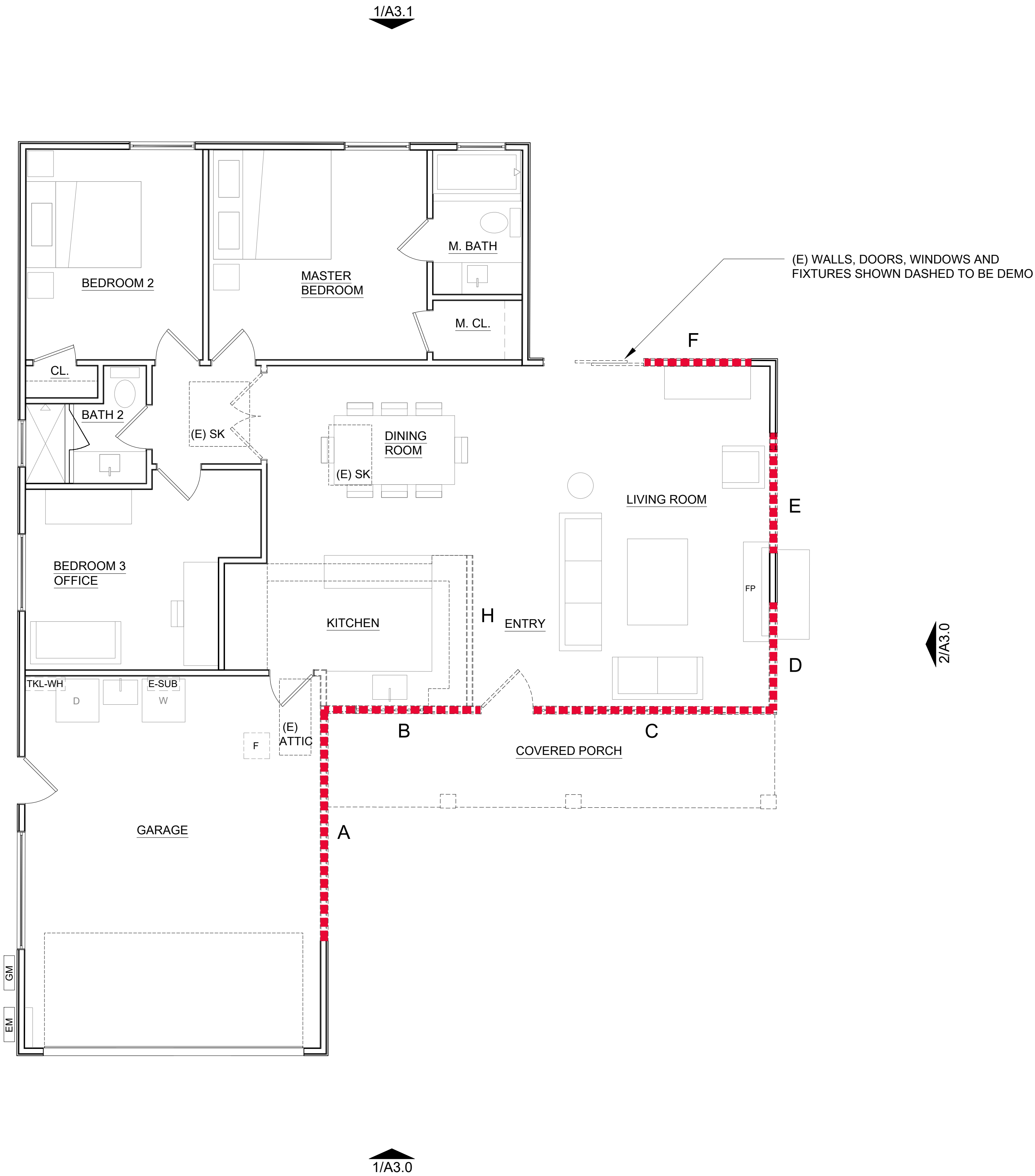
SAN MATEO, CA 94403

WALL CALCULATION	
AREA	LF
A	±12.73 LF
B	±8.89 LF
C	±14.14 LF
D	±6.49 LF
E	±6.96 LF
F	±6.20 LF
H	±8.74 LF

TOTAL EXISTING EXTERIOR WALL =	±166 LF
TOTAL EXTERIOR WALL TO BE DEMO A + B + C + D + E + F =	±55.41 LF (33%)
INTERIOR WALL TO BE DEMO H =	±8.74 LF
TOTAL WALL PROPOSED FOR DEMO 55.41 + 8.74 =	±64.15 LF

NOTE:
EXISTING EXTERIOR WALLS THAT ARE CONVERTED TO INTERIOR WALLS SHALL BE COUNTED AS WALLS TO BE DEMOLISHED. DOORS, INCLUDING GARAGE DOORS, ENTRY DOORS, AND SLIDING GLASS DOORS, SHALL NOT BE INCLUDED IN THE PERCENTAGE CALCULATION OF AN EXISTING STRUCTURE'S EXTERIOR WALLS.

WALL KEY	
	EXISTING WALL TO REMAIN
	EXISTING WALL/WINDOW TO REMOVE
	EXTERIOR WALL TO BE DEMO



1 EXISTING FLOOR PLAN / DEMO PLAN

0 3 6

Scale: 1/4" = 1'-0"

