

PRE-APPLICATION PLANNING SUBMISSION FOR:

4TH & B
401-445 S B STREET
SAN MATEO, CA 94401



PRE-APPLICATION PLANNING SUBMISSION FOR:

4TH & RAILROAD
307 E 4TH AVENUE
SAN MATEO, CA 94401



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PROJECT NAME & ADDRESS:
4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

ISSUE: Project Status
ISSUE DATE: Issue Date

REVISIONS:

| REVISIONS | DESCRIPTION | DATE |
|-----------|------------------------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |

SHEET INDEX

ISSUE LOG KEY:

ISSUED AS PART OF THIS SET
R ISSUED FOR REFERENCE ONLY

| SHEET # | SHEET NAME | PRE-APPLICATION ISSUE #1 | PRE-APPLICATION RESUBMITTAL ISSUE #2 | ISSUE #3 | ISSUE #4 | ISSUE #5 | REMARKS |
|---------|------------|-----------------------------|---|----------|----------|----------|---------|
| | | | | | | | |

ARCHITECTURAL

| | | | | | | | |
|-------|-------------------------------------|---|---|--|--|--|--|
| A0.1 | COVER SHEET | X | X | | | | |
| A0.2 | PROJECT INFORMATION | X | X | | | | |
| A0.3 | BASEMENT AND FIRST FLOOR CODE PLANS | X | X | | | | |
| A0.4 | SECOND AND THIRD FLOOR CODE PLANS | X | X | | | | |
| A0.5 | FOURTH AND FIFTH FLOOR CODE PLANS | X | X | | | | |
| A0.6 | RENDERINGS | X | X | | | | |
| A0.7 | RENDERINGS | X | X | | | | |
| A0.8 | RENDERINGS | X | X | | | | |
| A0.9 | RENDERINGS | X | X | | | | |
| A0.10 | RENDERINGS | X | X | | | | |
| A0.11 | NEIGHBORHOOD CONTEXT | X | X | | | | |
| A1.0 | EXISTING SITE PLAN | X | X | | | | |
| A1.1 | PROPOSED SITE PLAN | X | X | | | | |
| A2.0 | BASEMENT PLAN | X | X | | | | |
| A2.1 | FIRST FLOOR PLAN | X | X | | | | |
| A2.2 | SECOND FLOOR PLAN | X | X | | | | |
| A2.3 | THIRD FLOOR PLAN | X | X | | | | |
| A2.4 | FOURTH FLOOR PLAN | X | X | | | | |
| A2.5 | FIFTH FLOOR PLAN | X | X | | | | |
| A2.6 | ROOF PLAN | X | X | | | | |
| A3.0 | EXTERIOR ELEVATIONS | X | X | | | | |
| A3.1 | EXTERIOR ELEVATIONS | X | X | | | | |
| A4.0 | BUILDING SECTIONS | X | X | | | | |

CIVIL

| | | | | | | | |
|-------|------------------------------------|---|---|--|--|--|--|
| C1.00 | EXISTING CONDITIONS | X | X | | | | |
| C2.00 | CONCEPT GRADING AND DRAINAGE | X | X | | | | |
| C2.50 | CONCEPT UTILITIES | X | X | | | | |
| C3.00 | CONCEPT STORMWATER MANAGEMENT PLAN | X | X | | | | |

LANDSCAPE

| | | | | | | | |
|---------------------------|---|---|---|--|--|--|--|
| L1.0 | LANDSCAPE PLAN - GROUND LEVEL | X | X | | | | |
| L1.1 | LANDSCAPE PLAN - DIAGRAMS, 2ND, 3RD, 4TH & 5TH FLOORS | X | X | | | | |
| L1.2 | OPEN SPACE DIAGRAM | X | X | | | | |
| L2.0 | ILLUSTRATIVE RENDERINGS | X | X | | | | |
| L2.1 | ILLUSTRATIVE RENDERINGS | X | X | | | | |
| RESIDENTIAL ARCHITECTURAL | | | | | | | |
| AR0.01 | PROJECT INFORMATION | X | X | | | | |
| AR1.00 | SITE PLAN | X | X | | | | |
| AR2.01 | FLOOR 1 | X | X | | | | |
| AR2.02 | FLOOR 2 | X | X | | | | |
| AR2.03 | FLOORS 3-7 | X | X | | | | |
| AR3.00 | BLOCK ELEVATIONS | X | X | | | | |
| AR3.01 | BUILDING ELEVATIONS | X | X | | | | |
| AR3.02 | PERSPECTIVE VIEWS | X | X | | | | |
| AR3.10 | MATERIAL BOARD | X | X | | | | |
| AR3.20 | BUILDING SECTIONS | X | X | | | | |
| AR3.21 | STREET WALL SECTION EXHIBITS | X | X | | | | |
| RESIDENTIAL LANDSCAPE | | | | | | | |
| LR1.0 | LANDSCAPE PLAN LEVEL 2 AMENITY TERRACE | X | X | | | | |
| LR2.0 | LANDSCAPE RENDERINGS LEVEL 2 TERRACE | X | X | | | | |
| SHEET TOTAL: | 45 | | | | | | |

GENERAL INFORMATION

| | |
|------------------------------------|--|
| ADDRESS OF PROJECT: COMMERCIAL: | 401-445 S B STREET SAN MATEO, CA 94401 |
| RESIDENTIAL: | 307 E 4TH AVENUE SAN MATEO, CA 94401 |
| ASSESSOR'S PARCEL NUMBER: | 034-179-010, 034-179-020, 034-179-030, 034-179-040, 034-179-050, 034-179-060 |
| EXISTING ZONING DISTRICT: | CENTRAL BUSINESS DISTRICT (CBD/R) |
| 2009 DOWNTOWN PLAN AREA: | DOWNTOWN RETAIL CORE |
| LOT SIZE (SQ. FT.): | +/- 50,600 SQ. FT. |
| FLOOR AREA RATIO (FAR): | 3.0 |
| ALLOWABLE BUILDING AREA: | 151,800 SQ. FT. (3.0 FAR) |
| FRONT SETBACK: | NONE |
| SIDE SETBACK: | NONE |
| REAR SETBACK: | NONE |

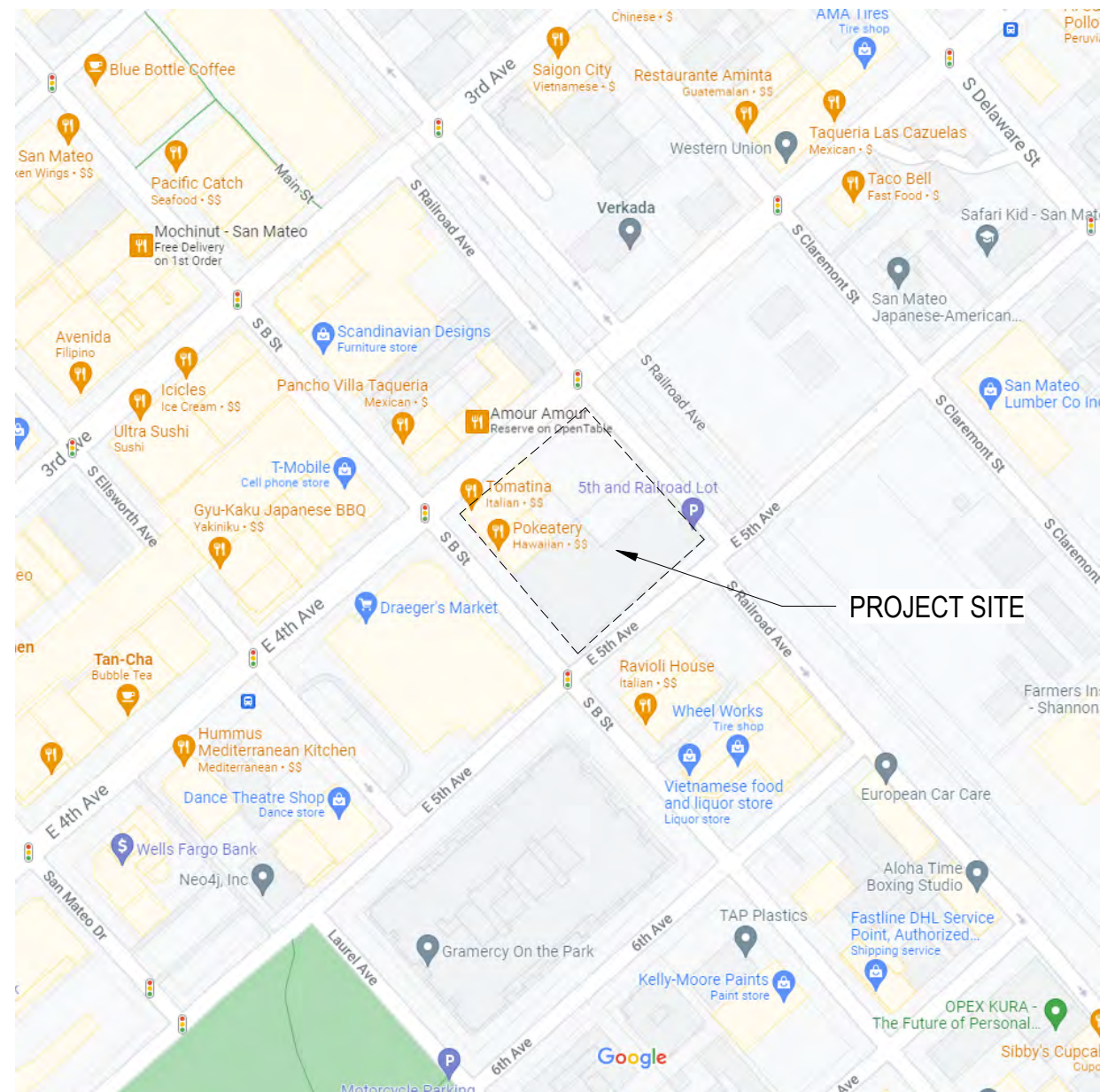
PARKING CALCULATIONS

| | |
|--|---------------------------------|
| PARKING ZONE: | CPID LIMITED PARKING ZONE (LPZ) |
| REQUIRED (SMC 27.64.100) | |
| RETAIL (1.91/1,000): | 23 STALLS |
| OFFICE (2.61/1,000): | 374 STALLS |
| RESIDENTIAL (0.5/UNIT): | 30 STALLS |
| PROVIDED COMMERCIAL: | |
| RESIDENTIAL: | |
| TOTAL: | 91 30 (1.07/UNIT) 128 |
| BIKE PARKING | |
| SHORT TERM REQ'D - OFFICE (1/20,000 SF): | 8 |
| SHORT TERM REQ'D - RETAIL (1/2,000 SF): | 6 |
| LONG TERM REQ'D - OFFICE (1/10,000 SF): | 15 |
| LONG TERM REQ'D - RETAIL (1/12,000 SF): | 1 |
| PROVIDED SHORT TERM: | 14 |
| PROVIDED LONG TERM: | 28 |

PROPOSED BUILDING DATA

| | |
|--|--|
| PROPOSED BUILDING AREA PER SMMC 27.04.200: | |
| COMMERCIAL: | |
| 1ST FLOOR: 34,653 | RESIDENTIAL: |
| 2ND FLOOR: 32,502 | 1ST FLOOR: 11,637 |
| 3RD FLOOR: 32,246 | 2ND FLOOR: 9,158 |
| 4TH FLOOR: 28,149 | 3RD FLOOR: 9,158 |
| 5TH FLOOR: 28,149 | 4TH FLOOR: 9,158 |
| PENTHOUSE: 5,681 | 5TH FLOOR: 9,158 |
| | 6TH FLOOR: 9,158 |
| | 7TH FLOOR: 9,158 |
| TOTAL: | 227,965 SF (4.5 FAR, INCREASED BY CA STATE DENSITY LAWS) |

VICINITY MAP



SCALE: 1/2" = 1'-0"

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COVER SHEET

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A0.1

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PROJECT TEAM

| | |
|---|--|
| OWNER DTSM TALBOTS VENTURE, LLC 180 GRAND AVENUE, SUITE 1400 OAKLAND, CA 94612 PH: 510.466.1485 | CIVIL SHERWOOD DESIGN ENGINEERS 2548 MISSION STREET SAN FRANCISCO, CA 94110 PH: 415.677.7300 |
| ARCHITECT RMW ARCHITECTURE & INTERIORS 30 E. SANTA CLARA STREET, SUITE 200 SAN JOSE, CA 95113 PH: 415.781.9800 | LANDSCAPE PLACE 735 NW 18TH AVENUE PORTLAND, OR 97209 PH: 503.334.2080 |
| RUSS NICHOLS - PRINCIPAL | CHARLES BRUCKER - PRINCIPAL |
| STRUCTURAL DCI ENGINEERS 135 MAIN STREET, SUITE 1800 SAN FRANCISCO, CA 94105 PH: 415.781.1505 | MECHANICAL - ELECTRICAL - PLUMBING PAE ENGINEERS 48 GOLDEN GATE AVENUE SAN FRANCISCO, CA 94102 PH: 415.544.7500 |
| JEFF BRINK - PRINCIPAL | MOANA REYNAU - SR. ASSOCIATE |

PROJECT DESCRIPTION

THIS SET OF DRAWINGS IS FOR A NEW 5-STORY + BASEMENT MASS TIMBER OFFICE BUILDING OF APPROXIMATELY 155,835 SF AT THE INTERSECTION OF S. B STREET AND 4TH AVENUE IN THE DOWNTOWN CORE OF SAN MATEO, CA. THIS PROJECT INCLUDES ON- AND OFF-SITE IMPROVEMENTS INCLUDING GROUND-LEVEL AND TERRACE LANDSCAPING, A CORNER RETAIL PLAZA, AND PUBLIC RIGHT-OF-WAY IMPROVEMENTS.

NEW BUILDING CONSTRUCTION WILL PURSUE USGBC LEED GOLD STANDARDS, AND WILL BE IN FULL COMPLIANCE WITH CALIFORNIA GREEN BUILDING CODE. THE BUILDING IS ALSO EXPECTED TO RUN ON ALL-ELECTRIC SYSTEMS WITH A POTENTIAL EXCEPTION FOR A FUTURE RESTAURANT TENANT.

PLUMBING FIXTURE CALCULATIONS

| LEVEL | OCC GROUP | AREA | LOAD FACTOR | OCC (M/W) | FIXTURES REQUIRED | | |
|-------|-----------|-----------|-------------|-----------|-------------------|----------------------|----|
| | | | | | WOMEN | MEN | DF |
| FLR 1 | M | 11,509 SF | 200 | 29/29 | 2 WC / 1 LAVS | 1 WC / 1 UR / 1 LAVS | 1 |
| FLR 1 | B | 23,636 SF | 200 | 60/60 | 4 WC / 2 LAVS | 2 WC / 1 UR / 1 LAVS | 1 |
| FLR 2 | B | 32,502 SF | 200 | 82/82 | 4 WC / 2 LAVS | 2 WC / 1 UR / 2 LAVS | 2 |
| FLR 3 | B | 32,248 SF | 200 | 81/81 | 4 WC / 2 LAVS | 2 WC / 1 UR / 2 LAVS | 2 |
| FLR 4 | B | 27,970 SF | 200 | 70/70 | 4 WC / 2 LAVS | 2 WC / 1 UR / 1 LAVS | 1 |
| FLR 4 | B | 27,630 SF | 200 | 70/70 | 4 WC / 2 LAVS | 2 WC / 1 UR / 1 LAVS | 1 |

| | | | | | |
|--|-------------------------|---------|-----------------|-----------------------|---|
| | FIXTURES REQUIRED TOTAL | 392/392 | 22 WC / 11 LAVS | 11 WC / 6 UR / 8 LAVS | 8 |
| | FIXTURES PROVIDED | | 22 WC / 11 LAVS | 11 WC / 6 UR / 8 LAVS | 8 |

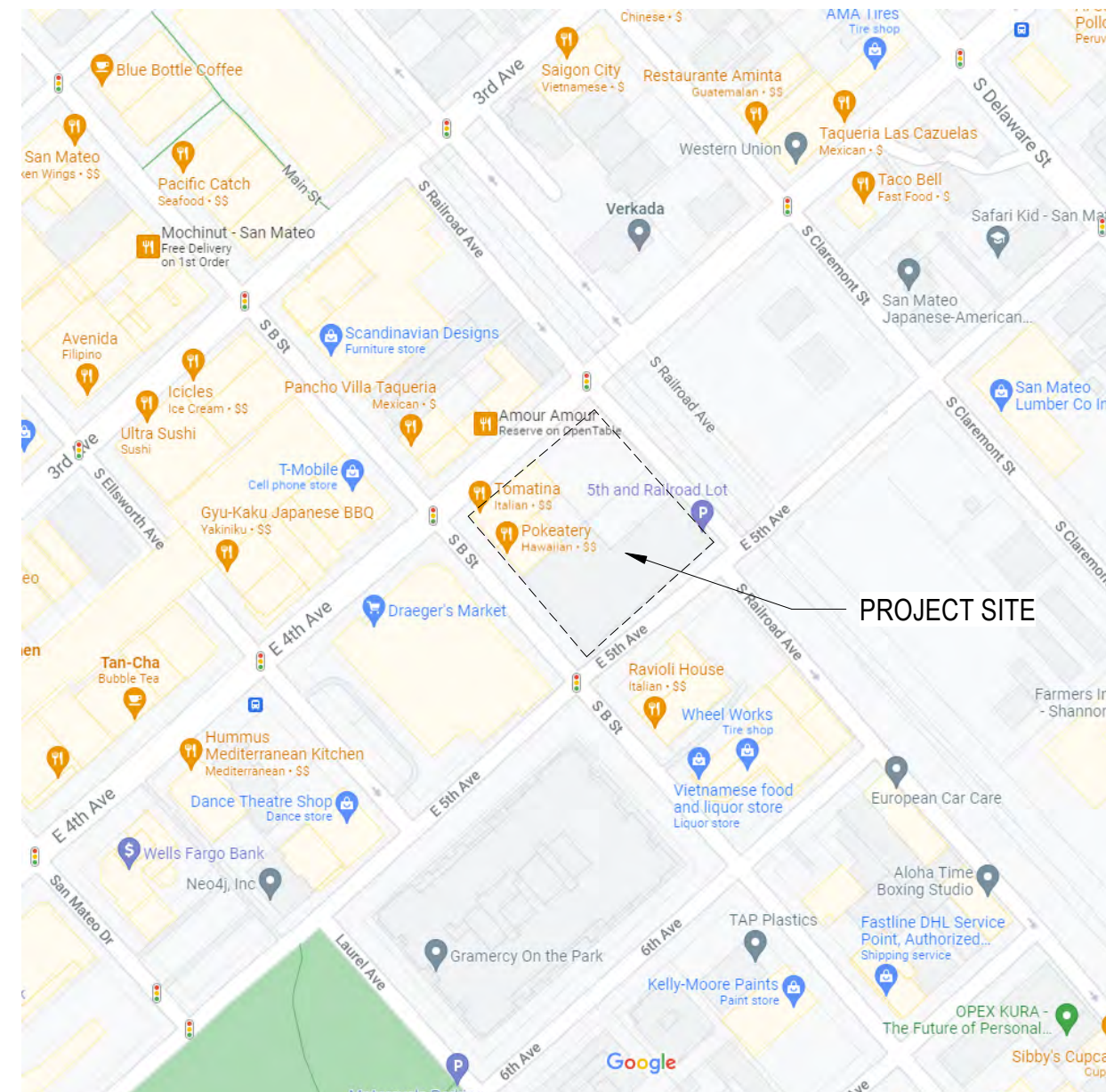
- NOTES:
- REQUIREMENTS PER 2019 CPC TABLE 422.1.
 - SQUARE FEET AREAS SHOWN ARE USABLE SPACES LESS ACCESSORY AREAS (HALLWAYS, RESTROOMS, STAIR ENCLOSURE, UTILITY ROOMS AND STORAGE -) PER CPC TABLE A EXCEPTION
 - OCCUPANT LOAD FACTORS:
A. ASSEMBLY: A2 30/SF
B. OFFICE: B 200/SF
 - CPC 2016 - 422.0 - 3 THE TOTAL NUMBER OF REQUIRED WATER CLOSETS FOR FEMALES SHALL BE NOT LESS THAN THE TOTAL NUMBER OF REQUIRED WATER CLOSETS AND URINALS FOR MALES. (BSQ) THIS REQUIREMENT SHALL NOT APPLY WHEN SINGLE OCCUPANCY TOILET FACILITIES ARE PROVIDED FOR EACH SEX IN AN A OR E OCCUPANCY WITH AN OCCUPANT LOAD OF LESS THAN 50. EITHER THE REQUIRED URINAL SHALL BE PERMITTED TO BE OMITTED OR IF INSTALLED, THE URINAL SHALL NOT REQUIRE A SECOND WATER CLOSET TO BE PROVIDED FOR THE FEMALE.
 - RESTROOMS ARE PROVIDED AS SINGLE-OCCUPANT FACILITIES. 50% ARE PROVIDED AS ACCESSIBLE.