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A2.0

EXISTING FLOOR PLAN



ARCHITECTURE + INTERIORS

329 GREENFIELD AVENUE

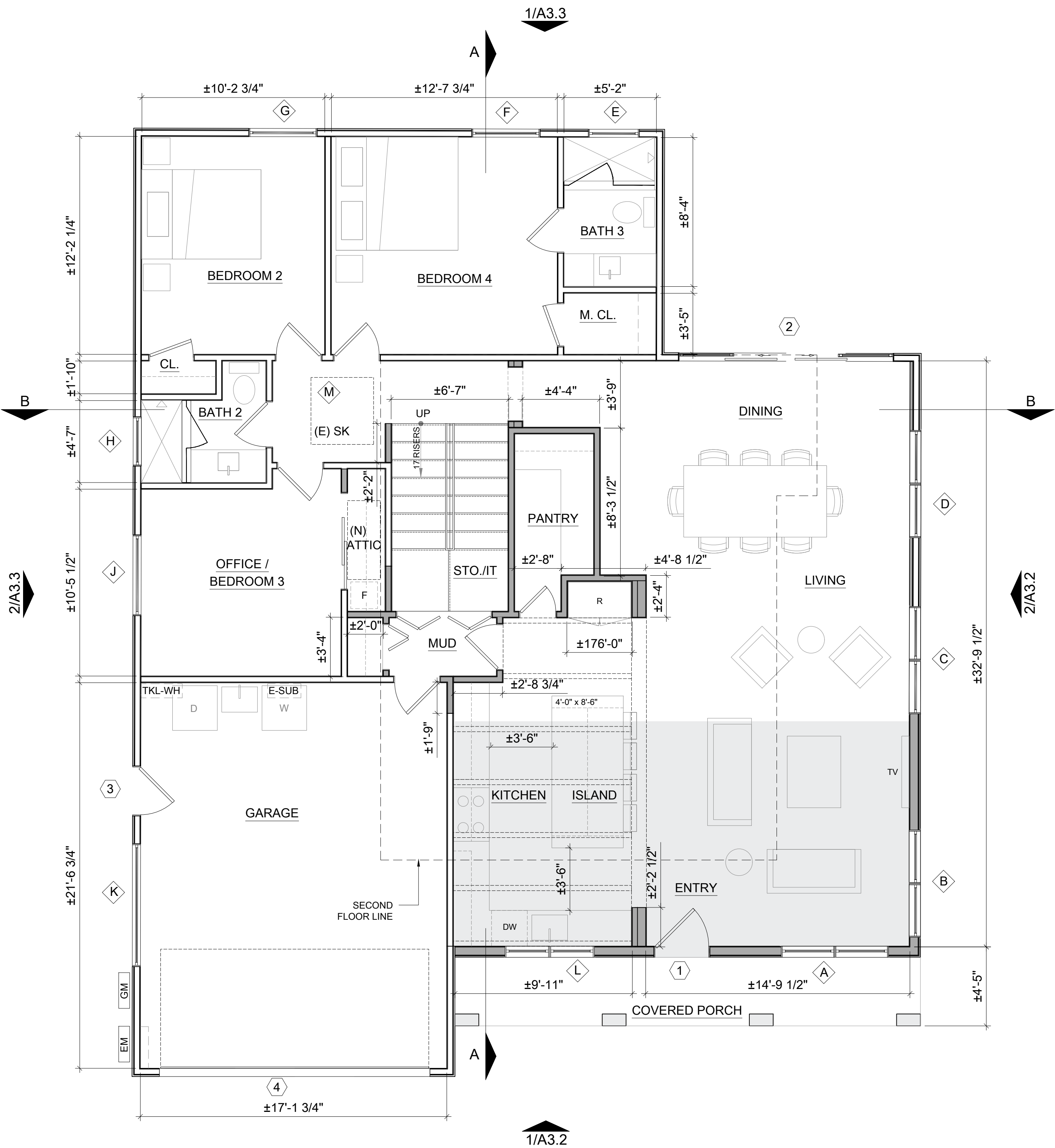
SAN MATEO, CA 94403

2	DEC. 20, 2022	PLANNING RESUBMITTAL
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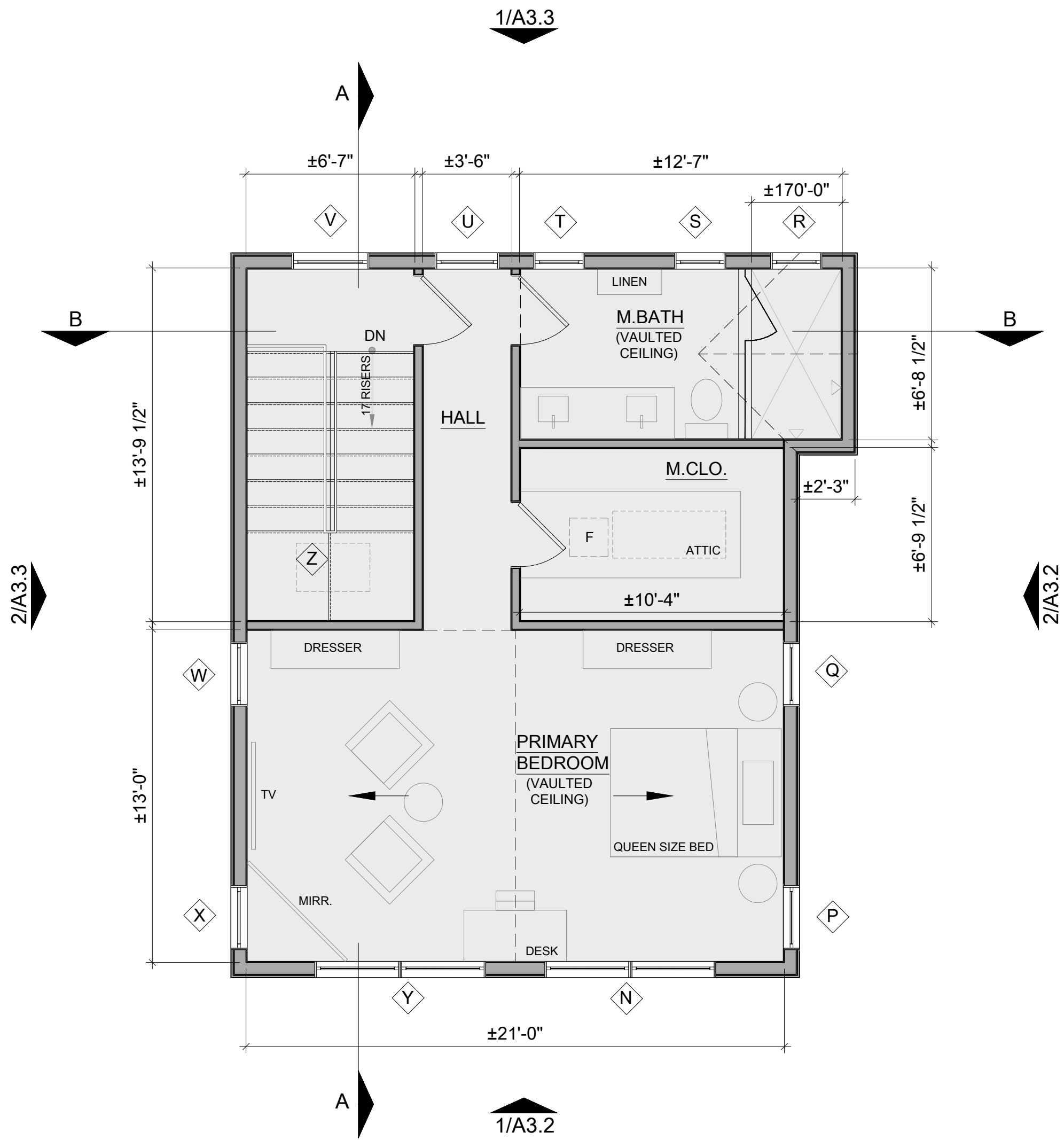


A2.1

PROPOSED FIRST & SECOND FLOOR PLAN



1 PROPOSED FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS NOTED OTHERWISE

FINISH DIMENSIONS NOTED w/ ARROWS

FACE OF STUD DIMENSIONS

WALL KEY

EXISTING WALL TO REMAIN

NEW WALL

NEW ADDITION SHOWN HATCH



ARCHITECTURE + INTERIORS

329 GREENFIELD AVENUE

SAN MATEO, CA 94403

EXTERIOR DOOR SCHEDULE				
PLEASE CONFIRM SIZING AND DETAILS WITH CONTRACTOR AND CLIENT PRIOR TO ORDERING PLEASE NOTE THAT SIZES SHOWN ARE NOT ROUGH OPENING SIZES. CONTRACTOR TO FRAME OPENINGS WITH FINAL DOOR ORDERS' ROUGH OPENING SIZES.				
DOOR #	WIDTH X HEIGHT	LOCATION	TYPE	NOTES
①	3'-0" X 6'-8"	ENTRY	(N) ENTRY DOOR	
②	12'-0" X 6'-8"	DINING	(N) SLIDING DOOR FIXED/OPERABLE/OPERABLE/FIXED	TEMPERED
③	±3'-0" X 6'-8"	GARAGE	(E) DOOR TO REMAIN	
④	±16'-0" X 7'-0"	GARAGE	(N) GARAGE DOOR	