PROPOSED BUILDING DATA

| | |
|--|---|
| BUILDING HEIGHT (FT.): | 75' - 0" |
| NUMBER OF STORIES: | BASEMENT + 5 LEVELS ABOVE GRADE |
| OCCUPANCY TYPE: | B, M |
| CONSTRUCTION TYPE (ASSUMES MASS TIMBER): | III-B (CBC TABLE 503, 506, 601) (MAY CHANGE IF MATERIALS CHANGE) |

- NOTE:
PROPOSED BUILDING TO BE FULLY SPRINKLERED. BASE FIRE SPRINKLER SYSTEM TO MEET NFPA13 REQUIREMENTS
- 2019 CALIFORNIA BUILDING STANDARDS CODE (TITLE 24), EFFECTIVE JANUARY 1, 2020:
- PART 1 - CALIFORNIA ADMINISTRATIVE CODE
 - PART 2 - CALIFORNIA BUILDING CODE, VOLUMES 1 AND 2
 - PART 2.5 - CALIFORNIA RESIDENTIAL CODE
 - PART 3 - CALIFORNIA ELECTRICAL CODE
 - PART 4 - CALIFORNIA MECHANICAL CODE
 - PART 5 - CALIFORNIA PLUMBING CODE
 - PART 6 - CALIFORNIA ENERGY CODE
 - PART 7 - VACANT/ NOT USED
 - PART 8 - CALIFORNIA HISTORICAL BUILDING CODE
 - PART 9 - CALIFORNIA FIRE CODE
 - PART 10 - CALIFORNIA EXISTING BUILDING CODE
 - PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE)
 - PART 12 - CALIFORNIA REFERENCED STANDARDS CODE
 - CAL/OSHA - TITLE 8, 2019 ELEVATOR SAFETY CODE
 - STANDARD SPECIFICATIONS AND DETAILS AND OTHER APPLICABLE REGULATIONS ISSUED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT.
 - THE WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CODES NO REGULATIONS LISTED ABOVE, INCLUDING SUPPLEMENTS AND AMENDMENTS IN EFFECT AT THE TIME THE DOCUMENTS WERE ISSUED

VICINITY MAP



SCALE: 1/2" = 1'-0"

PROJECT NUMBER: 0000000.00
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SHEET NAME:
PROJECT
INFORMATION

SHEET NUMBER:

A0.2

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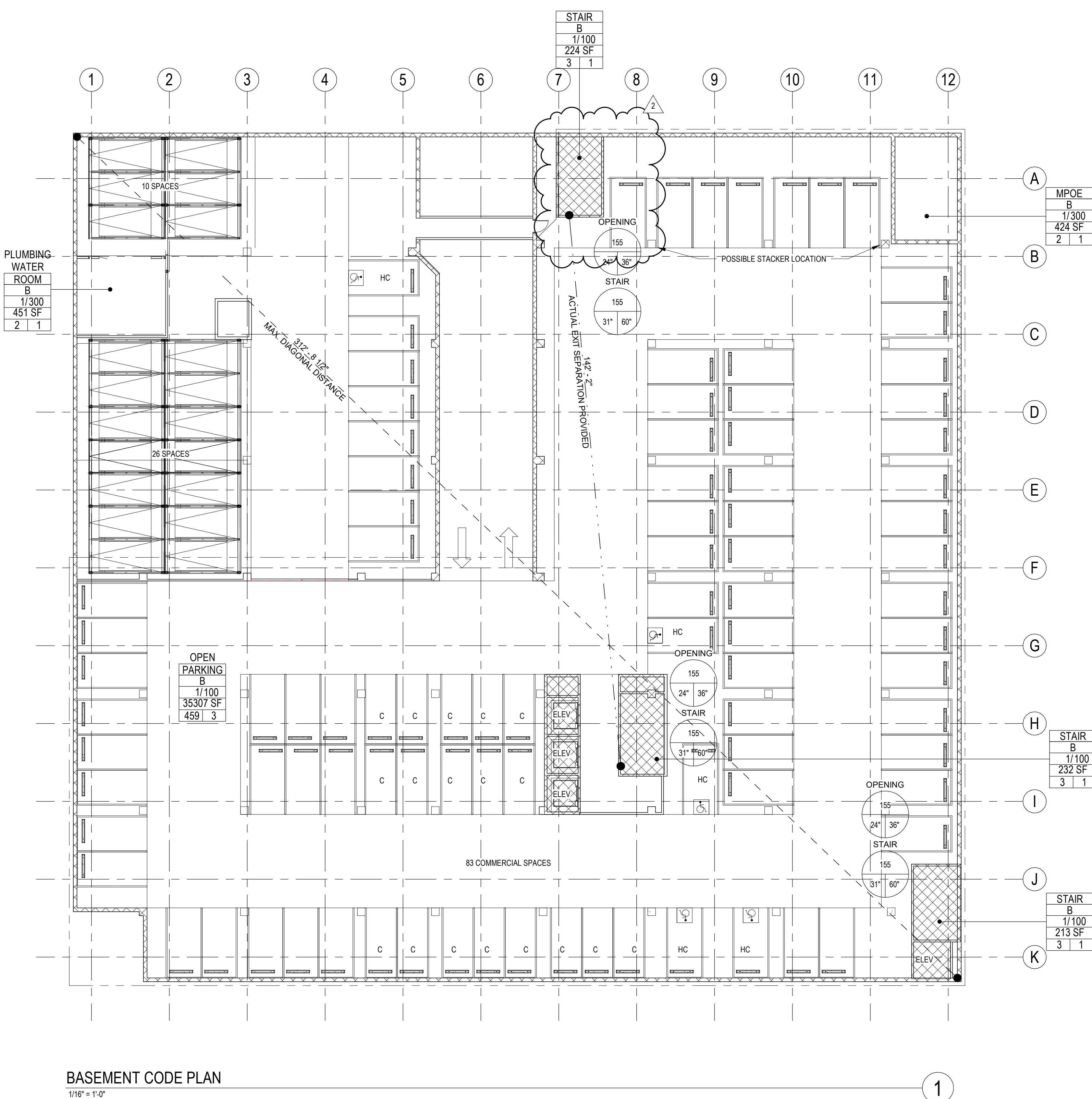
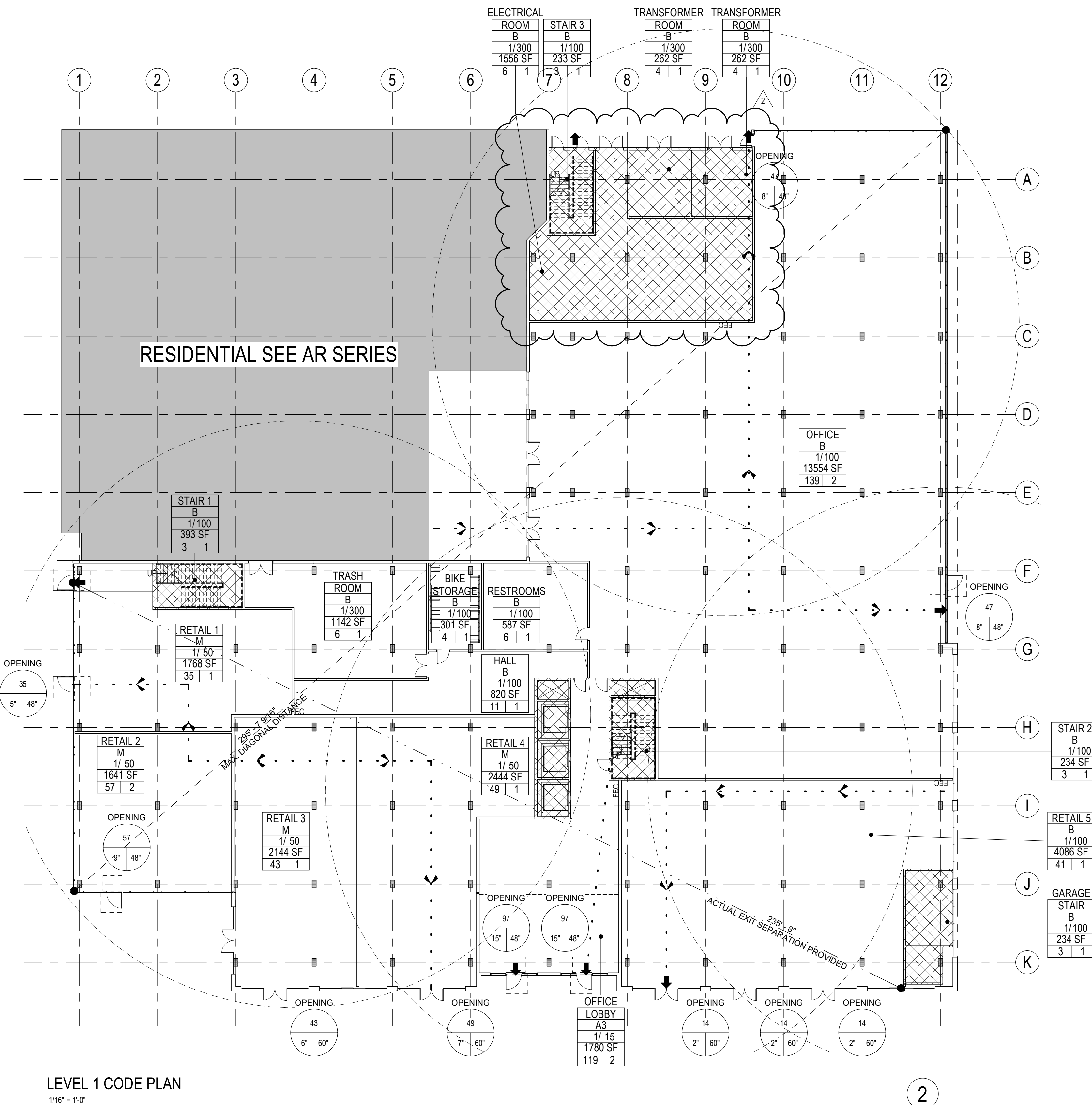
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SHEET NOTES

- SHEET NOTES AND KEY NOTES ARE FOR THE C+S SCOPE OF WORK AND ARE SPECIFIC TO THIS SHEET ONLY. UON THE ITEMS BELOW ARE HIGHLIGHTS ONLY. ALL 2019 CBC REQUIREMENTS SHALL BE ADHERED TO.
- THE OCCUPANCIES FOR THE TENANT SPACES WERE CALCULATED PER CBC TABLE 1006.1.2.
- REQUIRED EXITS ARE PLACED AT LEAST 10 THE CALCULATED DISTANCE FROM THE FARTHEST POINTS OF THE NEW SPACE. (CBC SECTION 1007.1.1 EXCEPTION 2).
- MAXIMUM EXIT TRAVEL DISTANCE IS 200' FOR A OCCUPANCY AND 300' FOR B OCCUPANCY. CBC TABLE 1017.2.
- EGRESS WIDTH CALCULATIONS FOR OPENINGS AND STAIRS IS BASED UPON CBC. SECTION 1005.3.1 AND 1005.3.2. EXCEPTION 1.
- EXIT OPENING WIDTH FACTOR = 0.15 X OCCUPANT LOAD
- STAIR WIDTH FACTOR = 0.2 X OCCUPANT LOAD
- EGRESS WIDTH AND EXIT COMPONENTS IS BASED UPON CBC SECTION 1005.3.
- THE NUMBER OF REQUIRED EXITS IS BASED UPON CBC TABLE 1006.1.1.
- REFER TO DOOR SCHEDULE FOR DOOR AND FRAME TYPES, RATINGS, SIZE AND HARDWARE TYPES.
- ALL DOORS SHALL HAVE CLEAR WIDTH NOT LESS THAN 32" PER CBC SECTION 1010.1.1. UON.
- PROVIDE TEMPORARY FIRE EXTINGUISHERS FOR C+S SCOPE OF WORK. LOCATE A MAXIMUM OF 75 FEET FROM ANY LOCATION WITHIN THE PROJECT AREA AND 100 FEET BETWEEN INDIVIDUAL FEC UNITS. 3,000 SF PER CABINET. LOCATE UNITS WHERE SHOWN OR AS DIRECTED BY THE FIRE MARSHAL. FIRE EXTINGUISHERS SHALL COMPLY WITH 2019 CBC SECTION 906 AND TABLE 906.3.1.1. FIRE EXTINGUISHERS TO BE MOUNTED ON FREE STANDING PEDESTALS. LARSEN'S MPS WITH RATING 2A 10B.C. 5 LBS CAPACITY.
- SIGNAGE SHALL COMPLY WITH CBC 118-710 FOR SIGNAGE.
- PROVIDE SYMBOL OF ACCESSIBILITY AT FRONT ENTRANCE.
- PROVIDE STAIRWELL TACTILE EXIT SIGNAGE PER CODE REQUIREMENT. REFER TO TACTILE SIGNAGE NOTES (2019 CBC SECTION 1023.9 AND 118-604.8). REFER TO ENLARGED STAIR PLANS.
- ALL INTERIOR TACTILE EGRESS SIGNAGE TO BE PROVIDED DURING FUTURE T1 PHASE.
- ALL FIRE PROTECTION EQUIPMENT AND ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED BY APPROVED SIGNAGE AND ACCESSIBLE BY FIRE DEPARTMENT PER SECTION 909, 2019 CALIFORNIA FIRE CODE. COORDINATE SIGNAGE REQUIREMENTS AND ACCESS WITH LOCAL FIRE MARSHAL JURISDICTION.
- PROVIDE EMERGENCY VOICELARIM COMMUNICATION SYSTEM.
- THE MAXIMUM REQUIRED EXIT SEPARATION IS BASED UPON CBC. SECTION 1007.1.
- RESTROOM FIXTURE CALCULATION BASED UPON 2019 CPC CODE:
 - A. REQUIREMENTS PER 100 CPC TABLE 402.1.
 - B. AREA SQUARE FOOTAGE SHOWN INCLUDES USABLE SPACES, LESS ACCESSORY AREAS, (HALLWAYS, CIRCULATION, RESTROOM, STAIR ENCLOSURE, UTILITY/STORAGE ROOMS, PER TABLE A EXCEPTION.
 - C. OCCUPANCY LOAD FACTORS USED INCLUDE:
 - ASSEMBLY: A2, A3 = 100
 - BUSINESS: B = 100
- ALL REQUIRED OCCUPANCY SEPARATIONS FOR THE FUTURE MIXED OCCUPANCY ZONES TO BE DETERMINED DURING THE FUTURE T1 SCOPE OF WORK.

EXIT WIDTH CALCULATION

| LEVEL | OCCUPANT LOAD | TOTAL NUMBER OF EXITS | | TOTAL EGRESS WIDTH | | TOTAL STAIR WIDTH | |
|----------|---------------|-----------------------|----------|--------------------|----------|-------------------|----------|
| | | REQUIRED | PROVIDED | REQUIRED | PROVIDED | REQUIRED | PROVIDED |
| BASEMENT | 463 OCC | 3 | 3 | 70" | 108" | 93" | 180" |
| FLR 1 | 474 OCC | 3 | 3 | 72" | 72" | 95" | 120" |

- NOTES:
- CALCULATIONS IN THIS TABLE ARE BASED ON 2019 CBC SECTION 1005.3
 - EGRESS WIDTHS BASED ON CBC SECTION 1005.3.1 AND 1005.3.2
 - EGRESS WIDTH MEETS CBC SECTION 1005.5 FOR DISTRIBUTION OF MINIMUM WIDTH AND REQUIRED CAPACITY

OCCUPANT LOAD CALCULATION

| Code Plan-Occupancy Schedule - Basement | | | | | |
|---|-----------|-----------|-------------|---------------|--|
| NAME | OCCUPANCY | AREA (SF) | LOAD FACTOR | OCCUPANT LOAD | |
| MPOE | B | 424 SF | 300 | 2 | |
| OPEN PARKING | B | 35307 SF | 100 | 354 | |
| PLUMBING WATER ROOM | B | 451 SF | 300 | 2 | |
| | | 36182 SF | | 358 | |

| Code Plan-Occupancy Schedule - Level 1 | | | | | |
|--|-----------|-----------|-------------|---------------|--|
| NAME | OCCUPANCY | AREA (SF) | LOAD FACTOR | OCCUPANT LOAD | |
| BIKE STORAGE | B | 301 SF | 100 | 4 | |
| ELECTRICAL ROOM | B | 1556 SF | 300 | 6 | |
| OFFICE | B | 13554 SF | 100 | 136 | |
| OFFICE LOBBY | A3 | 1780 SF | 15 | 119 | |
| RESTROOMS | B | 587 SF | 100 | 6 | |
| RETAIL 1 | M | 1768 SF | 50 | 23 | |
| RETAIL 2 | M | 1541 SF | 50 | 23 | |
| RETAIL 3 | M | 2144 SF | 50 | 43 | |
| RETAIL 4 | M | 2444 SF | 50 | 49 | |
| RETAIL 5 | B | 4086 SF | 100 | 41 | |
| TRANSFORMER ROOM | B | 262 SF | 300 | 1 | |
| TRANSFORMER ROOM | B | 262 SF | 300 | 1 | |
| TRASH ROOM | B | 1142 SF | 300 | 4 | |
| | | 31529 SF | | 443 | |

LEGEND

CODE ROOM TAG

OFFICE
Occupancy
1/100
150 SF
15 1

ROOM TYPE
OCCUPANCY TYPE
LOAD FACTOR
ROOM AREA
NO. OF REQD EXITS

EGRESS LOADS/WIDTHS FOR EXIT OPENING AND STAIR

OCC LOAD SERVED
REQD WIDTH
PROVIDED WIDTH
OPENING OR STAIR (WHERE INDICATED)

EGRESS LOADS/WIDTHS FOR EXIT OPENING AND STAIR (SEE EXIT WIDTH CALCS AT POINT OF EGRESS CHART)

REQUIRED POINT OF EGRESS

PATH OF EGRESS ROUTE

MAX DIAGONAL DISTANCE

ACTUAL EXIT SEPARATION, CBC SECTION 1007.1.1, EXCEPTION 2

COMMON PATH OF EGRESS TRAVEL, (MAX 100 FEET PER CBC TBL 1006.3.2(2))

MAXIMUM EXIT TRAVEL DISTANCE ROUTE ("MAX 300 FEET PER CBC TBL 1017.2)

TRAVEL ROUTE AND DISTANCE TO NEAREST FEC (MAX 75')

ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS (WHERE SHOWN)

ACCESSIBLE ENTRANCE / EXIT WITH ADA COMPLIANT SIGNAGE

FIRE EXTINGUISHER CABINET - RECESSED MOUNTED, UON

FIRE EXTINGUISHER SEPARATION - ACCESS RADIUS RANGE OF 75' MAXIMUM

NEW PARTITION, SEE FLOOR PLANS FOR PARTITION TYPE

1 - HOUR RATED PARTITION, SEE FLOOR PLANS FOR PARTITION TYPE

2 - HOUR RATED PARTITION, SEE FLOOR PLANS FOR PARTITION TYPES

T1 AREA NON-RATED

1 - HOUR RATED ROOM

2 - HOUR RATED ROOM

EXIT ROUTE SIGNAGE

E - TACTILE SIGNAGE: "EXIT" (SEE DETAIL 11/A9.6.1)

ER - TACTILE SIGNAGE: "EXIT ROUTE" (SEE DETAIL 11/A9.6.1)

ESD - TACTILE SIGNAGE: "EXIT STAIR DOWN" (SEE DETAIL 11/A9.6.1)

OCCUPANT LOAD SIGN TO BE MINIMUM 8-1/2" X 11" WITH CONTRASTING BLOCK CAPITAL LETTERS NOT LESS THAN 3/4" HIGH AND 1/16" STROKE. SIGN SHALL INDICATE USE OF ROOM AND ADDRESS OF OCCUPANCY

PANIC HARDWARE REQUIRED FOR NON-RATED DOORS

PANIC HARDWARE - RATED REQUIRED FOR RATED DOORS

ELECTRONIC CARD READER DEVICE

KEYNOTES

KEY NOTE SYMBOL USED ON DRAWINGS

SCALE: As indicated

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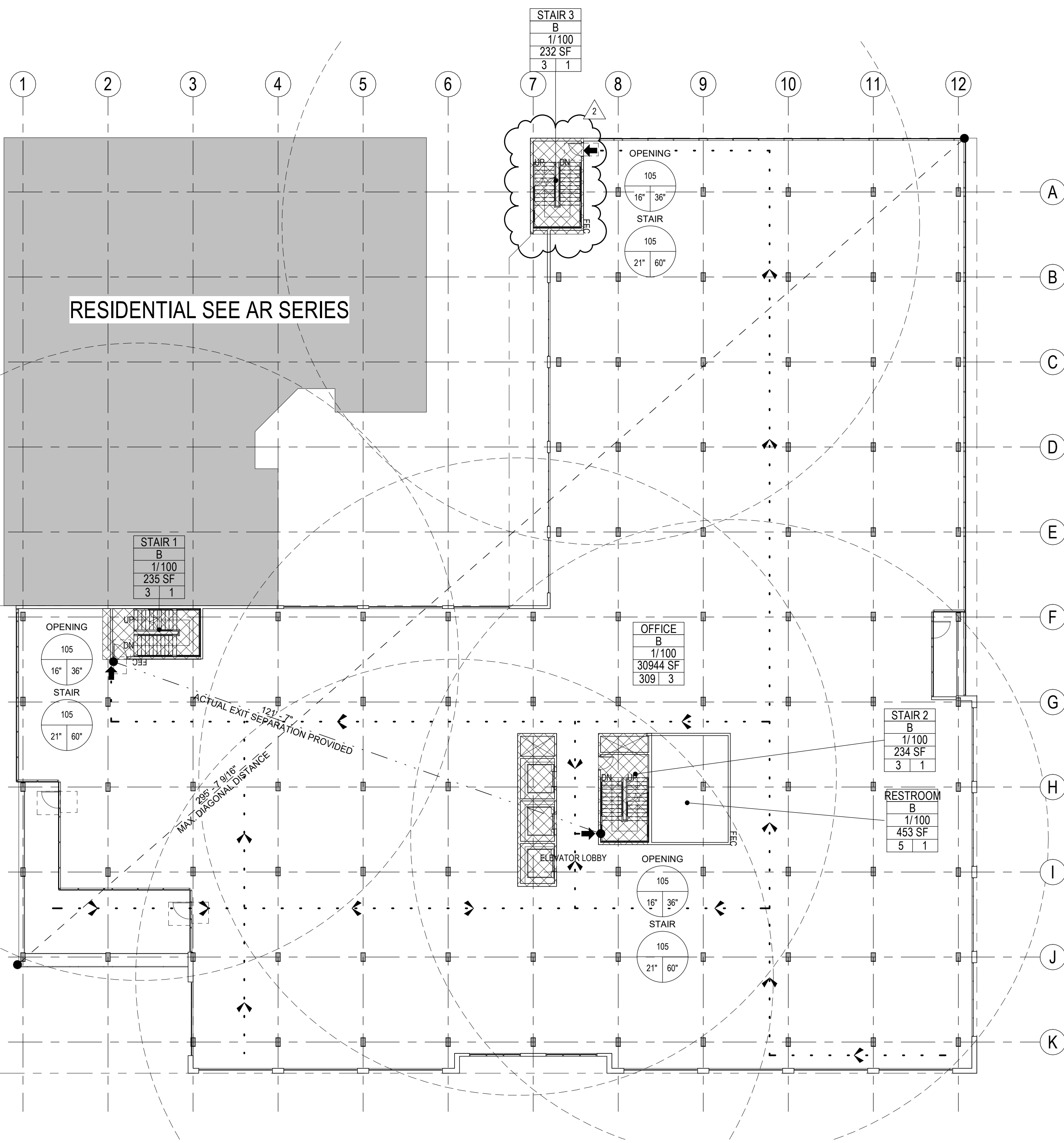
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SECOND AND THIRD
FLOOR CODE PLANS

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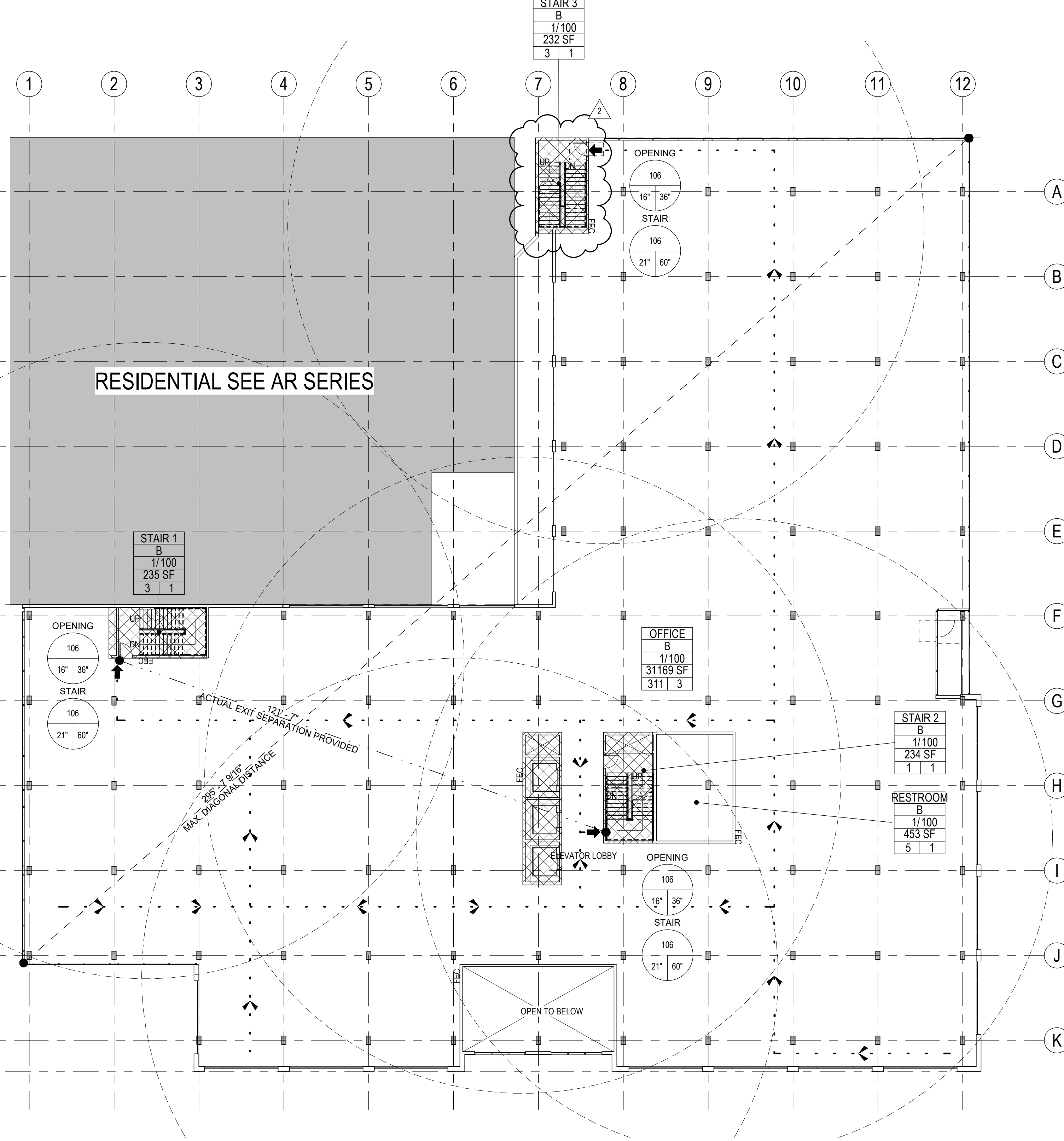
A0.4



LEVEL 3 CODE PLAN

1/16" = 1'-0"

2



LEVEL 2 CODE PLAN

1/16" = 1'-0"

1

SHEET NOTES

- SHEET NOTES AND KEY NOTES ARE FOR THE C+S SCOPE OF WORK AND ARE SPECIFIC TO THIS SHEET ONLY. UON THE ITEMS BELOW ARE HIGHLIGHTS ONLY. ALL 2019 CBC REQUIREMENTS SHALL BE ADHERED TO.
- THE OCCUPANCIES FOR THE TENANT SPACES WERE CALCULATED PER CBC TABLE 1004.1.2.
- REQUIRED EXITS ARE PLACED AT LEAST 10 THE CALCULATED DISTANCE FROM THE FARTHEST POINTS OF THE NEW SPACE. (CBC SECTION 1007.1.1 EXCEPTION 2).
- MAXIMUM EXIT TRAVEL DISTANCE IS 200' FOR AN OCCUPANCY AND 300' FOR B OCCUPANCY. CBC TABLE 1017.2.
- EGRESS WIDTH CALCULATIONS FOR OPENINGS AND STAIRS IS BASED UPON CBC SECTION 1005.3.1 AND 1005.3.2.
- EXCEPTION 1
- EXIT OPENING WIDTH FACTOR = 0.15 X OCCUPANT LOAD
- STAIR WIDTH FACTOR = 0.2 X OCCUPANT LOAD
- EGRESS WIDTH AND EXIT COMPONENTS IS BASED UPON CBC SECTION 1005.3.
- THE NUMBER OF REQUIRED EXITS IS BASED UPON CBC TABLE 1006.1.1.
- REFER TO DOOR SCHEDULE FOR DOOR AND FRAME TYPES, RATINGS, SIZE AND HARDWARE TYPES.
- ALL DOORS SHALL HAVE CLEAR WIDTH NOT LESS THAN 32" PER CBC SECTION 1010.1.1, UON.
- PROVIDE TEMPORARY FIRE EXTINGUISHERS FOR C+S SCOPE OF WORK. LOCATE A MAXIMUM OF 75 FEET FROM ANY LOCATION WITHIN THE PROJECT AREA AND 100 FEET BETWEEN INDIVIDUAL FEC UNITS. 3,000 SF PER CABINET. LOCATE UNITS WHERE SHOWN OR AS DIRECTED BY THE FIRE MARSHAL. FIRE EXTINGUISHERS SHALL COMPLY WITH 2019 CBC SECTION 906 AND TABLE 906.3.1. FIRE EXTINGUISHERS TO BE MOUNTED ON FREE STANDING PEDESTALS. LARSEN'S MPS WITH RATING 2A 10B C, 5 LBS CAPACITY.
- SIGNAGE SHALL COMPLY WITH CBC 118-710 FOR SIGNAGE.
- PROVIDE SYMBOL OF ACCESSIBILITY AT FRONT ENTRANCE.
- PROVIDE STAIRWELL TACTILE EXIT SIGNAGE PER CODE REQUIREMENT. REFER TO TACTILE SIGNAGE NOTES (2019 CBC SECTION 1023.9 AND 1109.04.B). REFER TO ENLARGED STAIR PLANS.
- ALL INTERIOR TACTILE EGRESS SIGNAGE TO BE PROVIDED DURING FUTURE TI PHASE.
- ALL FIRE PROTECTION EQUIPMENT AND ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED BY APPROVED SIGNAGE AND ACCESSIBLE BY FIRE DEPARTMENT PER SECTION 909, 2019 CALIFORNIA FIRE CODE. COORDINATE SIGNAGE REQUIREMENTS AND ACCESS WITH LOCAL FIRE MARSHAL JURISDICTION.
- PROVIDE EMERGENCY VOICELARM COMMUNICATION SYSTEM.
- THE MAXIMUM REQUIRED EXIT SEPARATION IS BASED UPON CBC SECTION 1007.1.
- RESTROOM FIXTURE CALCULATION BASED UPON 2019 CPC CODE:
 - REQUIREMENTS PER 100 CPC TABLE 402.1.
 - AREA SQUARE FOOTAGE SHOWN INCLUDES USABLE SPACES, LESS ACCESSORY AREAS, (HALLWAYS, CIRCULATION, RESTROOM, STAIR ENCLOSURE, UTILITY/STORAGE ROOMS, PER TABLE A EXCEPTION).
 - OCCUPANCY LOAD FACTORS USED INCLUDE:
 - ASSEMBLY: A2, A3 = 100
 - BUSINESS: B = 100
- ALL REQUIRED OCCUPANCY SEPARATIONS FOR THE FUTURE MIXED OCCUPANCY ZONES TO BE DETERMINED DURING THE FUTURE TI SCOPE OF WORK.

KEYNOTES

KEY NOTE SYMBOL USED ON DRAWINGS

EXIT WIDTH CALCULATION

| LEVEL | OCCUPANT LOAD | TOTAL NUMBER OF EXITS | | TOTAL EGRESS WIDTH | | TOTAL STAIR WIDTH | |
|-------|---------------|-----------------------|----------|--------------------|----------|-------------------|----------|
| | | REQUIRED | PROVIDED | REQUIRED | PROVIDED | REQUIRED | PROVIDED |
| FLR 2 | 316 OCC | 3 | 3 | 48" | 108" | 63" | 180" |
| FLR 3 | 314 OCC | 3 | 3 | 48" | 108" | 63" | 180" |

- NOTES:
- CALCULATIONS IN THIS TABLE ARE BASED ON 2019 CBC SECTION 1005.3.
 - EGRESS WIDTHS BASED ON CBC SECTION 1005.3.1 AND 1005.3.2
 - EGRESS WIDTH MEETS CBC SECTION 1005.5 FOR DISTRIBUTION OF MINIMUM WIDTH AND REQUIRED CAPACITY

OCCUPANT LOAD CALCULATION

| Code Plan-Occupancy Schedule - Level 2 | | | | |
|--|-----------|-----------|-------------|---------------|
| NAME | OCCUPANCY | AREA (SF) | LOAD FACTOR | OCCUPANT LOAD |
| OFFICE | B | 31169 SF | 100 | 312 |
| RESTROOM | B | 453 SF | 100 | 5 |
| | | 31622 SF | | 317 |

| Code Plan-Occupancy Schedule - Level 3 | | | | |
|--|-----------|-----------|-------------|---------------|
| NAME | OCCUPANCY | AREA (SF) | LOAD FACTOR | OCCUPANT LOAD |
| OFFICE | B | 30944 SF | 100 | 310 |
| RESTROOM | B | 453 SF | 100 | 5 |
| | | 31397 SF | | 315 |

LEGEND

OFFICE
Occupancy
1/100
150 SF
15 1

ROOM TYPE
OCCUPANCY TYPE
LOAD FACTOR
ROOM AREA
NO. OF REQD EXITS

CODE ROOM TAG

CALCULATED OCCUPANCY LOAD

EGRESS LOADS/WIDTHS FOR EXIT OPENING AND STAIR

EGRESS LOADS/WIDTHS FOR EXIT OPENING AND STAIR (SEE EXIT WIDTH CALCS AT POINT OF EGRESS CHART)

REQUIRED POINT OF EGRESS

PATH OF EGRESS ROUTE

MAX DIAGONAL DISTANCE

ACTUAL EXIT SEPARATION, CBC SECTION 1007.1.1, EXCEPTION 2

COMMON PATH OF EGRESS TRAVEL, (MAX 100 FEET PER CBC TBL 1006.3.2(2))

MAXIMUM EXIT TRAVEL DISTANCE ROUTE (MAX 300 FEET PER CBC TBL 1017.2)

TRAVEL ROUTE AND DISTANCE TO NEAREST FEC (MAX 75')

ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS (WHERE SHOWN)

ACCESSIBLE ENTRANCE / EXIT WITH ADA COMPLIANT SIGNAGE

FIRE EXTINGUISHER CABINET - RECESSED MOUNTED, UON

FIRE EXTINGUISHER SEPARATION - ACCESS RADIUS RANGE OF 75' MAXIMUM

NEW PARTITION, SEE FLOOR PLANS FOR PARTITION TYPE

1 - HOUR RATED PARTITION, SEE FLOOR PLANS FOR PARTITION TYPE

2 - HOUR RATED PARTITION, SEE FLOOR PLANS FOR PARTITION TYPES

T1 AREA NON-RATED

1 - HOUR RATED ROOM

2 - HOUR RATED ROOM

EXIT ROUTE SIGNAGE

A - TACTILE SIGNAGE: "EXIT" (SEE DETAIL 11/A9.6.1)

ER - TACTILE SIGNAGE: "EXIT ROUTE" (SEE DETAIL 11/A9.6.1)

ESD - TACTILE SIGNAGE: "EXIT STAIR DOWN" (SEE DETAIL 11/A9.6.1)

OCCUPANT LOAD SIGN TO BE MINIMUM 8-1/2" X 11" WITH CONTRASTING BLOCK CAPITAL LETTERS NOT LESS THAN 3/4" HIGH AND 1/16" STROKE. SIGN SHALL INDICATE USE OF ROOM AND ADDRESS OF OCCUPANCY

PANIC HARDWARE REQUIRED FOR NON-RATED DOORS

PANIC HARDWARE - RATED REQUIRED FOR RATED DOORS

ELECTRONIC CARD READER DEVICE

CLIENT:



PROJECT NAME & ADDRESS:

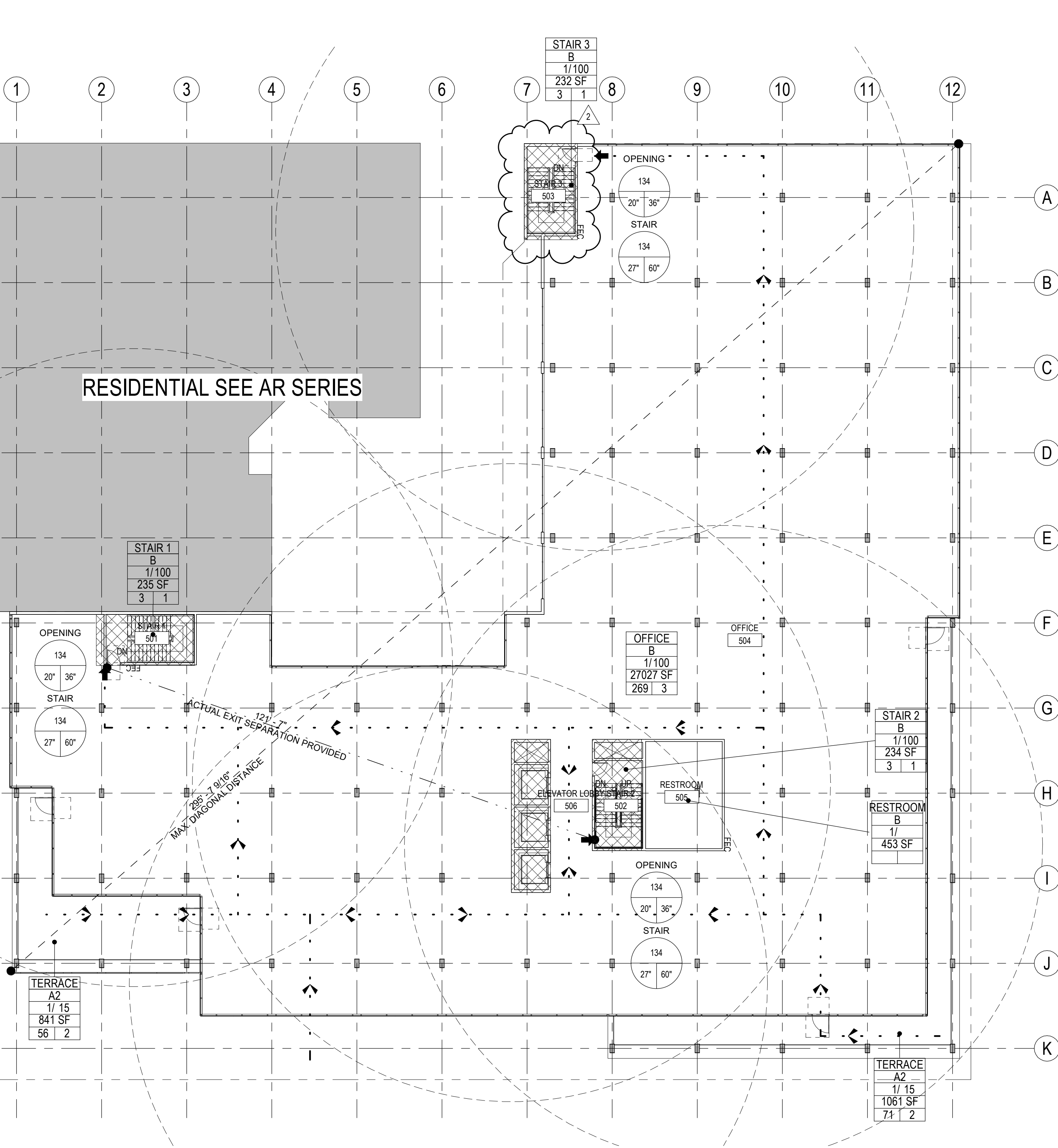
4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