1

DOOR SCHEDULE

NOT TO SCALE

WINDOW AND SKYLIGHT SCHEDULE				
PLEASE CONFIRM SIZING AND DETAILS WITH CONTRACTOR AND CLIENT PRIOR TO ORDERING PLEASE NOTE THAT SIZES SHOWN ARE NOT ROUGH OPENING SIZES. CONTRACTOR TO FRAME OPENINGS WITH FINAL WINDOW AND SKYLIGHT ORDERS' ROUGH OPENING SIZES.				
WINDOW #	WIDTH X HEIGHT	LOCATION	TYPE	NOTES
⋄A	6'-0" X 5'-0"	LIVING ROOM	(N) (2) EQ. 3'-0" WINDOWS	CASEMENT
⋄B	6'-0" X 5'-0"	LIVING ROOM	(N) (2) EQ. 3'-0" WINDOWS	CASEMENT
⋄C	6'-0" X 5'-0"	LIVING ROOM	(N) (2) EQ. 3'-0" WINDOWS	CASEMENT
⋄D	6'-0" X 5'-0"	DINING	(N) (2) EQ. 3'-0" WINDOWS	CASEMENT
⋄E	±2'-10 ¼" X 1'-10"	BATH 1	(E) WINDOW TO REMAIN	
⋄F	±3'-10" X 3'-10 1/4"	BEDROOM 1	(E) WINDOW TO REMAIN	
⋄G	±3'-10" X 3'-10 1/4"	BEDROOM 2	(E) WINDOW TO REMAIN	
⋄H	±2'-9" X 1'-10"	BATH 2	(E) WINDOW TO REMAIN	
⋄I	NOT USED			
⋄J	±4'-6 1/4" X 3'-1"	BEDROOM 3	(E) WINDOW TO REMAIN	
⋄K	±6'-10 1/2" X 1'-10 1/4"	GARAGE	(E) WINDOW TO REMAIN	
⋄L	5'-0" X 3'-0"	KITCHEN	(N) (2) 2'6" X 3'-0" WINDOWS	CASEMENT
⋄M	±3'-2" X 1'-9"	HALL	(E) SKYLIGHT TO REMAIN	
⋄N	6'-0" X 5'-6"	PRIMARY BEDROOM	(N) CASEMENT WINDOW	EGRESS, TEMPERED
⋄O	NOT USED			
⋄P	2'-6" X 5'-0"	PRIMARY BEDROOM	(N) CASEMENT WINDOW	TEMPERED
⋄Q	2'-6" X 5'-0"	PRIMARY BEDROOM	(N) CASEMENT WINDOW	TEMPERED
⋄R	2'-0" X 4'-0"	M.BATH	(N) CASEMENT WINDOW	FROSTED / TEMPERED GLAZING
⋄S	2'-0" X 4'-0"	M.BATH	(N) (2) 2'6" X 4'-0" WINDOWS	FROSTED / TEMPERED GLAZING
⋄T	2'-0" X 4'-0"	M.BATH	(N) (2) 2'6" X 4'-0" WINDOWS	FROSTED / TEMPERED GLAZING
⋄U	2'-6" X 4'-0"	HALL	(N) WINDOWS	FROSTED GLAZING
⋄V	3'-0" X 4'-0"	STAIRS	(N) WINDOWS	FROSTED GLAZING
⋄W	2'-6" X 2'-6"	PRIMARY BEDROOM	(N) CASEMENT WINDOW	TEMPERED
⋄X	2'-6" X 2'-6"	PRIMARY BEDROOM	(N) CASEMENT WINDOW	TEMPERED
⋄Y	6'-0" X 5'-6"	PRIMARY BEDROOM	(N) CASEMENT WINDOW	EGRESS, TEMPERED
⋄Z	22 1/2" X 34 1/2" INSIDE CURB	STAIRS	(N) SKYLIGHT	VELUX 2234

2

WINDOW SCHEDULE

NOT TO SCALE

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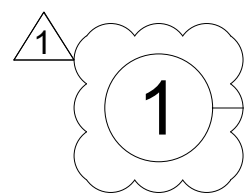
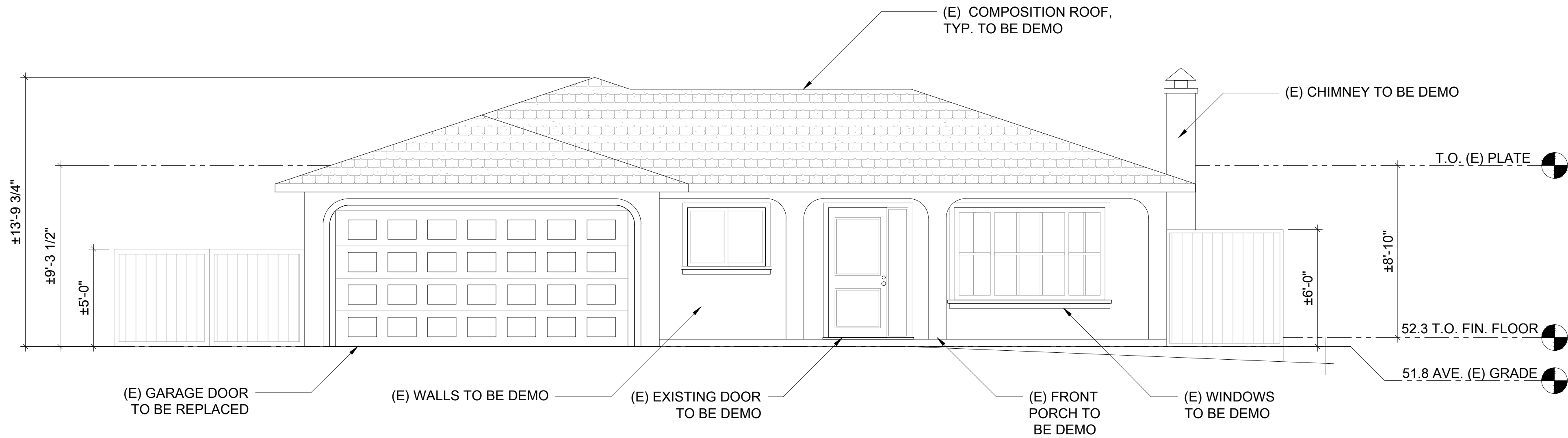
A2.2



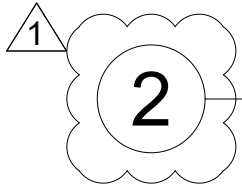
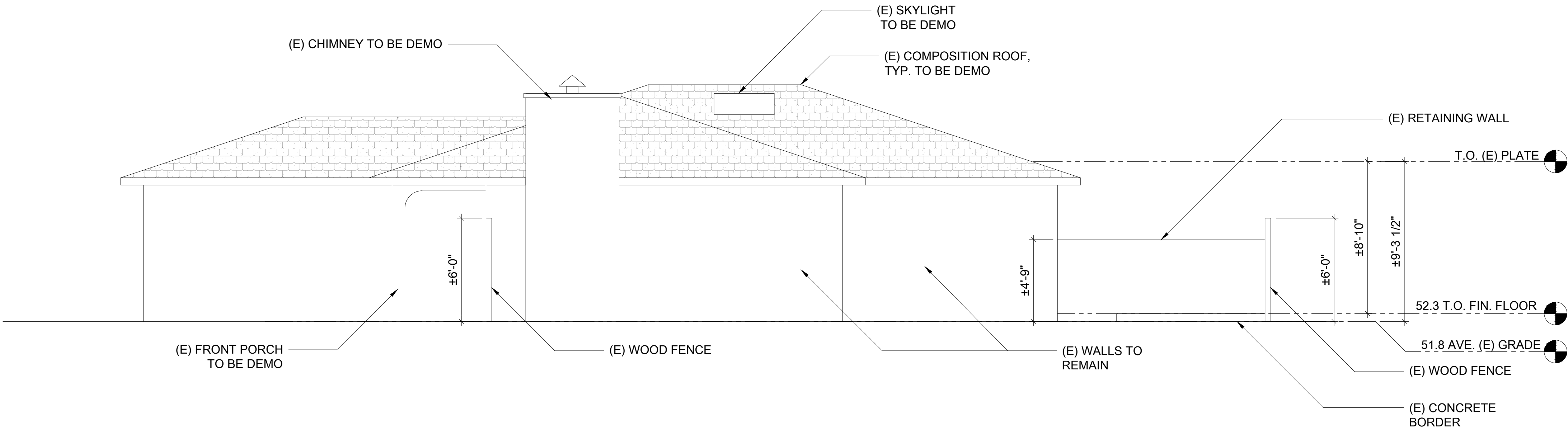
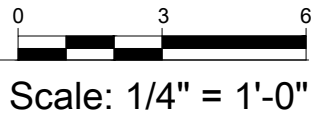
ARCHITECTURE + INTERIORS