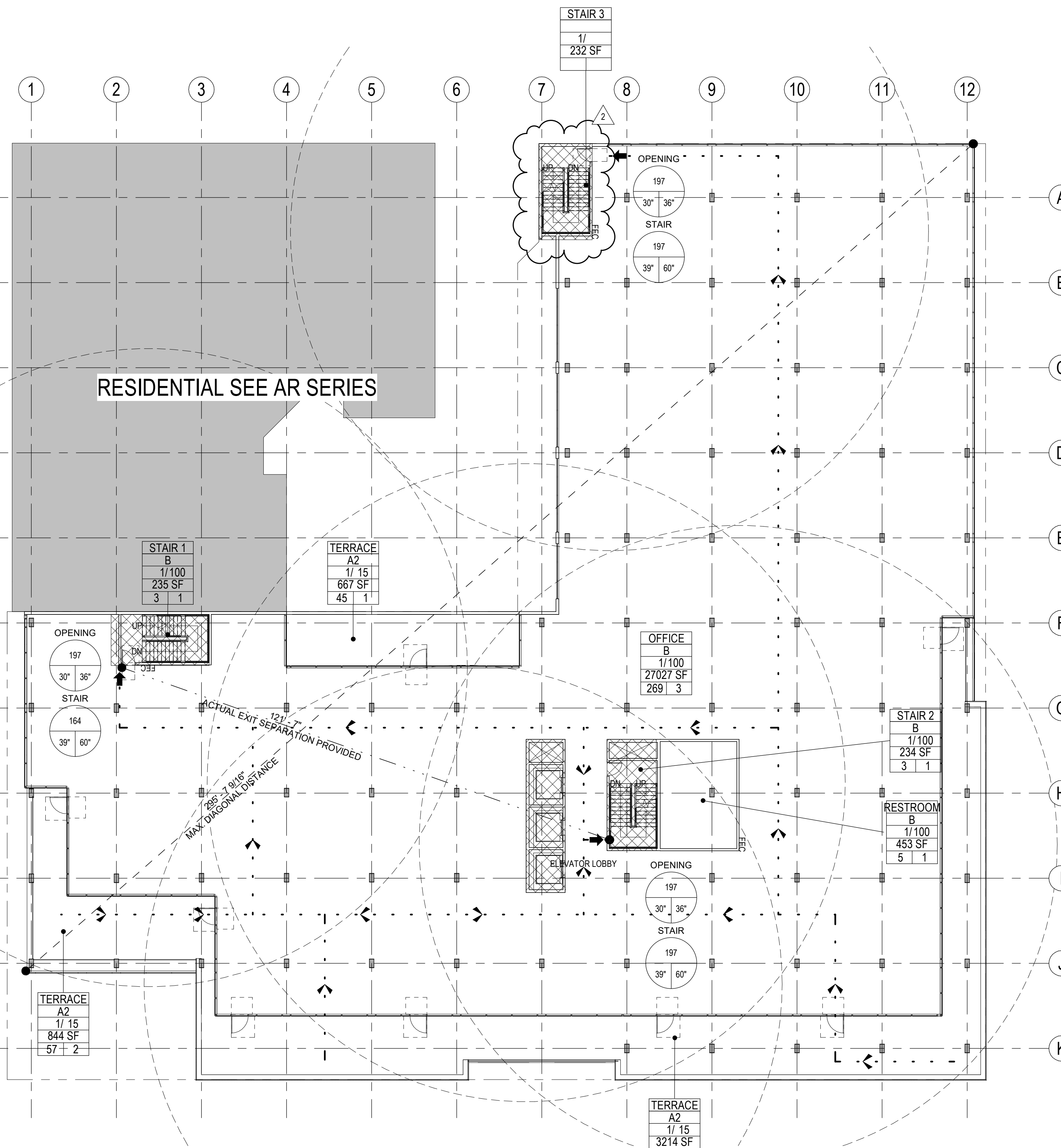
ISSUE: Project Status
ISSUE DATE: Issue Date

REVISIONS:

| REVISIONS | DESCRIPTION | DATE |
|-----------|------------------------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |



LEVEL 5 CODE PLAN
1/16" = 1'-0"



LEVEL 4 CODE PLAN
1/16" = 1'-0"

SHEET NOTES

- SHEET NOTES AND KEY NOTES ARE FOR THE C+S SCOPE OF WORK AND ARE SPECIFIC TO THIS SHEET ONLY. UON THE ITEMS BELOW ARE HIGHLIGHTS ONLY. ALL 2019 CBC REQUIREMENTS SHALL BE ADHERED TO.
- THE OCCUPANCIES FOR THE TENANT SPACES WERE CALCULATED PER CBC TABLE 1006.1.2.
- REQUIRED EXITS ARE PLACED AT LEAST 10 THE CALCULATED DISTANCE FROM THE FARTHEST POINTS OF THE NEW SPACE. (CBC SECTION 1007.1.1 EXCEPTION 2).
- MAXIMUM EXIT TRAVEL DISTANCE IS 200' FOR A OCCUPANCY AND 300' FOR B OCCUPANCY. CBC TABLE 1017.2.
- EGRESS WIDTH CALCULATIONS FOR OPENINGS AND STAIRS IS BASED UPON CBC. SECTION 1005.3.1 AND 1005.3.2. EXCEPTION 1.
- EXIT OPENING WIDTH FACTOR = 0.15 X OCCUPANT LOAD
- STAIR WIDTH FACTOR = 0.2 X OCCUPANT LOAD
- EGRESS WIDTH AND EXIT COMPONENTS IS BASED UPON CBC SECTION 1005.3.
- THE NUMBER OF REQUIRED EXITS IS BASED UPON CBC TABLE 1006.1.1.
- REFER TO DOOR SCHEDULE FOR DOOR AND FRAME TYPES, RATINGS, SIZE AND HARDWARE TYPES.
- ALL DOORS SHALL HAVE CLEAR WIDTH NOT LESS THAN 32" PER CBC SECTION 1010.1.1. UON.
- PROVIDE TEMPORARY FIRE EXTINGUISHERS FOR C+S SCOPE OF WORK. LOCATE A MAXIMUM OF 75 FEET FROM ANY LOCATION WITHIN THE PROJECT AREA AND 100 FEET BETWEEN INDIVIDUAL FEC UNITS. 3,000 SF PER CABINET. LOCATE UNITS WHERE SHOWN OR AS DIRECTED BY THE FIRE MARSHAL. FIRE EXTINGUISHERS SHALL COMPLY WITH 2019 CBC SECTION 906 AND TABLE 906.3.1. FIRE EXTINGUISHERS TO BE MOUNTED ON FREE STANDING PEDESTALS. LARSEN'S MPS WITH RATING 2A 10B C, 5 LBS CAPACITY.
- SIGNAGE SHALL COMPLY WITH CBC 118-710 FOR SIGNAGE.
- PROVIDE SYMBOL OF ACCESSIBILITY AT FRONT ENTRANCE.
- PROVIDE STAIRWELL TACTILE EXIT SIGNAGE PER CODE REQUIREMENT. REFER TO TACTILE SIGNAGE NOTES (2019 CBC SECTION 1023.9 AND 118-604.8). REFER TO ENLARGED STAIR PLANS.
- ALL INTERIOR TACTILE EGRESS SIGNAGE TO BE PROVIDED DURING FUTURE TI PHASE.
- ALL FIRE PROTECTION EQUIPMENT AND ROOMS CONTAINING CONTROLS FOR AIR-CONDITIONING SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED BY APPROVED SIGNAGE AND ACCESSIBLE BY FIRE DEPARTMENT PER SECTION 909, 2019 CALIFORNIA FIRE CODE. COORDINATE SIGNAGE REQUIREMENTS AND ACCESS WITH LOCAL FIRE MARSHAL JURISDICTION.
- PROVIDE EMERGENCY VOICELARM COMMUNICATION SYSTEM.
- THE MAXIMUM REQUIRED EXIT SEPARATION IS BASED UPON CBC. SECTION 1007.1.
- RESTROOM FIXTURE CALCULATION BASED UPON 2019 CPC CODE:
 - A. REQUIREMENTS PER 100 CPC TABLE A2.1.
 - B. AREA SQUARE FOOTAGE SHOWN INCLUDES USABLE SPACES, LESS ACCESSORY AREAS, (HALLWAYS, CIRCULATION, RESTROOM, STAIR ENCLOSURE, UTILITY/STORAGE ROOMS, PER TABLE A EXCEPTION).
 - C. OCCUPANCY LOAD FACTORS USED INCLUDE:
 - ASSEMBLY: A2, A3 = 150
 - BUSINESS: B = 100
- ALL REQUIRED OCCUPANCY SEPARATIONS FOR THE FUTURE MIXED OCCUPANCY ZONES TO BE DETERMINED DURING THE FUTURE TI SCOPE OF WORK.

EXIT WIDTH CALCULATION

| LEVEL | OCCUPANT LOAD | TOTAL NUMBER OF EXITS | | TOTAL EGRESS WIDTH | | TOTAL STAIR WIDTH | |
|-------|---------------|-----------------------|----------|--------------------|----------|-------------------|----------|
| | | REQUIRED | PROVIDED | REQUIRED | PROVIDED | REQUIRED | PROVIDED |
| FLR 4 | 491 OCC | 2 | 13 | 35.4" | 900" | NA | NA |
| FLR 5 | 147 OCC | 2 | 2 | 22.05" | 72" | 29.4" | 120" |

- NOTES:
- CALCULATIONS IN THIS TABLE ARE BASED ON 2019 CBC SECTION 1005.3
 - EGRESS WIDTHS BASED ON CBC SECTION 1005.3.1 AND 1005.3.2
 - EGRESS WIDTH MEETS CBC SECTION 1005.5 FOR DISTRIBUTION OF MINIMUM WIDTH AND REQUIRED CAPACITY

OCCUPANT LOAD CALCULATION

| Code Plan-Occupancy Schedule - Level 4 | | | | | |
|--|-----------|-----------|-------------|---------------|--|
| NAME | OCCUPANCY | AREA (SF) | LOAD FACTOR | OCCUPANT LOAD | |
| OFFICE | B | 27027 SF | 100 | 271 | |
| RESTROOM | B | 453 SF | 100 | 5 | |
| TERRACE | A2 | 3214 SF | 15 | 215 | |
| TERRACE | A2 | 844 SF | 15 | 57 | |
| TERRACE | A2 | 667 SF | 15 | 45 | |
| 32205 SF | | | | 593 | |

| Code Plan-Occupancy Schedule - Level 5 | | | | | |
|--|-----------|-----------|-------------|---------------|--|
| NAME | OCCUPANCY | AREA (SF) | LOAD FACTOR | OCCUPANT LOAD | |
| OFFICE | B | 27027 SF | 100 | 271 | |
| RESTROOM | B | 453 SF | 100 | 5 | |
| TERRACE | A2 | 1061 SF | 15 | 71 | |
| TERRACE | A2 | 841 SF | 15 | 57 | |
| 29383 SF | | | | 404 | |

LEGEND

CODE ROOM TAG

OFFICE
Occupancy
1/100
150 SF
15 1

ROOM TYPE
OCCUPANCY TYPE
LOAD FACTOR
ROOM AREA
NO. OF REQD EXITS

CODE ROOM TAG

ROOM TYPE
OCCUPANCY TYPE
LOAD FACTOR
ROOM AREA
NO. OF REQD EXITS

EGRESS LOADS/WIDTHS FOR EXIT OPENING AND STAIR

OCC LOAD SERVED
REQD WIDTH
PROVIDED WIDTH
OPENING OR STAIR (WHERE INDICATED)

EGRESS LOADS/WIDTHS FOR EXIT OPENING AND STAIR (SEE EXIT WIDTH CALCS AT POINT OF EGRESS CHART)

REQUIRED POINT OF EGRESS

PATH OF EGRESS ROUTE
MAX DIAGONAL DISTANCE
ACTUAL EXIT SEPARATION, CBC SECTION 1007.1.1, EXCEPTION 2

COMMON PATH OF EGRESS TRAVEL, (MAX 100 FEET PER CBC TBL 1006.3.2(2))

MAXIMUM EXIT TRAVEL DISTANCE ROUTE (MAX 300 FEET PER CBC TBL 1017.2)

TRAVEL ROUTE AND DISTANCE TO NEAREST FEC (MAX 75')

ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS (WHERE SHOWN)

ACCESSIBLE ENTRANCE / EXIT WITH ADA COMPLIANT SIGNAGE

FIRE EXTINGUISHER CABINET - RECESSED MOUNTED, UON

FIRE EXTINGUISHER SEPARATION - ACCESS RADIUS RANGE OF 75' MAXIMUM

EXIT ROUTE SIGNAGE

A - TACTILE SIGNAGE: "EXIT" (SEE DETAIL 11/A9.6.1)

B - TACTILE SIGNAGE: "EXIT ROUTE" (SEE DETAIL 11/A9.6.1)

C - TACTILE SIGNAGE: "EXIT STAIR DOWN" (SEE DETAIL 11/A9.6.1)

D - TACTILE SIGNAGE: "EXIT STAIR DOWN" (SEE DETAIL 11/A9.6.1)

[PH] - PANIC HARDWARE REQUIRED FOR NON-RATED DOORS

[PHR] - PANIC HARDWARE - RATED REQUIRED FOR RATED DOORS

[CR] - ELECTRONIC CARD READER DEVICE

OCCUPANT LOAD SIGN TO BE MINIMUM 8-1/2" X 11" WITH CONTRASTING BLOCK CAPITAL LETTERS NOT LESS THAN 3/4" HIGH AND 1/16" STROKE. SIGN SHALL INDICATE USE OF ROOM AND ADDRESS OF OCCUPANCY

KEYNOTES

KEY NOTE SYMBOL USED ON DRAWINGS

SCALE: As indicated

PROJECT NUMBER: 0000000.00
DRAWN BY: Author
CHECKED BY: Checker

STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:
FOURTH AND FIFTH
FLOOR CODE PLANS

SHEET NUMBER:

A0.5



CORNER OF 4TH & B
12" = 1'-0"

RMW

RMW
Architecture
Interiors
30 E. Santa Clara St.
Suite 200
San Jose
California 95113
Office
408 294-8000
Fax
408 294-1747
rmw.com

CLIENT:



PROJECT NAME & ADDRESS:
4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

ISSUE: Project Status
ISSUE DATE: Issue Date

REVISIONS :
1 PRE-APPLICATION DATE 02/10/2022

1

SCALE: 12" = 1'-0"
PROJECT NUMBER: 0000000.00
DRAWN BY: Author
CHECKED BY: Checker
STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:
RENDERINGS

SHEET NUMBER:
A0.6



CORNER OF 5TH & B
1/2" = 1'-0"

1

| | |
|-----------------|--------------|
| SCALE: | 1/2" = 1'-0" |
| PROJECT NUMBER: | 0000000.00 |
| DRAWN BY: | Author |
| CHECKED BY: | Checker |
| STAMP: | |

NOT FOR
CONSTRUCTION

SHEET NAME:
RENDERINGS

SHEET NUMBER:
A0.7



B STREET ELEVATION
1/2" = 1'-0"

| | | |
|---|-----------------|--------------|
| 1 | SCALE: | 1/2" = 1'-0" |
| | PROJECT NUMBER: | 0000000.00 |
| | DRAWN BY: | Author |
| | CHECKED BY: | Checker |
| | STAMP: | |

**NOT FOR
CONSTRUCTION**

SHEET NAME:
RENDERINGS

SHEET NUMBER:
A0.8



5TH STREET ELEVATION
1/2" = 1'-0"

CLIENT:



PROJECT NAME & ADDRESS:
4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

| | |
|-------------|----------------|
| ISSUE: | Project Status |
| ISSUE DATE: | Issue Date |

| REVISIONS : | DESCRIPTION | DATE |
|-------------|-----------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |

1

| | |
|-----------------|--------------|
| SCALE: | 1/2" = 1'-0" |
| PROJECT NUMBER: | 0000000.00 |
| DRAWN BY: | Author |
| CHECKED BY: | Checker |
| STAMP: | |

NOT FOR
CONSTRUCTION

SHEET NAME:
RENDERINGS

SHEET NUMBER:
A0.9

CLIENT:



PROJECT NAME & ADDRESS:
4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

| | |
|-------------|----------------|
| ISSUE: | Project Status |
| ISSUE DATE: | Issue Date |

| REVISIONS : | DESCRIPTION | DATE |
|-------------|-----------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |



4TH STREET ELEVATION
1/2" = 1'-0"

1

| | |
|-----------------|--------------|
| SCALE: | 1/2" = 1'-0" |
| PROJECT NUMBER: | 0000000.00 |
| DRAWN BY: | Author |
| CHECKED BY: | Checker |
| STAMP: | |

NOT FOR
CONSTRUCTION

SHEET NAME:
RENDERINGS

SHEET NUMBER:
A0.10



1. RESTAURANT



2. COMMERCIAL



3. PLANNED MIXED USE



4. PLANNED MIXED USE



5. RESIDENTIAL



6. COMMERCIAL



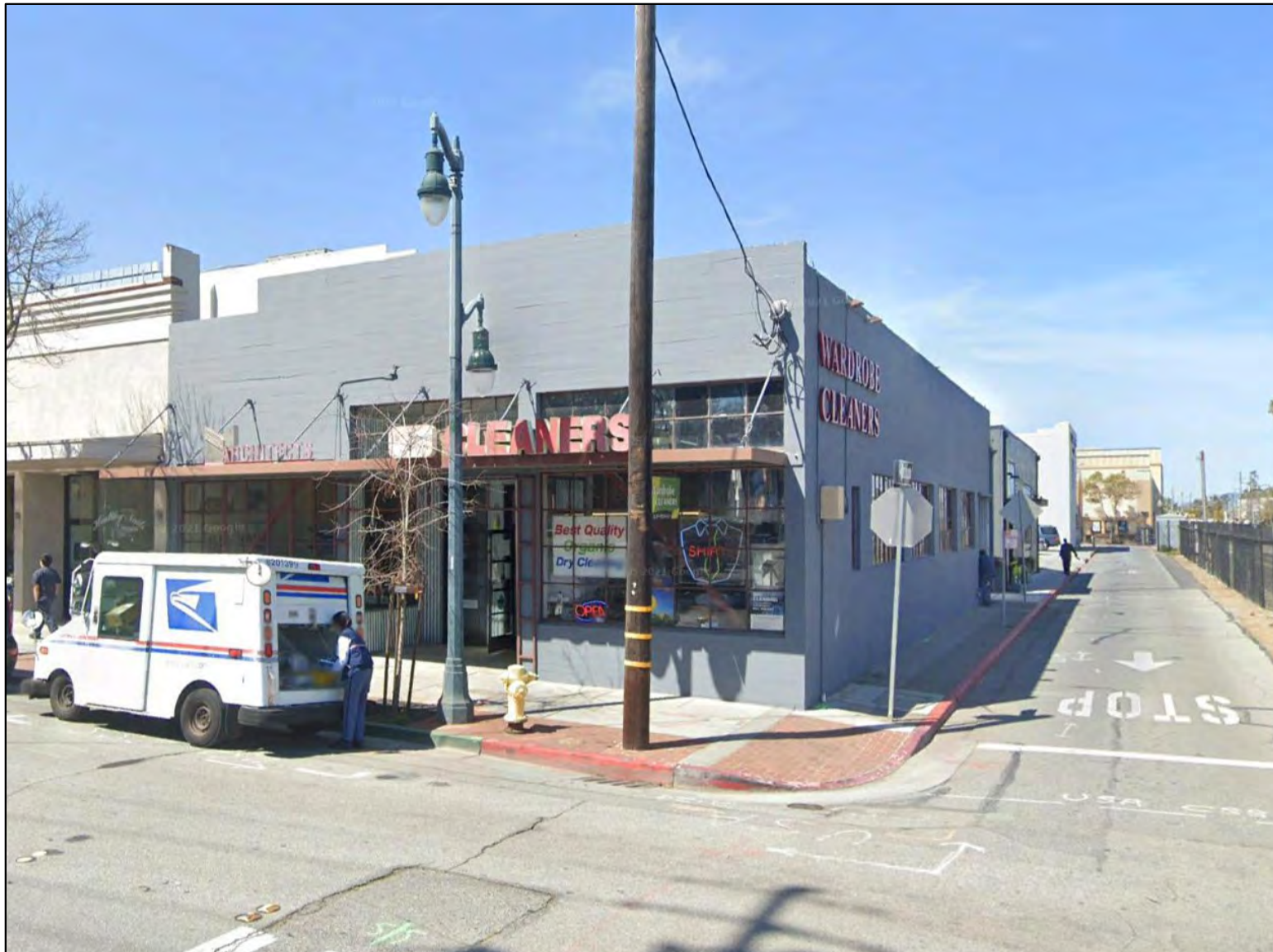
7. PARKING LOT



8. PARKING LOT/PLANNED RESIDENTIAL



9. PARKING LOT/PLANNED GARAGE



10. COMMERCIAL



11. COMMERCIAL



12. RESTAURANT

CLIENT:



PROJECT NAME & ADDRESS:
4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

ISSUE: Project Status
ISSUE DATE: Issue Date

| REVISIONS: | DESCRIPTION | DATE |
|------------|-----------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |

SCALE: 12" = 1'-0"

PROJECT NUMBER: 0000000.00
DRAWN BY: Author
CHECKED BY: Checker

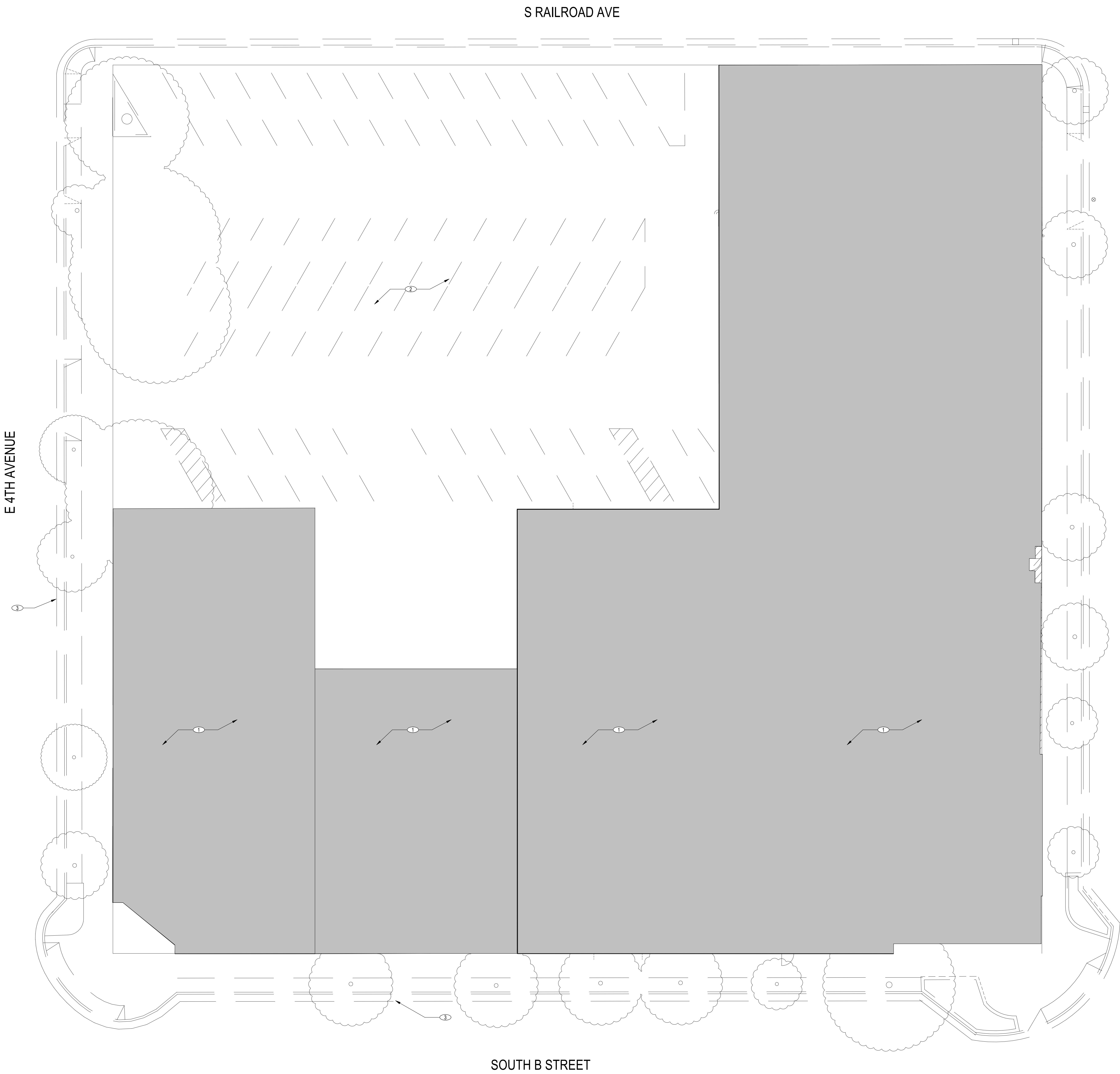
STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:
NEIGHBORHOOD
CONTEXT

SHEET NUMBER:

A0.11



RAW

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30 E Santa Clara St.
Suite 200
San Jose
California 95113

Office
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408 294-1747

rmw.com

CLIENT:

HARVEST
PROPERTIES

PROJECT NAME & ADDRESS:

4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

ISSUE:

Project Status

ISSUE DATE:

Issue Date

REVISIONS :

1

PRE-APPLICATION

DATE

02/10/2022

| KEYNOTES | |
|----------|---|
| KEYNOTE | DESCRIPTION |
| 1 | EXISTING BUILDING TO BE REMOVED |
| 2 | EXISTIN PAVEMENT AND PARKING AREA TO BE REMOVED |
| 3 | EXISTING CURB TO BE MODIFIED PER CIVIL DRAWINGS |

| | |
|-----------------|-------------|
| SCALE: | 1" = 10'-0" |
| PROJECT NUMBER: | 0000000.00 |
| DRAWN BY: | Author |
| CHECKED BY: | Checker |
| STAMP: | |

NOT FOR
CONSTRUCTION

SHEET NAME:

EXISTING SITE PLAN

SHEET NUMBER:

A1.0

S RAILROAD AVE



RMW
Architecture
Interiors

30 E. Santa Clara St.
Suite 200
San Jose
California 95113

Office
408 294-8000

Fax
408 294-1747

rmw.com

CLIENT:



PROJECT NAME & ADDRESS:
4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

ISSUE: Project Status
ISSUE DATE: Issue Date

| REVISIONS : | | |
|-------------|------------------------------|------------|
| | DESCRIPTION | DATE |
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |

KEYNOTES

- 1 PROPOSED BUILDING
2 PROPOSED RESIDENTIAL BUILDING, SEE AR SERIES
3 PROPOSED OUTDOOR PLAZA
4 PROPOSED PLANTING AREAS, REFER TO LANDSCAPE AND CIVIL DRAWINGS
5 PROPOSED IMPROVEMENTS TO PUBLIC R.O.W., REFER TO CIVIL DRAWINGS

SCALE: 1" = 10'-0"

PROJECT NUMBER: 0000000.00
DRAWN BY: Author
CHECKED BY: Checker

STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:
PROPOSED SITE PLAN

SHEET NUMBER:
A1.1

PROPOSED RESIDENTIAL BUILDING
SEE AR SERIES

PROPOSED BUILDING FOOTPRINT
35,394 SF

CLIENT:



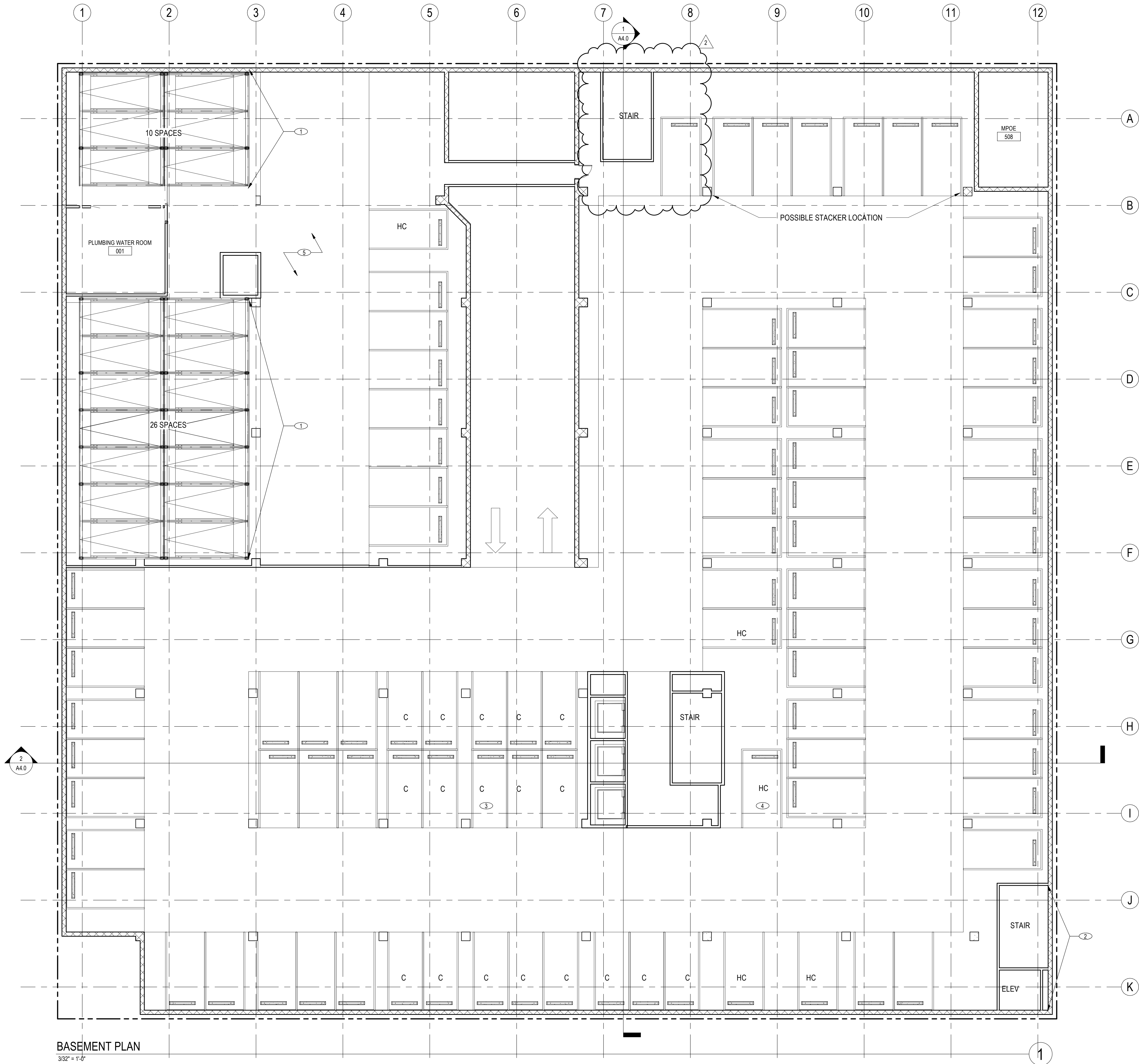
PROJECT NAME & ADDRESS:

4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

ISSUE: Project Status
ISSUE DATE: Issue Date

| REVISIONS : | DESCRIPTION | DATE |
|-------------|------------------------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |



BASEMENT PLAN
3/32" = 1'-0"

KEYNOTES

KEYNOTE DESCRIPTION

- MECHANICAL VEHICLE STACKING SYSTEM
- PUBLIC ACCESS STAIR & ELEVATOR TO STREET LEVEL
- COMPACT PARKING STALL, TYP.
- ACCESSIBLE PARKING STALL, TYP.

LEGEND

- NIC (NOT IN CONTRACT)
- EXISTING PARTITION / CONSTRUCTION
- EXISTING FIRE RATED PARTITION / CONSTRUCTION
- NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
- NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
- EXISTING FIRE EXTINGUISHER AND CABINET
- NEW FIRE EXTINGUISHER AND CABINET
- EXISTING DOOR ASSEMBLY
- NEW DOOR ASSEMBLY
- FINISH TRANSITION

SCALE: As indicated

PROJECT NUMBER: 0000000.00
DRAWN BY: Author
CHECKED BY: Checker

STAMP:

**NOT FOR
CONSTRUCTION**

SHEET NAME:
BASEMENT PLAN

SHEET NUMBER:

A2.0



PROJECT NAME & ADDRESS:

4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

| | |
|-------------|----------------|
| ISSUE: | Project Status |
| ISSUE DATE: | Issue Date |











| REVISIONS : | | |
|-------------|------------------------------|------------|
| # | DESCRIPTION | DATE |
| 1 | PRE-APPLICATION | 02/10/2010 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2010 |

KEYNOTES

 KEYNOTE DESCRIPTION

- 1 WOOD-CLAD STOREFRONT GLAZING, TYP.
2 BUTT-JOINT GLAZED CURTAINWALL SYSTEM
3 MASS TIMBER STRUCTURAL COLUMN, TYP.
4 MECHANICAL SHAFT
5 OUTLINE OF FLOOR ABOVE
6 PUBLIC ACCESS STAIR & ELEVATOR TO BASEMENT LEVEL

LEGEND

- | | |
|---|--|
|  | NIC (NOT IN CONTRACT) |
|  | EXISTING PARTITION / CONSTRUCTION |
|  | EXISTING FIRE RATED PARTITION / CONSTRUCTION |
|  | NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1 |
|  | NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1 |
|  | EXISTING FIRE EXTINGUISHER AND CABINET |
|  | NEW FIRE EXTINGUISHER AND CABINET |
|  | EXISTING DOOR ASSEMBLY |
|  | NEW DOOR ASSEMBLY |
|  | FINISH TRANSITION |

SCALE: As indicated

| | |
|-----------------|------------|
| PROJECT NUMBER: | 0000000.00 |
| DRAWN BY: | Author |
| CHECKED BY: | Checker |

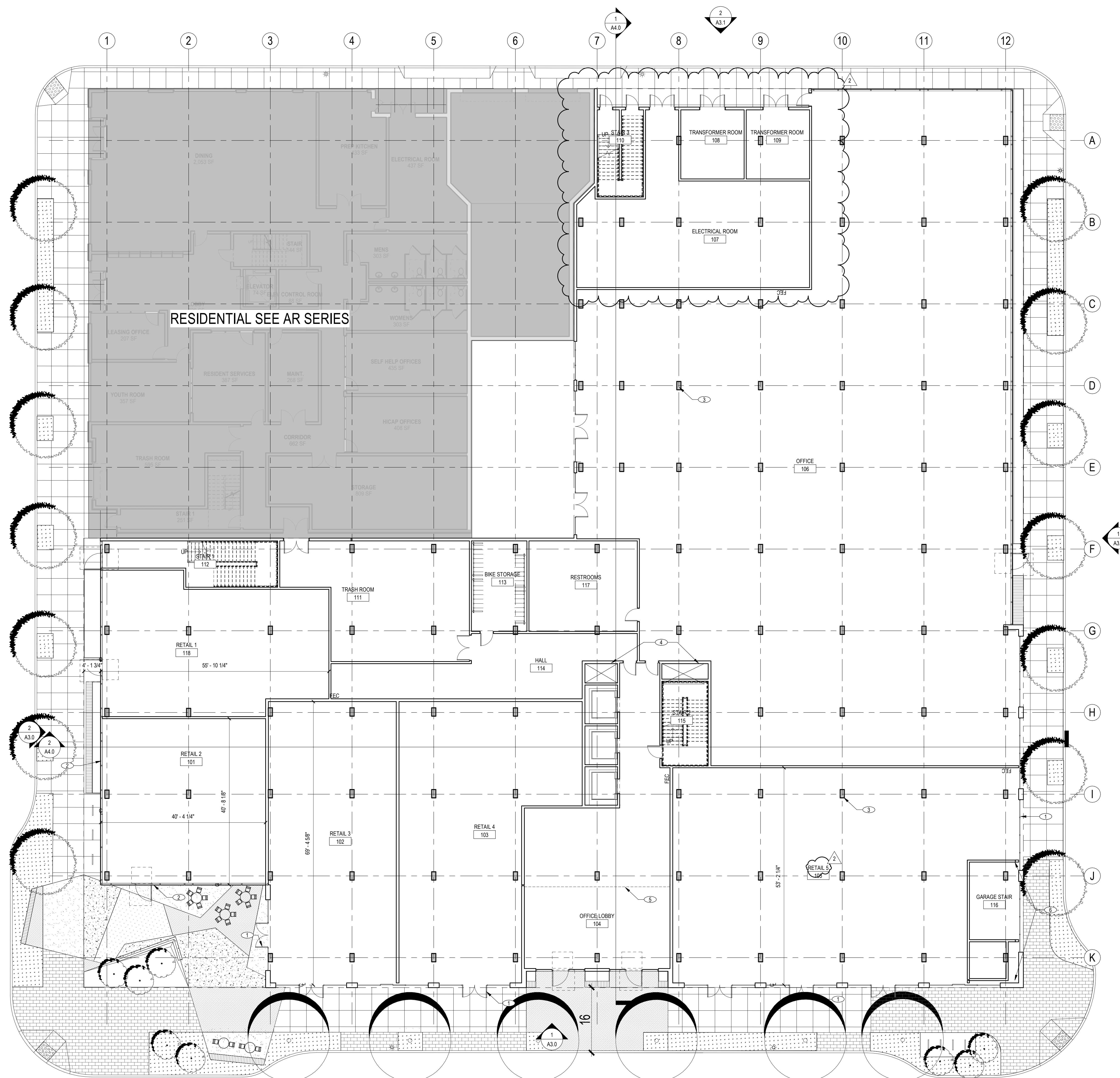
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**NOT FOR
CONSTRUCTION**

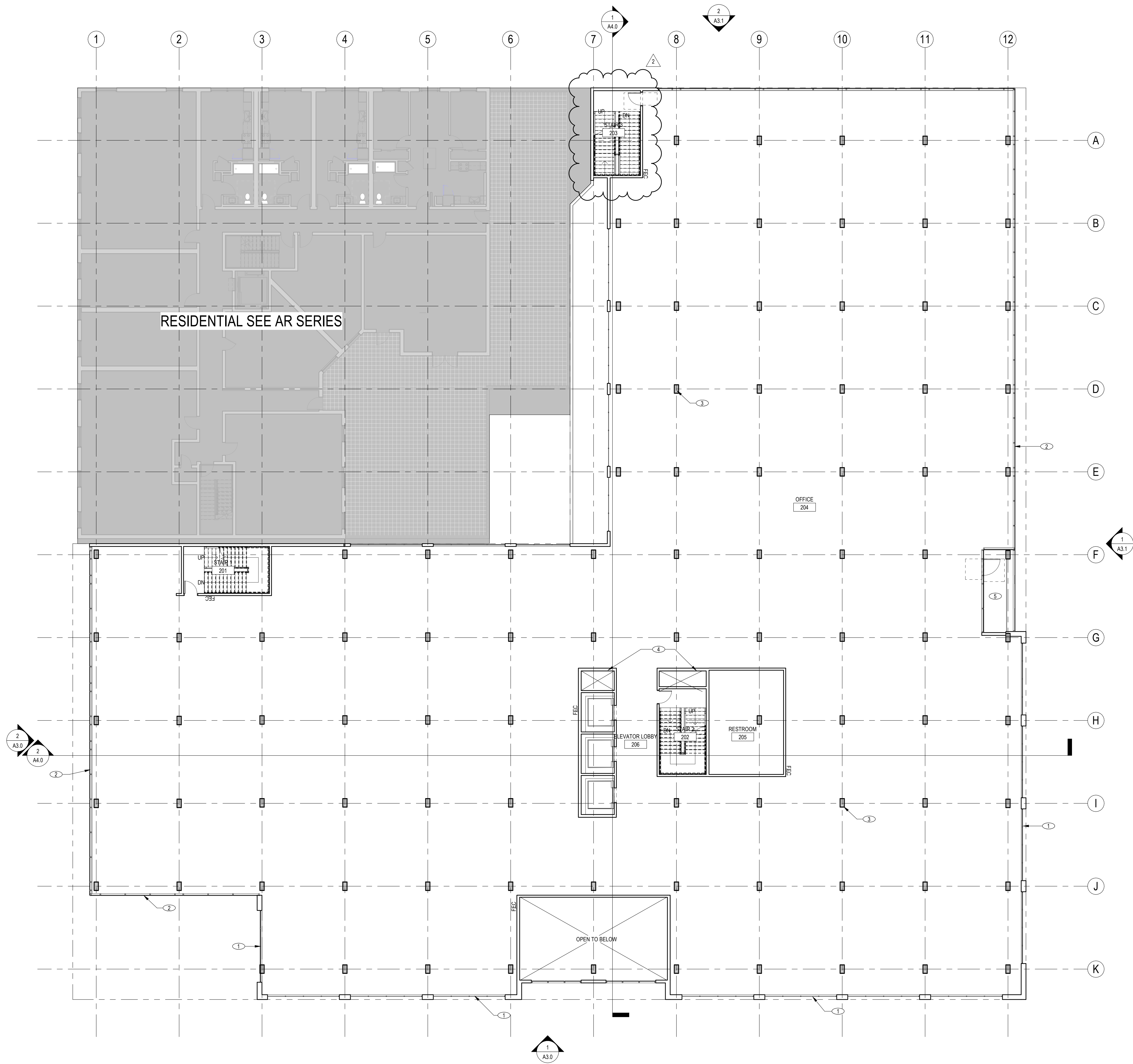
SHEET NAME:
FIRST FLOOR PLAN

SHEET NUMBER:

A2.1



LEVEL 1 FLOOR PLAN



LEVEL 2 FLOOR PLAN
3/32" = 1'-0"

KEYNOTES

KEYNOTE DESCRIPTION

- 1 DARK FRAMED STOREFRONT GLAZING, TYP.
- 2 BUTT-JOINT GLAZED CURTAINWALL SYSTEM
- 3 MASS TIMBER STRUCTURAL COLUMN, TYP.
- 4 MECHANICAL SHAFT
- 5 TENANT TERRACE

LEGEND

- NIC (NOT IN CONTRACT)
- EXISTING PARTITION / CONSTRUCTION
- EXISTING FIRE RATED PARTITION / CONSTRUCTION
- NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
- NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
- EXISTING FIRE EXTINGUISHER AND CABINET
- NEW FIRE EXTINGUISHER AND CABINET
- EXISTING DOOR ASSEMBLY
- NEW DOOR ASSEMBLY
- FINISH TRANSITION

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CLIENT:



HARVEST
PROPERTIES

PROJECT NAME & ADDRESS:

4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

ISSUE: Project Status
ISSUE DATE: Issue Date

| REVISIONS: | DESCRIPTION | DATE |
|------------|------------------------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |

SCALE: As indicated

PROJECT NUMBER: 0000000.00
DRAWN BY: Author
CHECKED BY: Checker

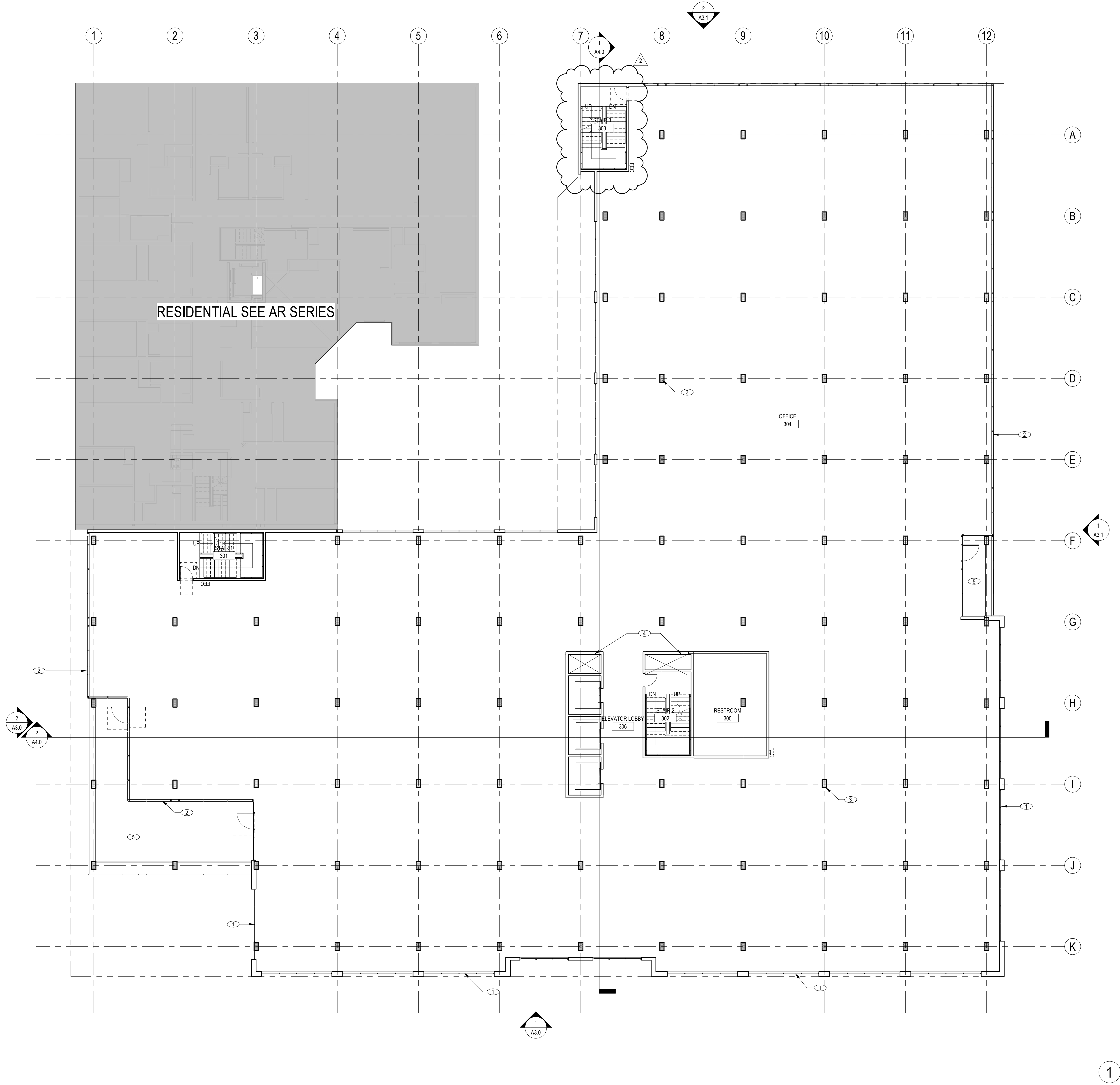
STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:
SECOND FLOOR PLAN

SHEET NUMBER:

A2.2



LEVEL 3 FLOOR PLAN
3/32" = 1'-0"

KEYNOTES

KEYNOTE DESCRIPTION

- 1 DARK FRAMED STOREFRONT GLAZING, TYP.
- 2 BUTT-JOINT GLAZED CURTAINWALL SYSTEM
- 3 MASS TIMBER STRUCTURAL COLUMN, TYP.
- 4 MECHANICAL SHAFT
- 5 TENANT TERRACE

LEGEND

- NIC (NOT IN CONTRACT)
- EXISTING PARTITION / CONSTRUCTION
- EXISTING FIRE RATED PARTITION / CONSTRUCTION
- NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
- NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
- EXISTING FIRE EXTINGUISHER AND CABINET
- NEW FIRE EXTINGUISHER AND CABINET
- EXISTING DOOR ASSEMBLY
- NEW DOOR ASSEMBLY
- FINISH TRANSITION

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PROJECT NAME & ADDRESS:

4TH & B ("Bespoke")

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SAN MATEO, CA, 94401

ISSUE: Project Status
ISSUE DATE: Issue Date

| REVISIONS: | DESCRIPTION | DATE |
|------------|------------------------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |

SCALE: As indicated

PROJECT NUMBER: 0000000.00
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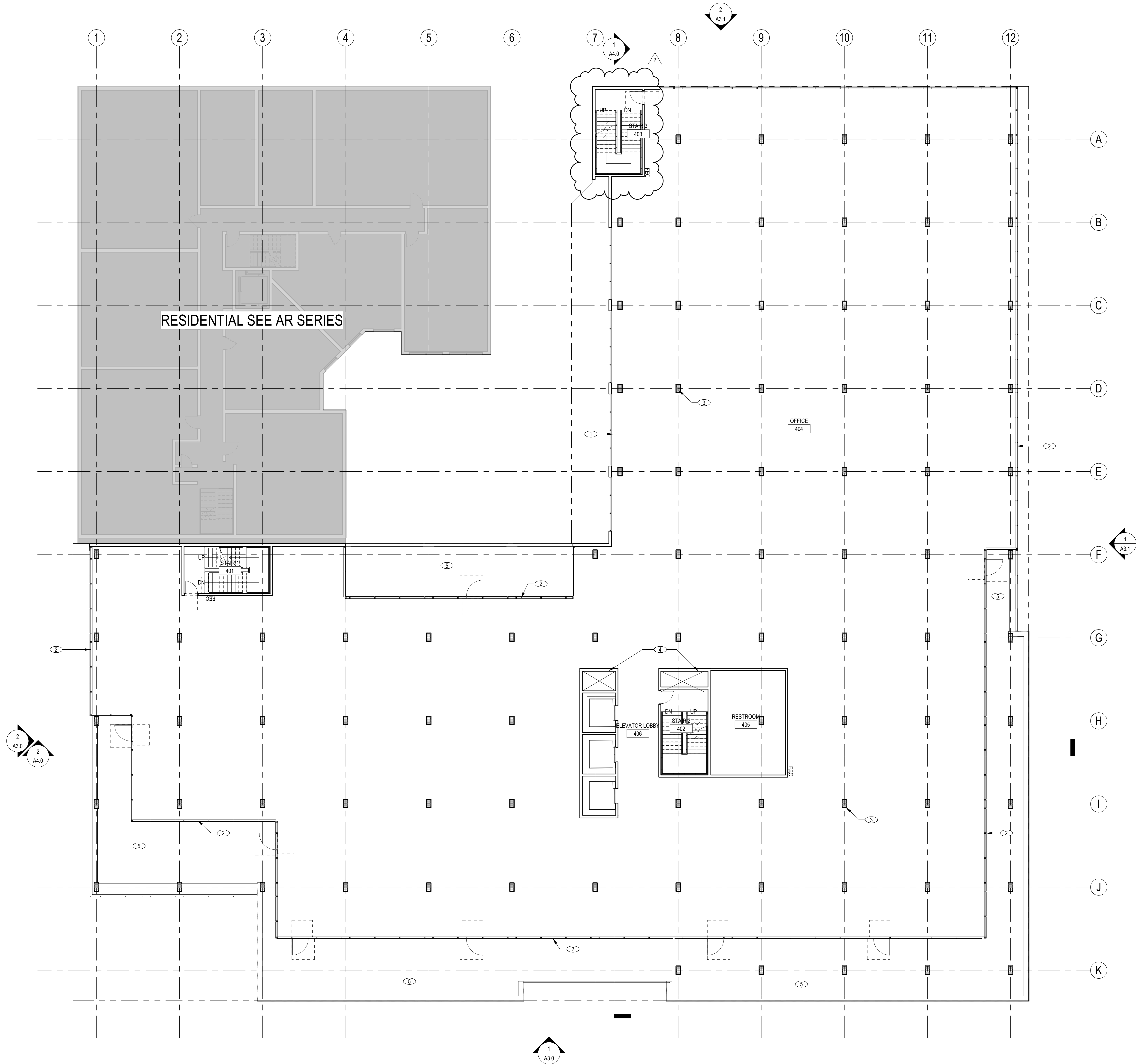
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CONSTRUCTION

SHEET NAME:
THIRD FLOOR PLAN

SHEET NUMBER:

A2.3



LEVEL 4 FLOOR PLAN
3/32" = 1'-0"

KEYNOTES

KEYNOTE DESCRIPTION

- 1 DARK FRAMED STOREFRONT GLAZING, TYP.
- 2 BUTT-JOINT GLAZED CURTAINWALL SYSTEM
- 3 MASS TIMBER STRUCTURAL COLUMN, TYP.
- 4 MECHANICAL SHAFT
- 5 TENANT TERRACE

LEGEND

- NIC (NOT IN CONTRACT)
- EXISTING PARTITION / CONSTRUCTION
- EXISTING FIRE RATED PARTITION / CONSTRUCTION
- NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
- NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
- EXISTING FIRE EXTINGUISHER AND CABINET
- NEW FIRE EXTINGUISHER AND CABINET
- EXISTING DOOR ASSEMBLY
- NEW DOOR ASSEMBLY
- FINISH TRANSITION

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PROJECT NAME & ADDRESS:

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ISSUE DATE: Issue Date

| REVISIONS: | DESCRIPTION | DATE |
|------------|------------------------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |

SCALE: As indicated

PROJECT NUMBER: 0000000.00
DRAWN BY: Author
CHECKED BY: Checker

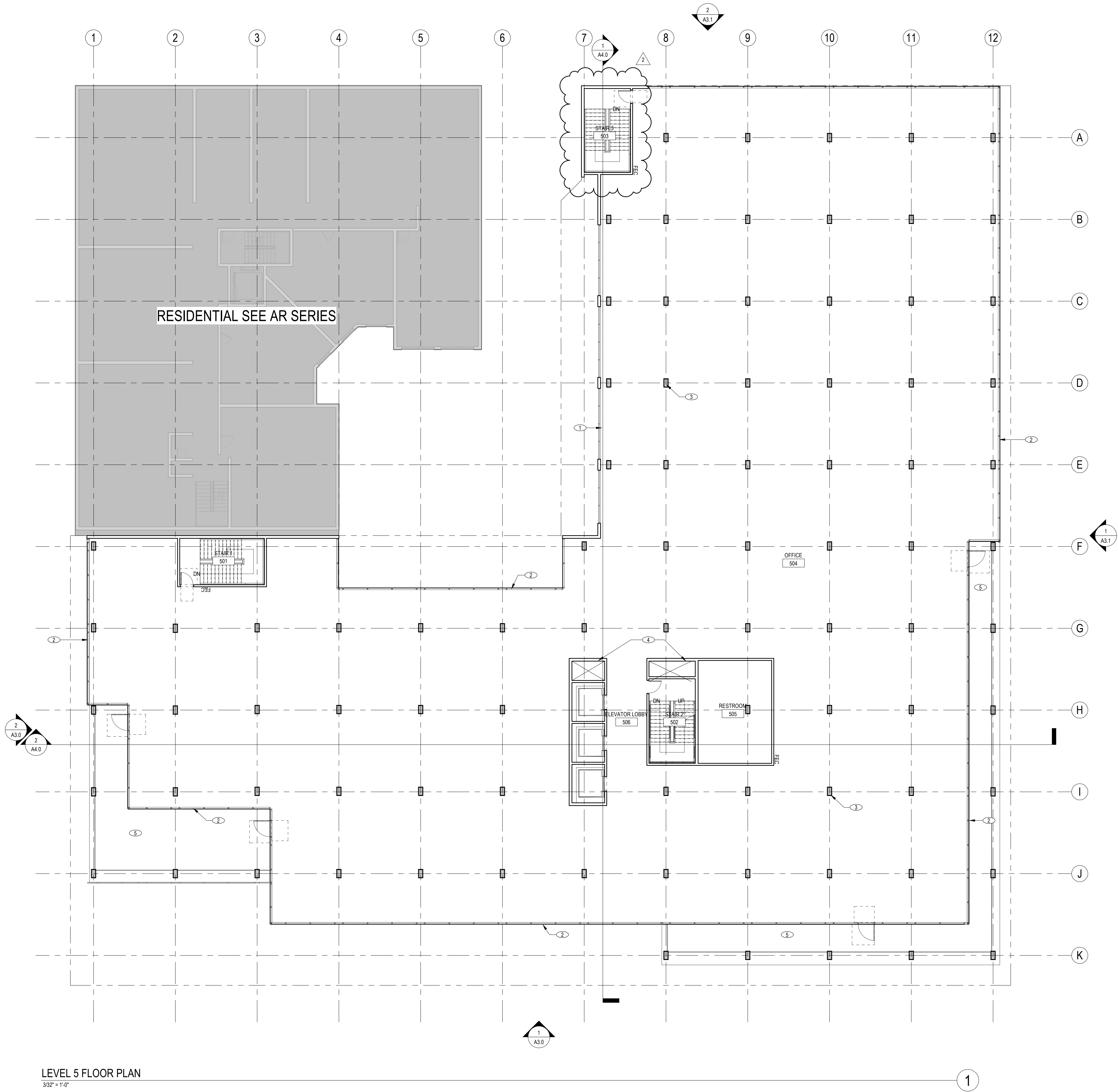
STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:
FOURTH FLOOR PLAN

SHEET NUMBER:

A2.4



LEVEL 5 FLOOR PLAN
3/32" = 1'-0"

KEYNOTES

KEYNOTE DESCRIPTION

- 1 DARK FRAMED STOREFRONT GLAZING, TYP.
- 2 BUTT-JOINT GLAZED CURTAINWALL SYSTEM
- 3 MASS TIMBER STRUCTURAL COLUMN, TYP.
- 4 MECHANICAL SHAFT
- 5 TENANT TERRACE

LEGEND

- NIC (NOT IN CONTRACT)
- EXISTING PARTITION / CONSTRUCTION
- EXISTING FIRE RATED PARTITION / CONSTRUCTION
- NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
- NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
- EXISTING FIRE EXTINGUISHER AND CABINET
- NEW FIRE EXTINGUISHER AND CABINET
- EXISTING DOOR ASSEMBLY
- NEW DOOR ASSEMBLY
- FINISH TRANSITION

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| REVISIONS: | DESCRIPTION | DATE |
|------------|------------------------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |

SCALE: As indicated

PROJECT NUMBER: 0000000.00
DRAWN BY: Author
CHECKED BY: Checker

STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:
FIFTH FLOOR PLAN

SHEET NUMBER:

A2.5

CLIENT:



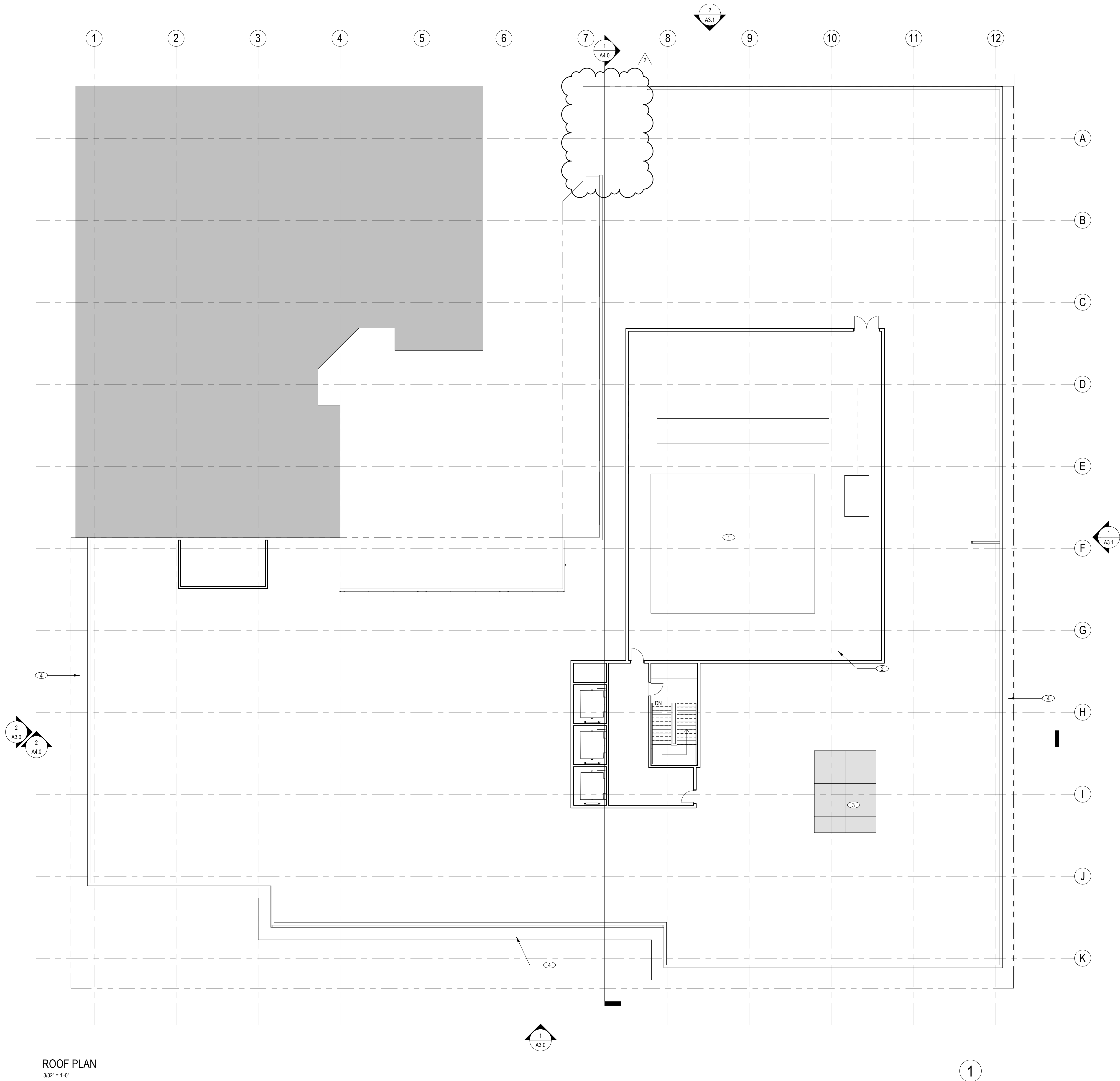
PROJECT NAME & ADDRESS:

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SAN MATEO, CA, 94401

ISSUE: Project Status
ISSUE DATE: Issue Date

| REVISIONS : | DESCRIPTION | DATE |
|-------------|------------------------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |



ROOF PLAN
3/32" = 1'-0"

KEYNOTES

- 1 ROOFTOP MECHANICAL EQUIPMENT
2 MECHANICAL PENTHOUSE
3 MIN. 5KW SOLAR ARRAY (FINAL AREA AND LAYOUT TO BE DETERMINED)
4 ROOF PARAPET AND SOFFIT BELOW

LEGEND

- NIC (NOT IN CONTRACT)
— EXISTING PARTITION / CONSTRUCTION
— EXISTING FIRE RATED PARTITION / CONSTRUCTION
— NEW PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
— NEW FIRE RATED PARTITION / CONSTRUCTION WITH TAG, SEE SHEET A9.1
— EXISTING FIRE EXTINGUISHER AND CABINET
— NEW FIRE EXTINGUISHER AND CABINET
— EXISTING DOOR ASSEMBLY
— NEW DOOR ASSEMBLY
— FINISH TRANSITION

SCALE: As indicated

PROJECT NUMBER: 0000000.00
DRAWN BY: Author
CHECKED BY: Checker

STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:
ROOF PLAN

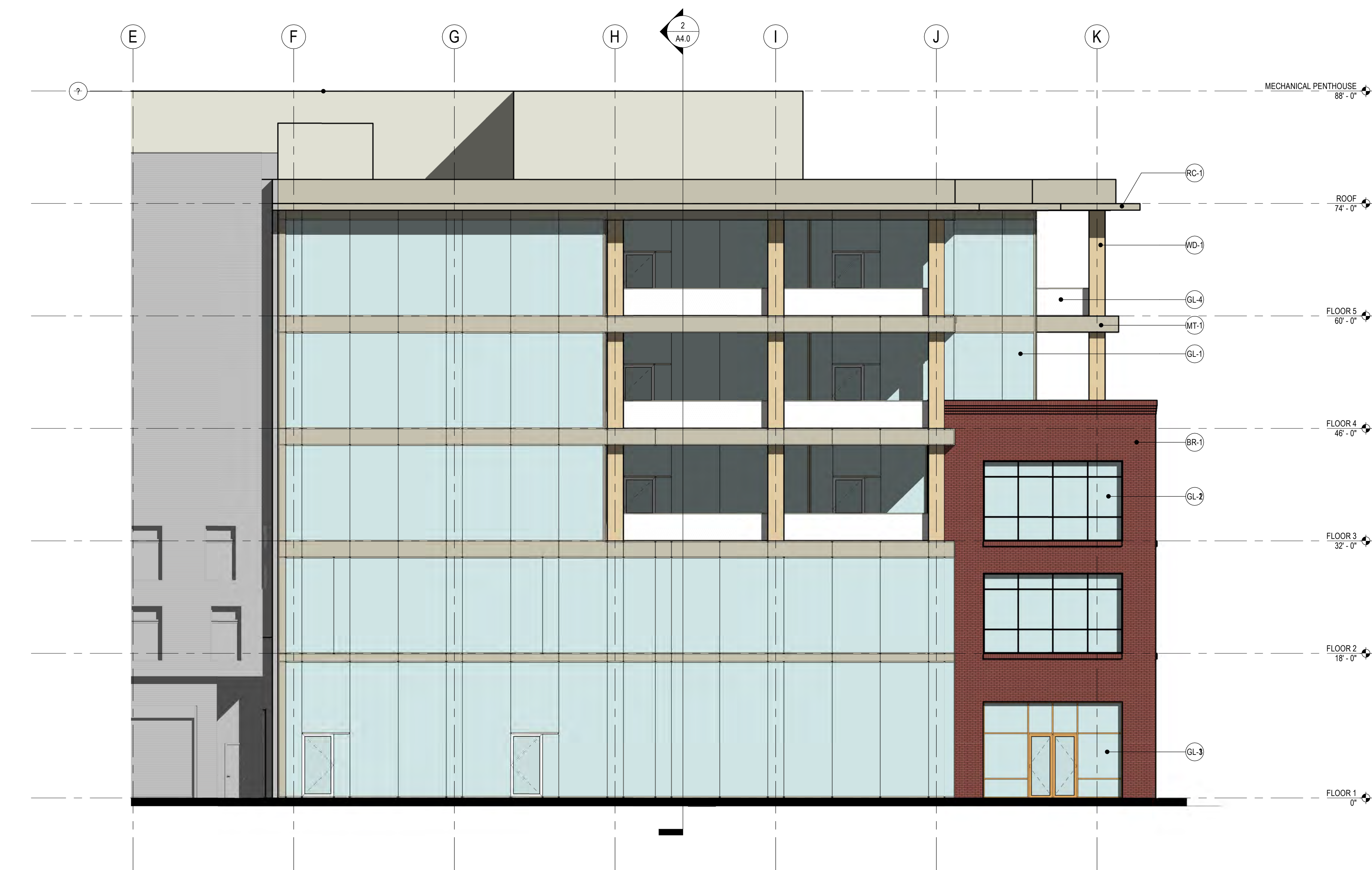
SHEET NUMBER:

A2.6



S. B STREET - WEST ELEVATION
1/8" = 1'-0"

1



E 4TH AVENUE - NORTH ELEVATION
1/8" = 1'-0"

2

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PROJECT NAME & ADDRESS:
4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

ISSUE: Project Status
ISSUE DATE: Issue Date

REVISIONS: DATE
1 PRE-APPLICATION 02/10/2022

MATERIAL PALETTE

BUTT-JOINT CURTAINWALL GLAZING:



DARK-FRAMED STOREFRONT:



WOOD-CLAD STOREFRONT:



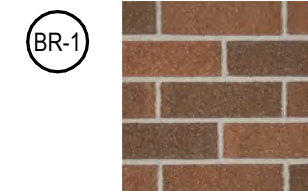
GLASS GUARDRAIL:



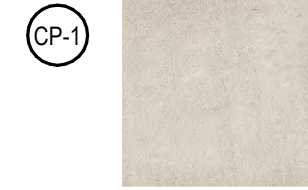
EXPOSED WOOD:



EXTERIOR BRICK:



CEMENT PLASTER:



METAL PANEL:



ROOF CANOPY:



METAL PANEL:



SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 0000000.00
DRAWN BY: Author
CHECKED BY: Checker

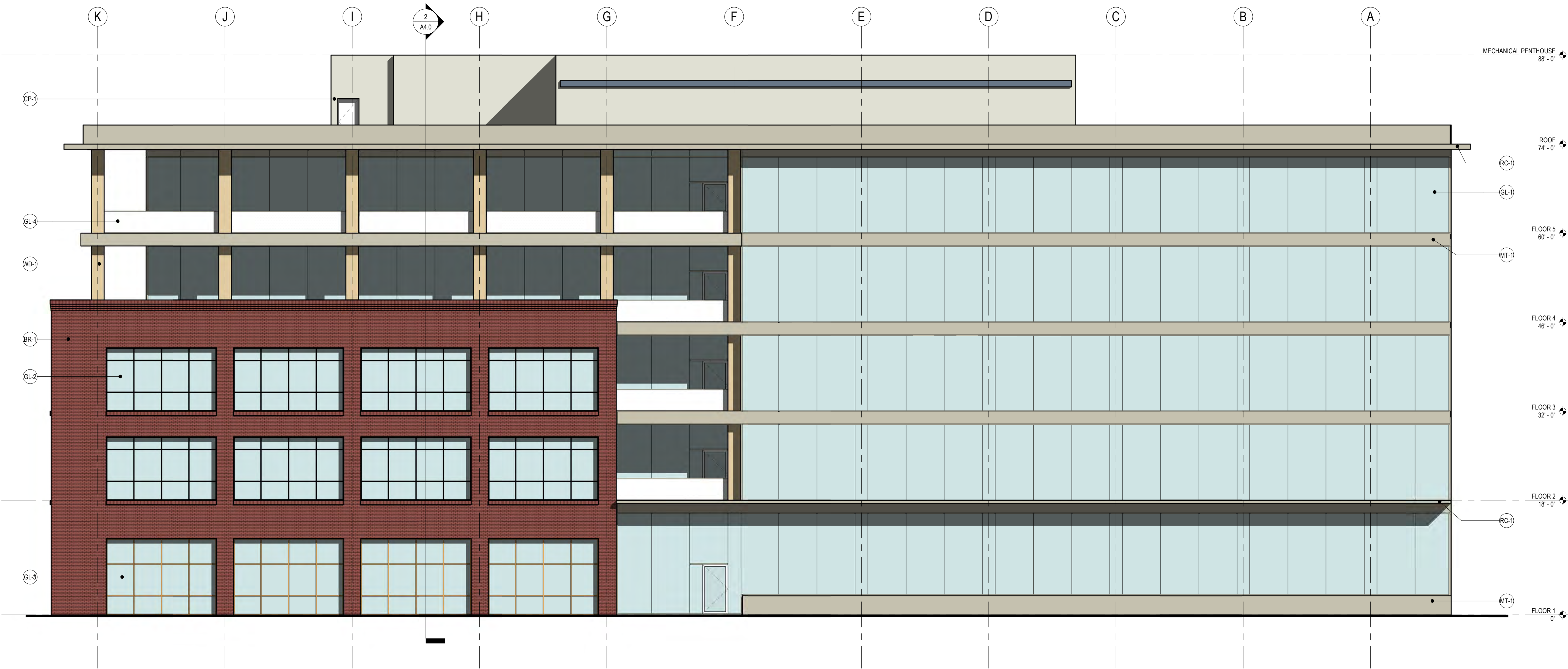
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CONSTRUCTION

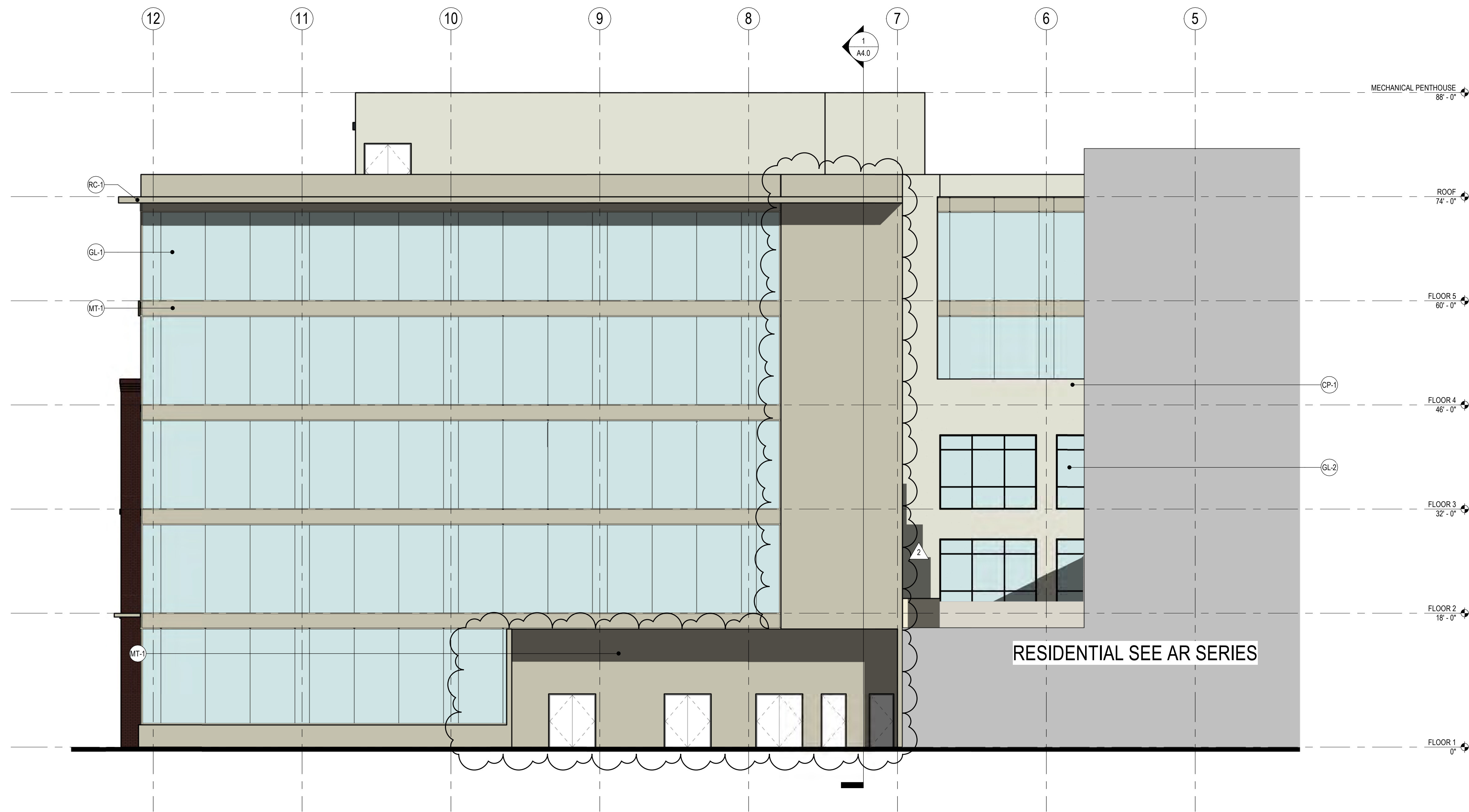
SHEET NAME:
EXTERIOR ELEVATIONS

SHEET NUMBER:

A3.0



E 5TH AVENUE - SOUTH ELEVATION
1/8" = 1'-0"



S RAILROAD AVENUE - NORTH ELEVATION
1/8" = 1'-0"

MATERIAL PALETTE

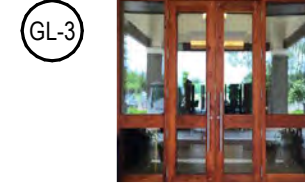
BUTT-JOINT CURTAINWALL GLAZING:



DARK-FRAMED STOREFRONT:



WOOD-CLAD STOREFRONT:



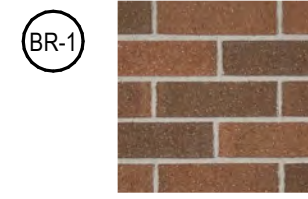
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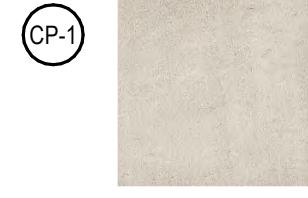
EXPOSED WOOD:



EXTERIOR BRICK:



CEMENT PLASTER:



METAL PANEL:



ROOF CANOPY:



METAL PANEL:



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CLIENT:



PROJECT NAME & ADDRESS:

4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

ISSUE: Project Status
ISSUE DATE: Issue Date

REVISIONS:

| REVISIONS | DESCRIPTION | DATE |
|-----------|------------------------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 0000000.00
DRAWN BY: Author
CHECKED BY: Checker

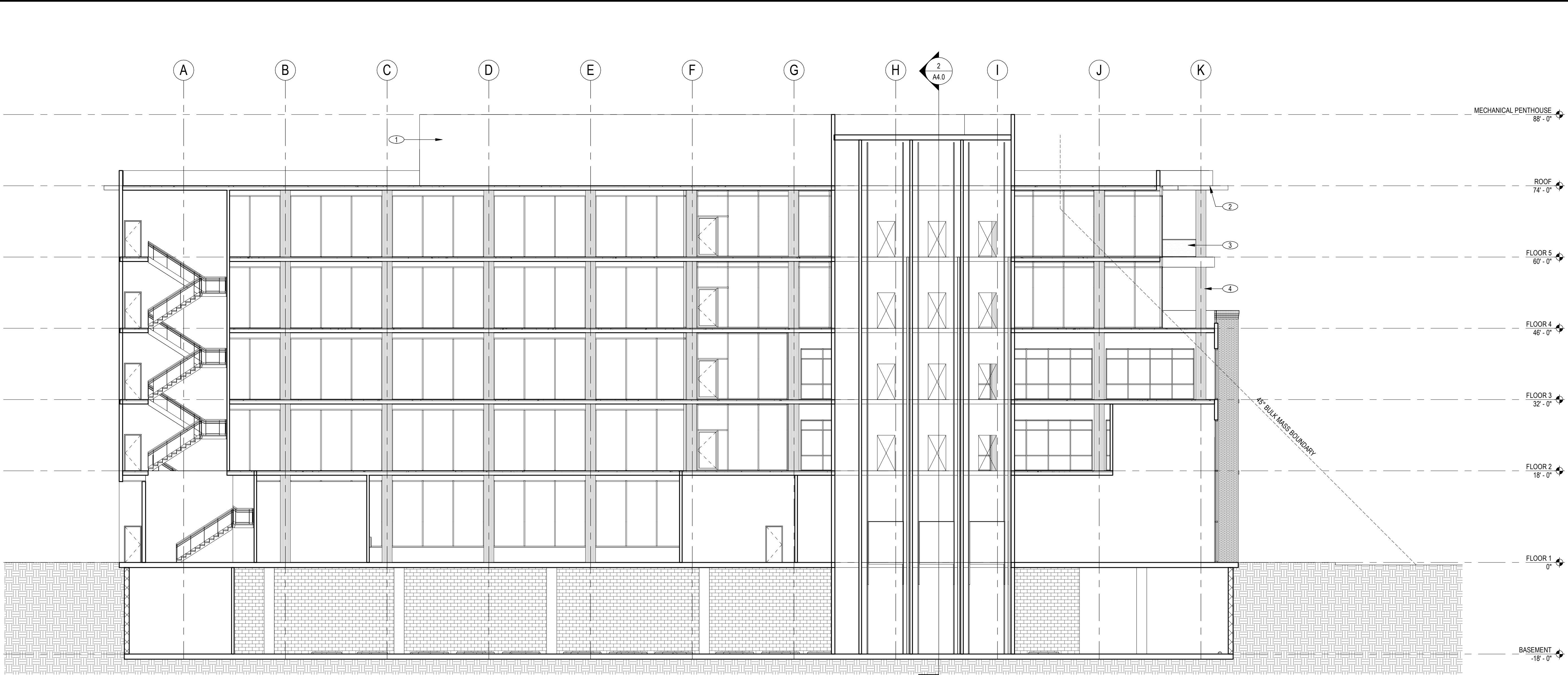
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NOT FOR
CONSTRUCTION