329 GREENFIELD AVENUE

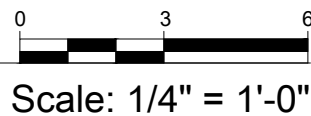
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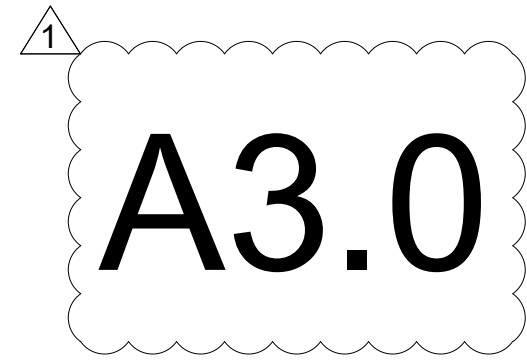
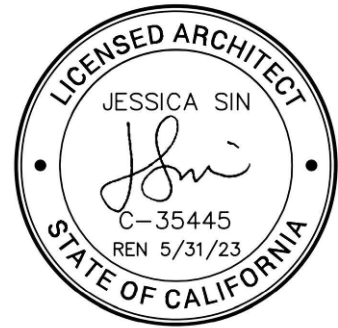
EXISTING NORTH (FRONT) ELEVATION



EXISTING WEST (RIGHT) ELEVATION



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	JUNE 13, 2022	PLANNING SUBMITTAL

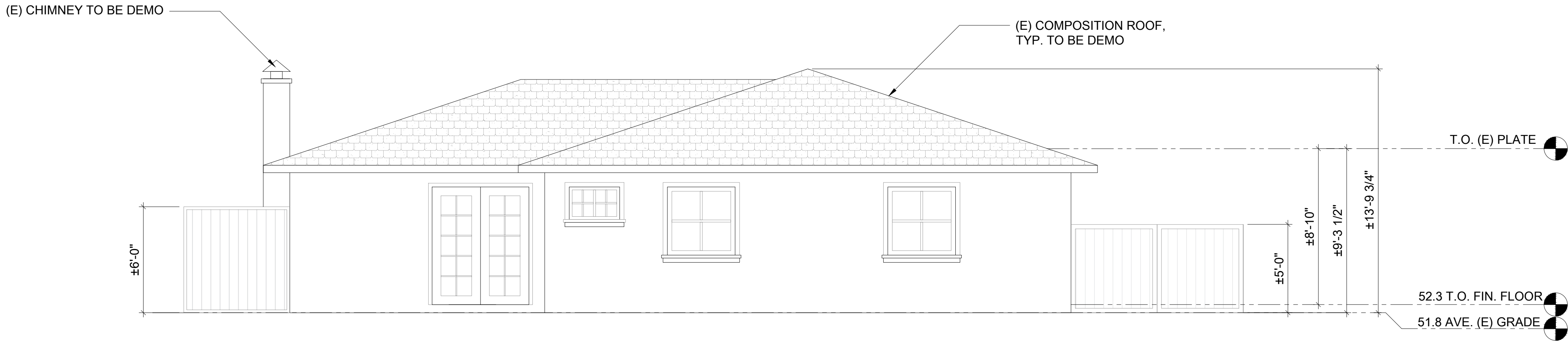




ARCHITECTURE + INTERIORS

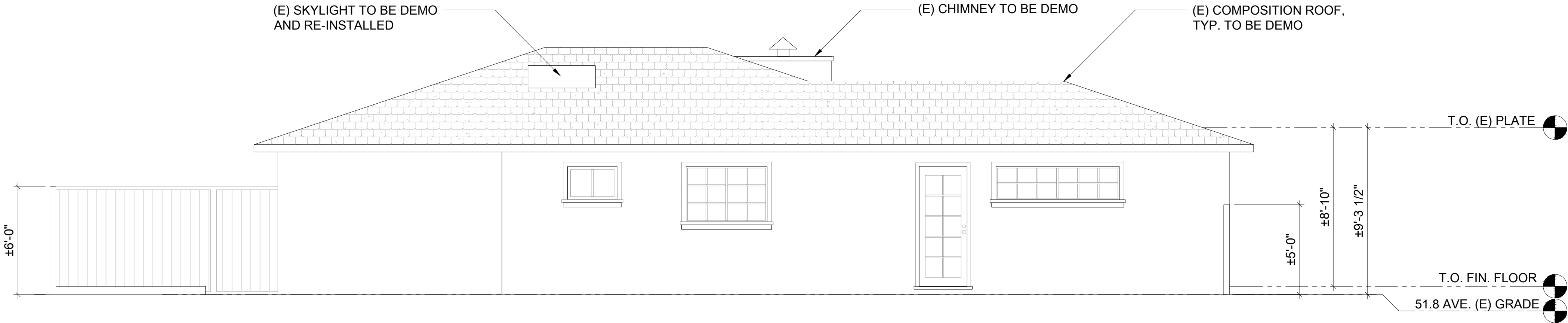
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1 EXISTING SOUTH (REAR) ELEVATION

Scale: 1/4" = 1'-0"



2 EXISTING EAST (LEFT) ELEVATION

Scale: 1/4" = 1'-0"

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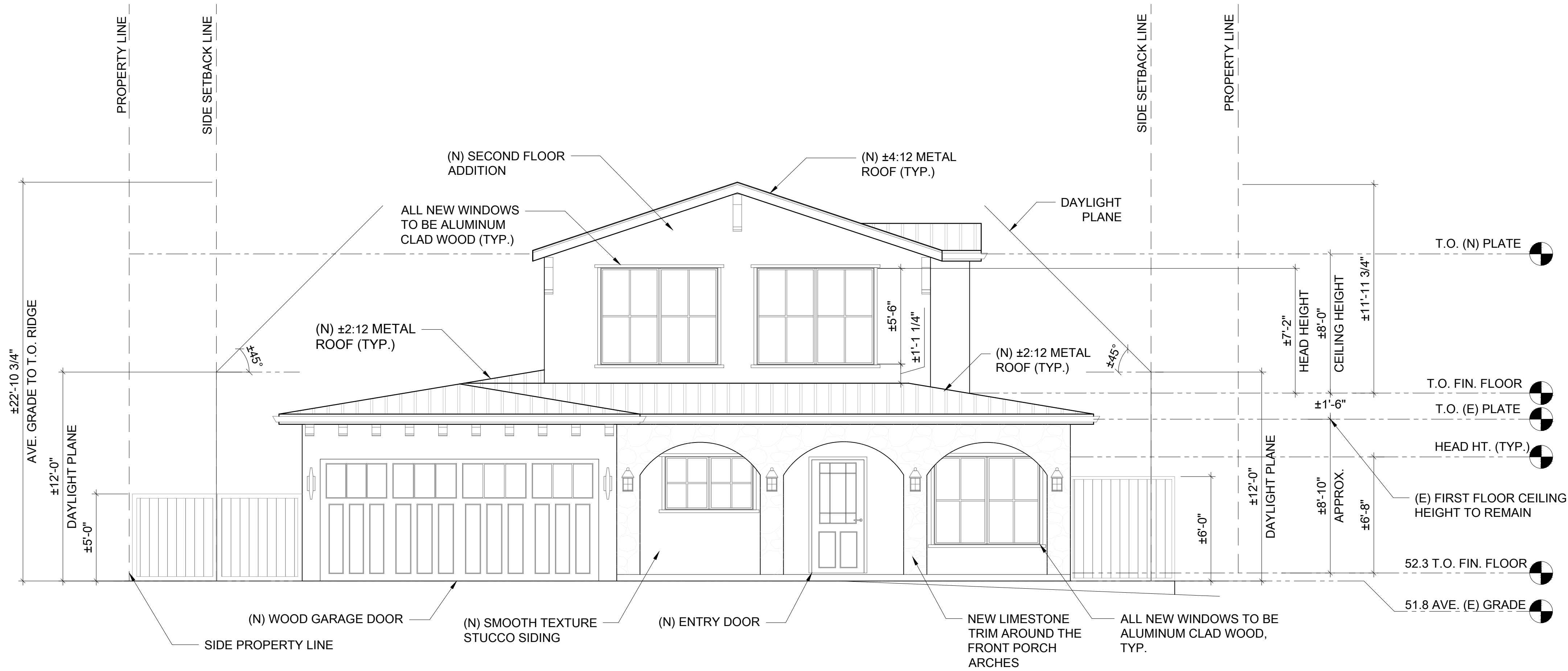




ARCHITECTURE + INTERIORS

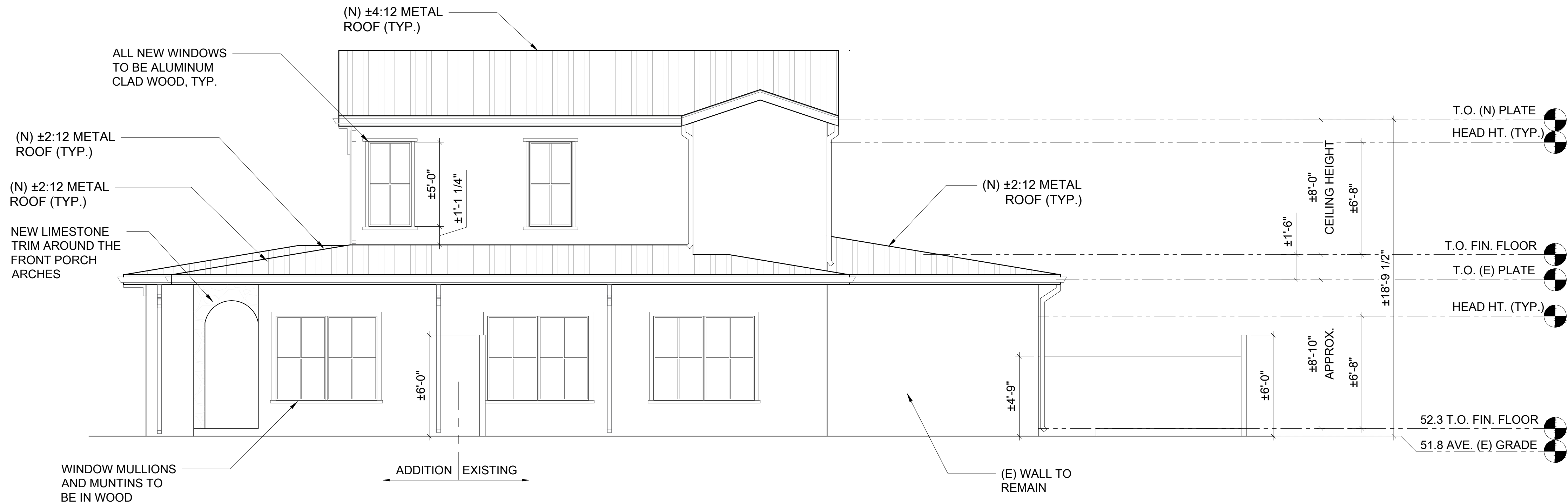
329 GREENFIELD AVENUE

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1 PROPOSED NORTH (FRONT) ELEVATION

Scale: 1/4" = 1'-0"



2 PROPOSED WEST (RIGHT) ELEVATION

Scale: 1/4" = 1'-0"

NOTE:
CONTRACTOR TO CONFIRM ROOF SLOPE ON SITE.

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A3.2

PROPOSED ELEVATIONS



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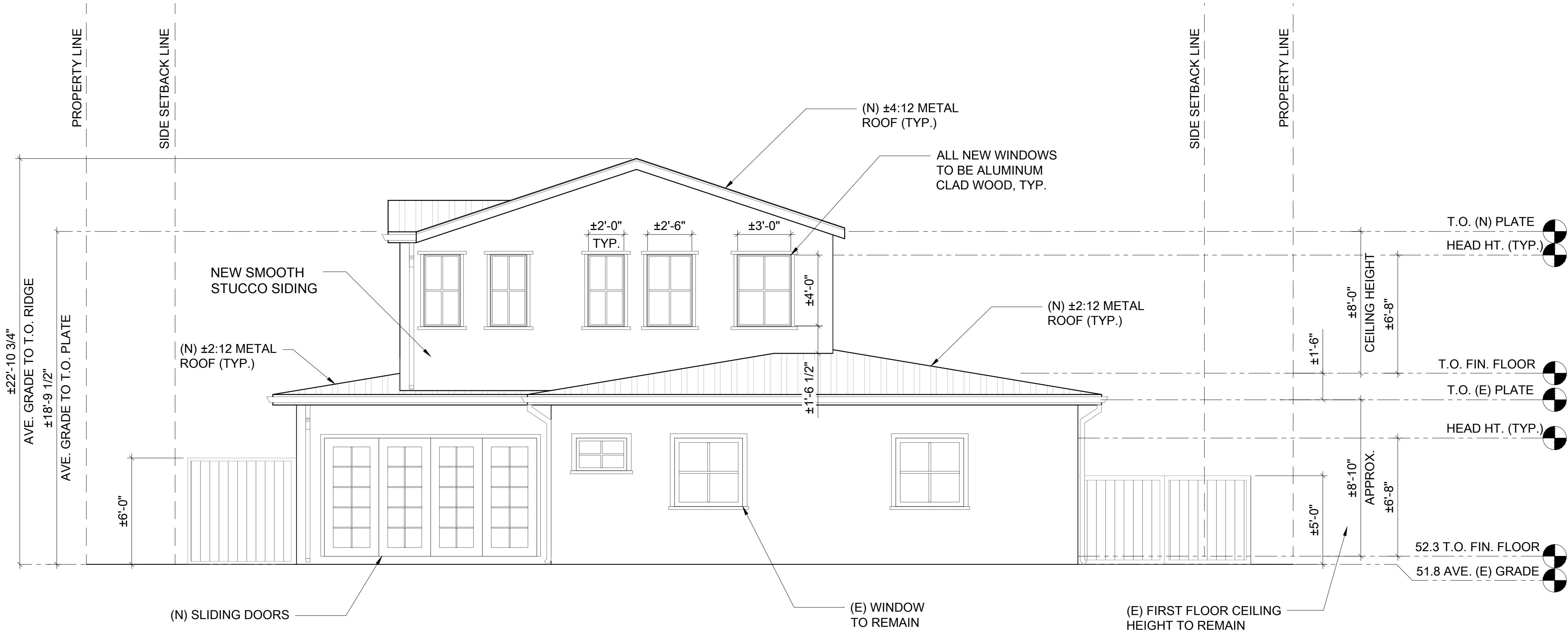
SAN MATEO, CA 94403

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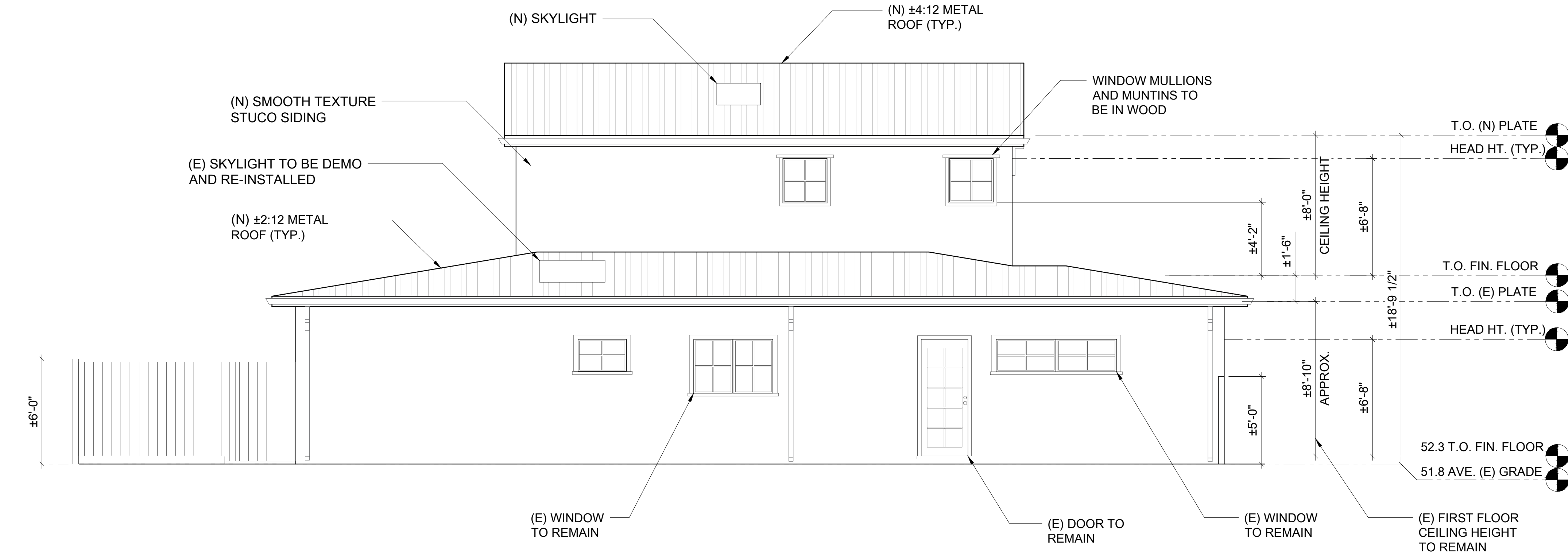


A3.3

PROPOSED ELEVATIONS



1 PROPOSED SOUTH (REAR) ELEVATION



2 PROPOSED EAST (LEFT) ELEVATION

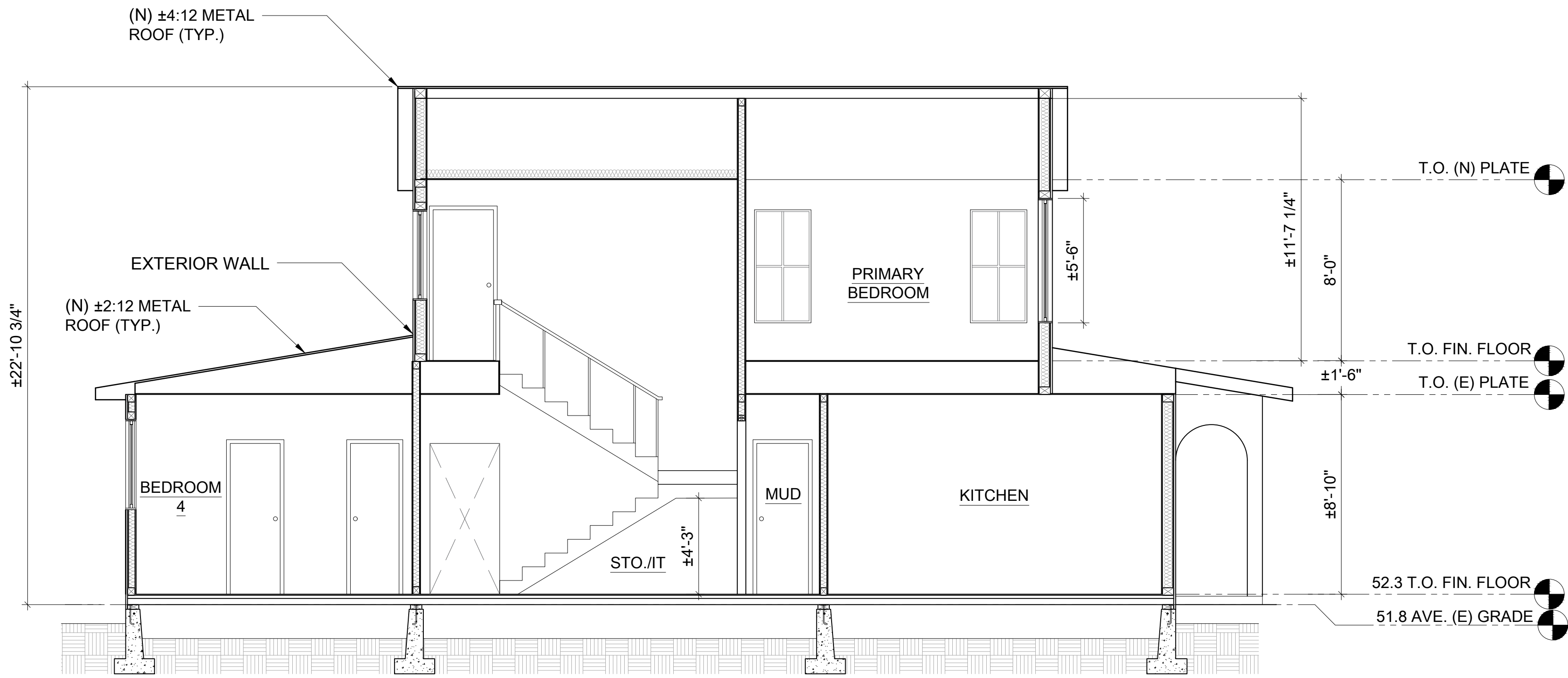
NOTE:
CONTRACTOR TO CONFIRM ROOF SLOPE ON SITE.



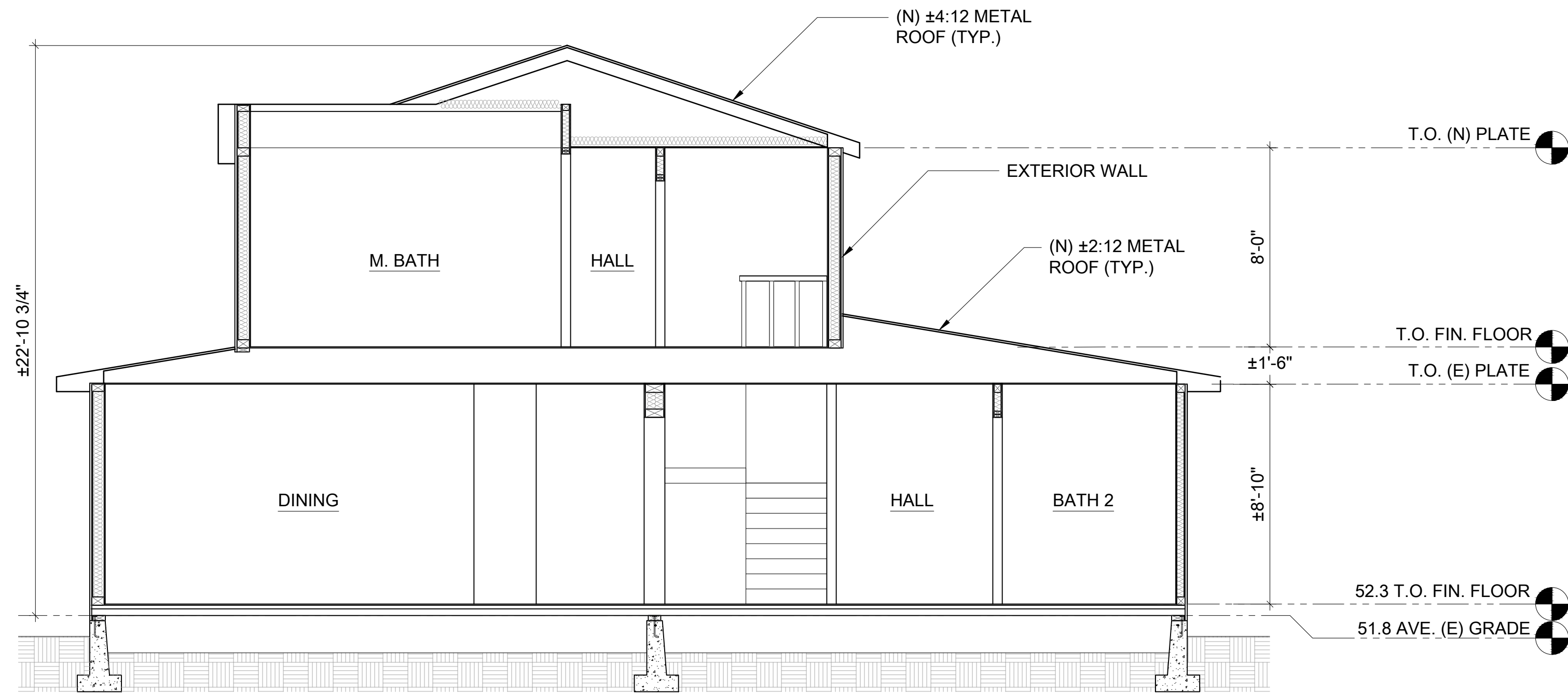
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1 SECTION A-A
Scale: 1/4" = 1'-0"



2 SECTION B-B
Scale: 1/4" = 1'-0"

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A4.0

SECTIONS AND
DETAILS



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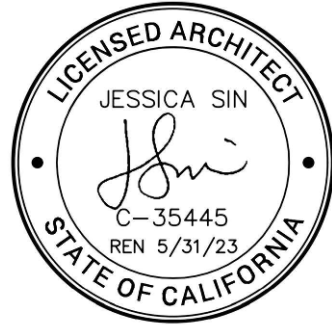


1

STREETSCAPE FRONT ELEVATION

0 3 6
Scale: 1/8" = 1'-0"

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A4.1



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VIEW 1 FROM THE LIVING ROOM



VIEW 2 FROM THE LIVING ROOM



VIEW 3 FROM THE LIVING ROOM



VIEW 4 FROM THE KITCHEN

1 PROPOSED INTERIOR VIEWS

NOT TO SCALE

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A5.0

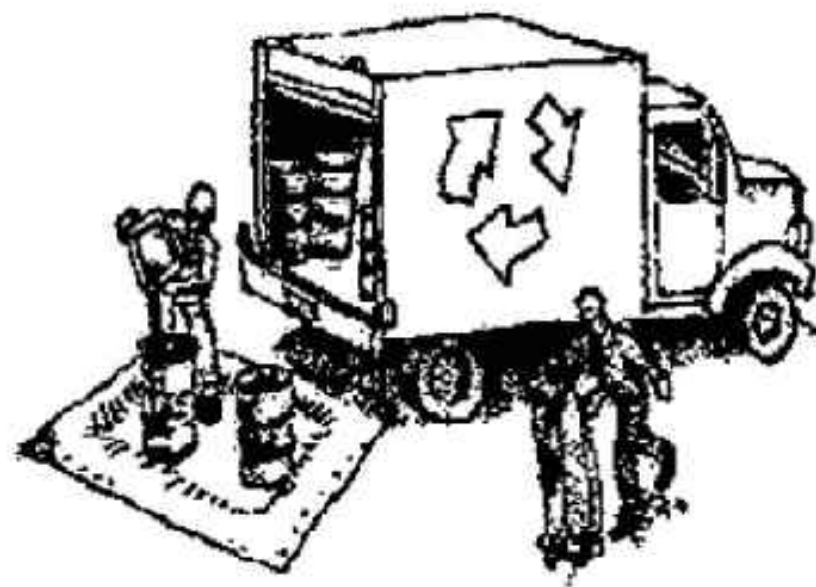


SAN MATEO COUNTYWIDE
**Water Pollution
 Prevention Program**
 Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



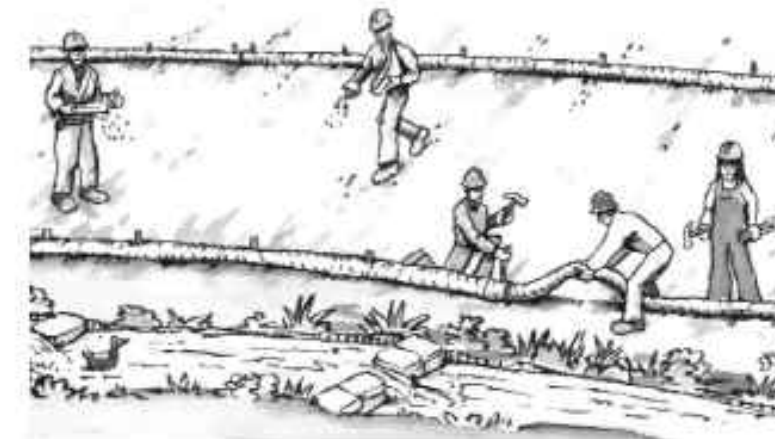
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthwork & Contaminated Soils



Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ Contaminated Soils
- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

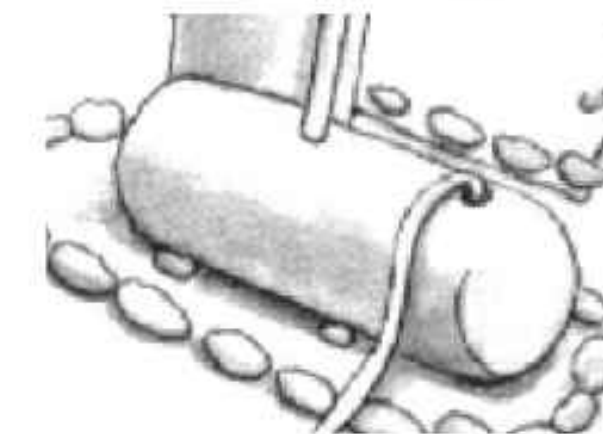
- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



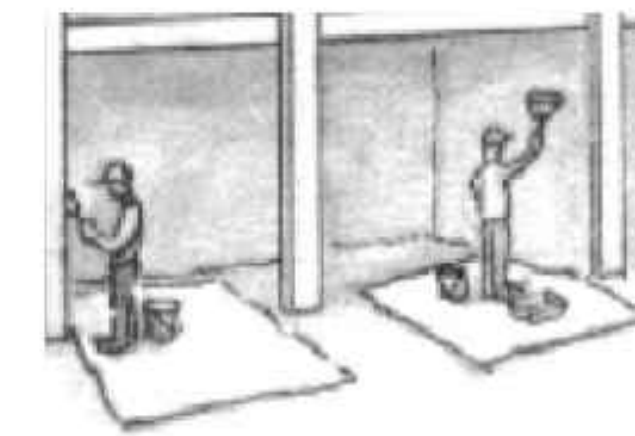
- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Dewatering



- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Painting & Paint Removal



Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint removal

- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Landscape Materials



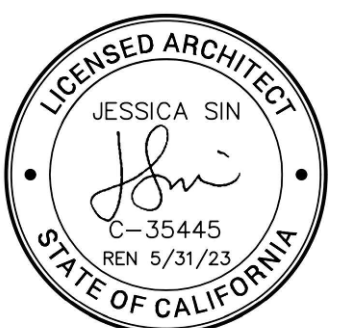
- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

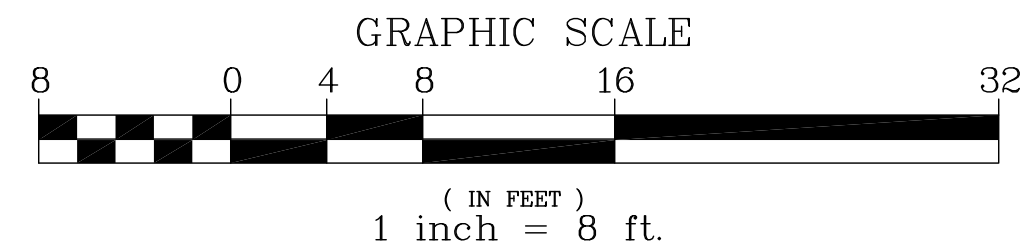
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A6.0



10-18-2021

ABBREVIATIONS

AC ASPHALT
BW BACK OF WALK
CONC. CONCRETE
TC TOP OF CURB
FL FLOW LINE
T.O.W. TOP OF WALL
SSMH SANITARY SEWER MANHOLE
P.U.E. PUBLIC UTILITY EASEMENT

LEGEND

- FOUND POINT IN MONUMENT CASTING (AS NOTED)
- ✕ FOUND CUT CROSS
- FOUND POINT AS NOTED
- () RECORD DATA / REFERENCE
- WM WATER METER OR WATER VALVE BOX
- ⦿ FIRE HYDRANT
- 16 12 8 OAK TREE - TRUNK DIAMETER IN INCHES
TREE SPECIES IDENTIFICATION: BEST EFFORT,
WE ARE NOT ARBORISTS OR DENDROLOGISTS
- 16 12 8 OAK TREE WITH MULTIPLE TRUNKS
- TRUNK ↑ TREE DRIP LINE POINTS TOWARDS TREE
TRUNKS. TREE DRIP LINES ABOVE
PROPERTY LOCATED AS SHOWN.
- +25.34 TOP OF CURB
- x—x— FENCE
- OE—OE— OVERHEAD WIRES
- OP POWER POLE
- + 12.34 SPOT ELEVATION
- SSCO 2.14 SANITARY SEWER CLEAN OUT
- WV WATER VALVE
- IRV IRRIGATION VALVE BOX
- POLE ANCHOR
- TOP TOE TOP OR TOE OF SLOPE

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

BOUNDARY CONTROL: SEE CONCURRENT CORNER RECORD
BOUNDARY CONTROL: SEE CONCURRENT RECORD OF SURVEY MAP

UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.

BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL TO THE
PROPERTY LINES.

DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE.
THE BUILDING EXTERIOR FINISHED SURFACE IS STUCCO AND VARIES APPROXIMATELY
0.06'-0.10' IN THICKNESS.

FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).

BENCHMARK: ASSUMED DATUM, POINT AS SHOWN

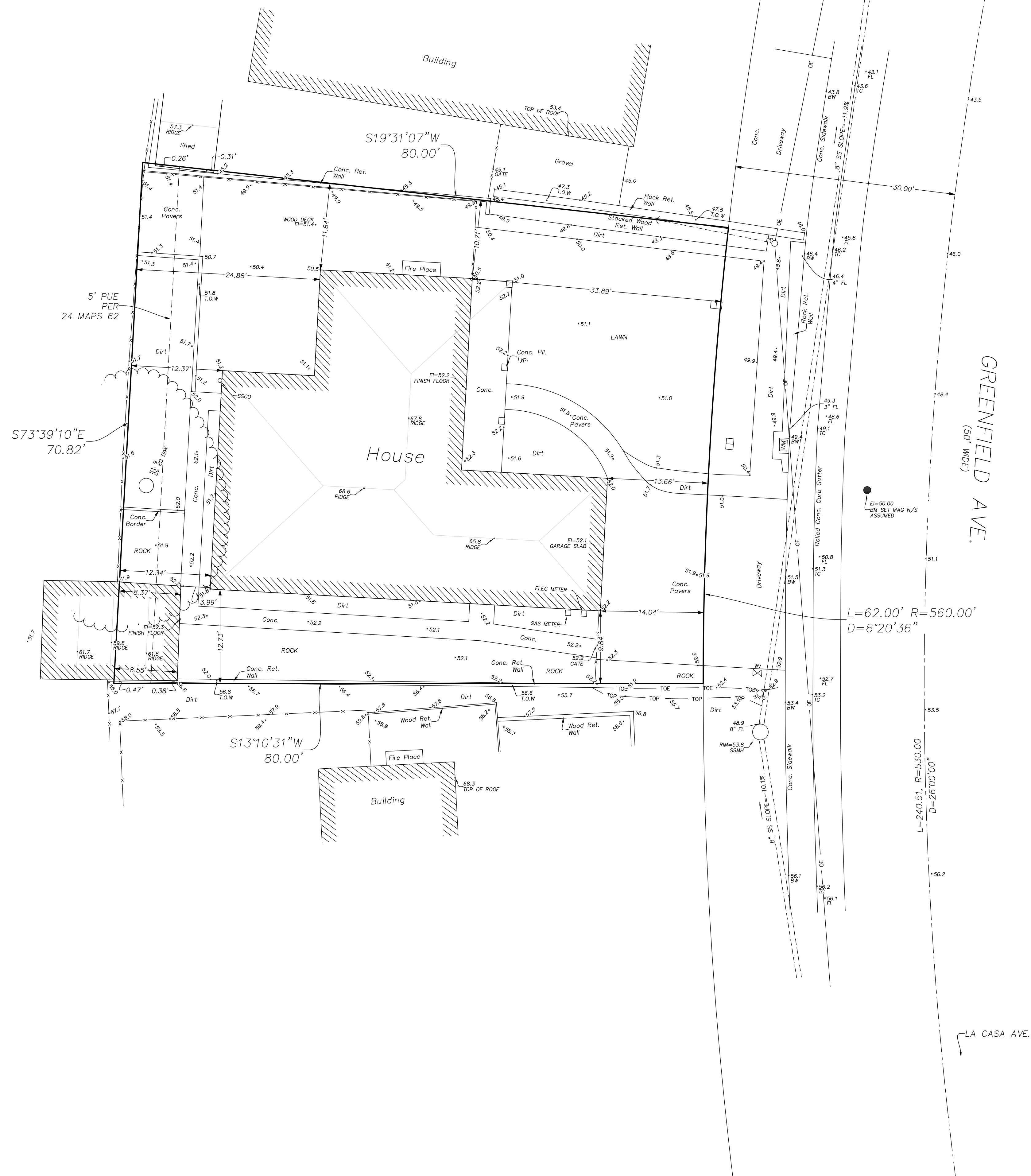
EXISTING HARDSCAPE IS NOT SHOWN ON THIS SURVEY.
THIS IS A PARTIAL TOPOGRAPHIC SURVEY - BUILDINGS AND FENCES ONLY

A BOUNDARY SURVEY WAS PERFORMED TO ACCURATELY LOCATE THE LEGAL PROPERTY
LINES IN RELATION TO THE EXISTING IMPROVEMENTS (BUILDING)

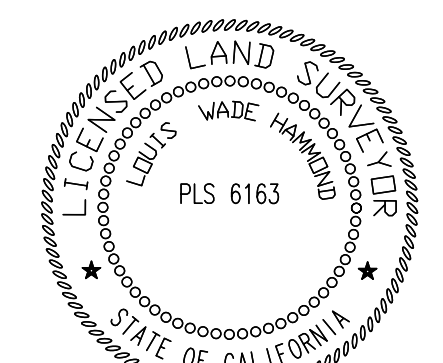
A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED
BY L. WADE HAMMOND LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE
NOT SHOWN ON THIS MAP.

TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR
DENDROLOGISTS.

TREES SHOWN ARE 6" TRUNK DIAMETER OR LARGER, MEASURED 5' ABOVE GRADE



BOUNDARY AND
TOPOGRAPHIC SURVEY
329 GREENFIELD AVE.
SAN MATEO
APN: 042-214-030
LOT 16, BLOCK 26, 24 MAPS 62
LOT AREA: 5,268 SQ. FT.



L. Wade Hammond

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