SHEET NAME:
EXTERIOR ELEVATIONS

SHEET NUMBER:

A3.1



NORTH-SOUTH SECTION
3/32" = 1'-0"

KEYNOTES

KEYNOTE DESCRIPTION

- 1 ROOFTOP MECHANICAL PENTHOUSE
- 2 ROOF OVERHANG
- 3 GLASS RAILING AT BALCONY
- 4 EXPOSED TIMBER COLUMN

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PROJECT NAME & ADDRESS:

4TH & B ("Bespoke")

445 S B STREET
SAN MATEO, CA, 94401

ISSUE:

ISSUE DATE:

Project Status

Issue Date

REVISIONS :

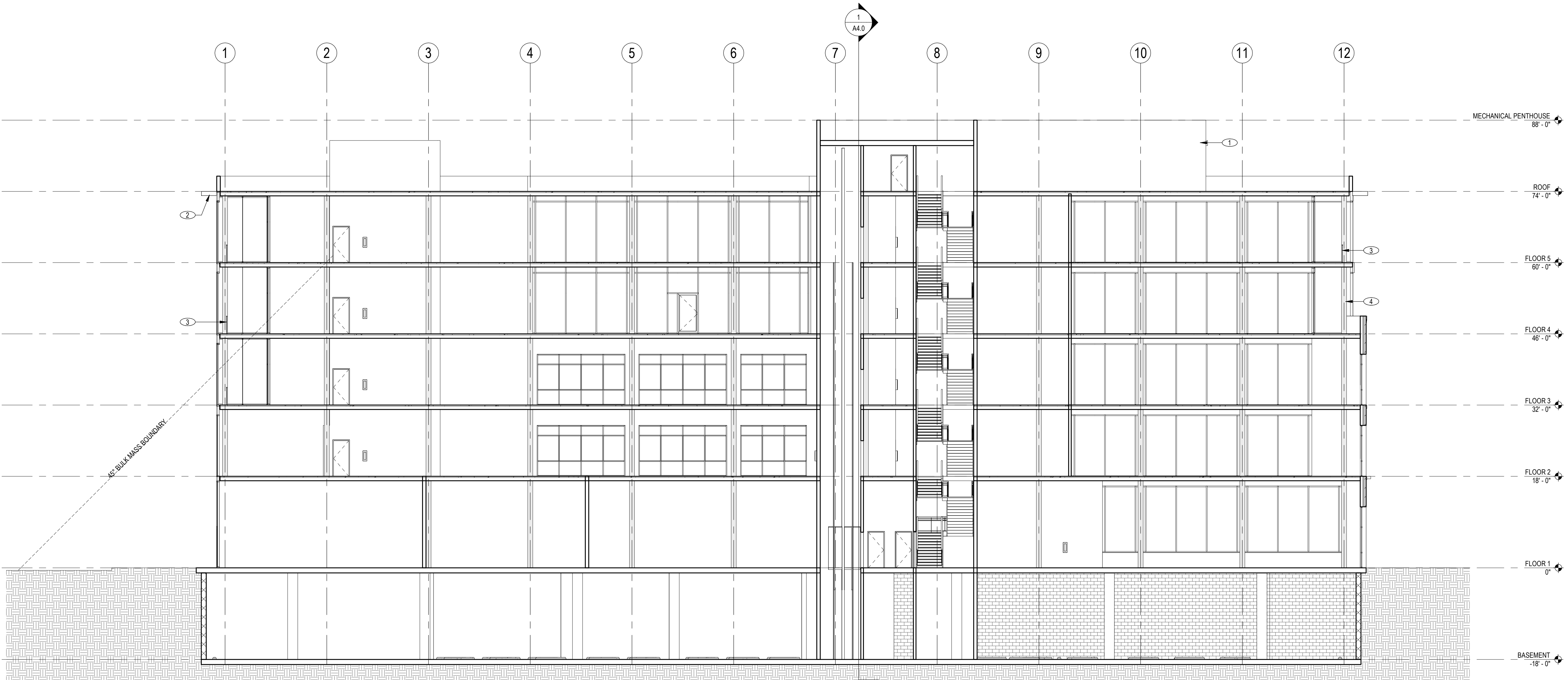
1

DESCRIPTION

DATE

1 PRE-APPLICATION

02/10/2022



EAST-WEST SECTION
3/32" = 1'-0"

SCALE:

3/32" = 1'-0"

PROJECT NUMBER:

0000000.00

DRAWN BY:

Author

CHECKED BY:

Checker

STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:

BUILDING SECTIONS

SHEET NUMBER:

A4.0

CLIENT

PROJECT NAME & ADDRESS:

445 S B STREET
SAN MATEO, CA, 94401
APN: (ADD APN HERE IF
APPLICABLE)

| | |
|--------------------------------|----------------|
| ISSUE: | Project Status |
| ISSUE DATE: | Issue Date |
| REVISIONS : | |
| # | DATE |
| 1 PRE-APPLICATION | 02/10/2022 |
| 2 PRE-APPLICATION RESUBMISSION | 06/10/2022 |

| | |
|-----------------|----------|
| SCALE: | 1" = 20' |
| PROJECT NUMBER: | 21-034.2 |
| DRAWN BY: | PC |
| CHECKED BY: | EL |
| STAMP: | |

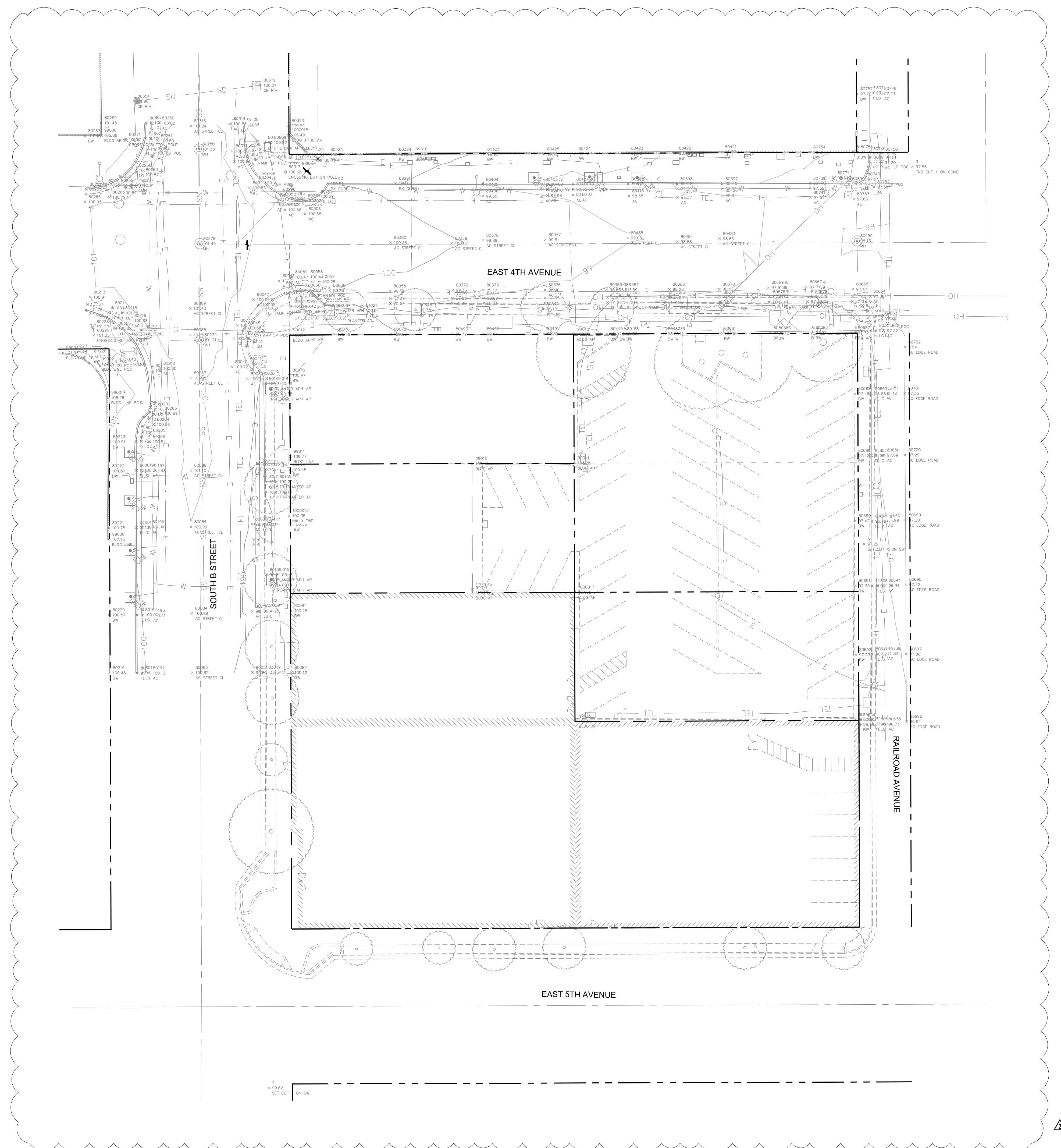
**NOT FOR
CONSTRUCTION**

SHEET NAME:

EXISTING CONDITIONS

SHEET NUMBER:

C1.00



LEGEND

(E) PROPERTY LINE

(E) ADJACENT PROPERTY LINE

CLIENT

PROJECT NAME & ADDRESS

445 S B STREET
SAN MATEO, CA, 94401
APN: (ADD APN HERE IF
APPLICABLE)

| | |
|-------------|----------------|
| ISSUE: | Project Status |
| ISSUE DATE: | Issue Date |

| REVISIONS : | | |
|-------------|------------------------------|------------|
| # | DESCRIPTION | DATE |
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |

SCALE: 1" = 20'

| | |
|-----------------|----------|
| PROJECT NUMBER: | 21-034.2 |
| DRAWN BY: | PC |
| CHECKED BY: | EL |

STAMP.

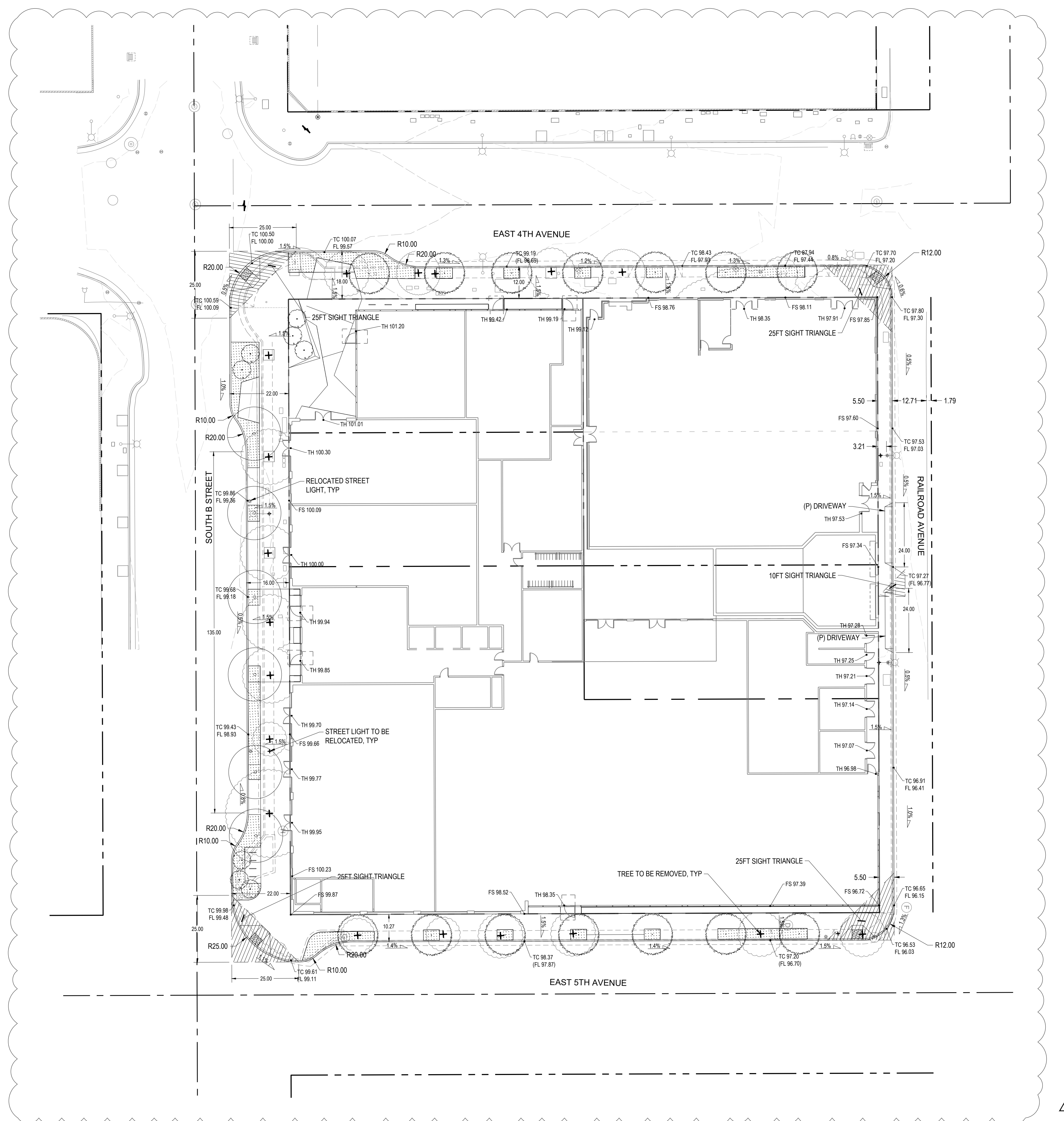
**NOT FOR
CONSTRUCTION**

SHEET NAME:

CONCEPT GRADING AND DRAINAGE

SHEET NUMBER:

C2.00



LEGEND

(E) PROPERTY LINE

(E) ADJACENT PROPERTY LINE

(P) BACK OF CURB

(P) FACE OF CURB

(P) DETECTABLE WARNING SURFACE

(P) EDGE OF SIDEWALK

(P) CURB RAMP

(P) TREE

(P) LANDSCAPE

(P) TREATMENT AREA

(P) PERMEABLE PAVEMENT

(E) DRAINAGE INLET

(P) HYDRODYNAMIC SEPARATOR

(P) SD MANHOLE

(P) POC

(P) STORM DRAIN PIPE

SPOT ELEVATION

HARDSCAPE SLOPE

GRADE BREAK

NOTES

1. PROPOSED GRADES SHOWN ARE CONCEPTUAL. FINAL GRADES TO BE DEVELOPED DURING THE DESIGN PHASE.
2. FUTURE GRADING WILL CONFORM TO EXISTING CONDITIONS AT THE PROJECT PERIMETER.
3. ALL GRADING SHALL COMPLY WITH APPLICABLE PERMITS, LOCAL ORDINANCES AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.

CLIENT

PROJECT NAME & ADDRESS

445 S B STREET
SAN MATEO, CA, 94401
APN: (ADD APN HERE IF
APPLICABLE)

| | |
|-------------|----------------|
| ISSUE: | Project Status |
| ISSUE DATE: | Issue Date |

| REVISIONS : | | |
|-------------|------------------------------|------------|
| # | DESCRIPTION | DATE |
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |

SCALE: 1" = 20'

PROJECT NUMBER: 21-034.1

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CHECKED BY: EL

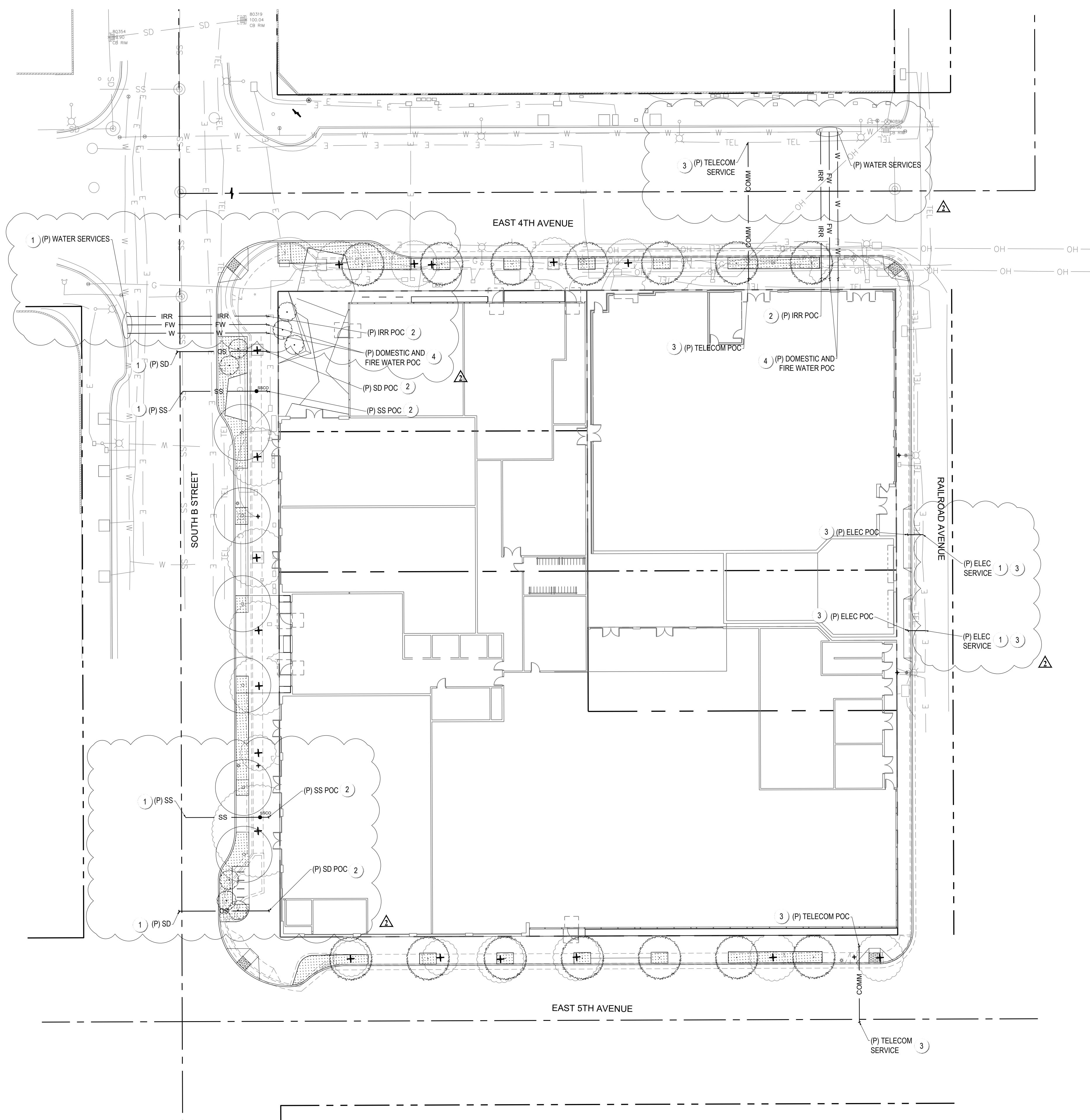
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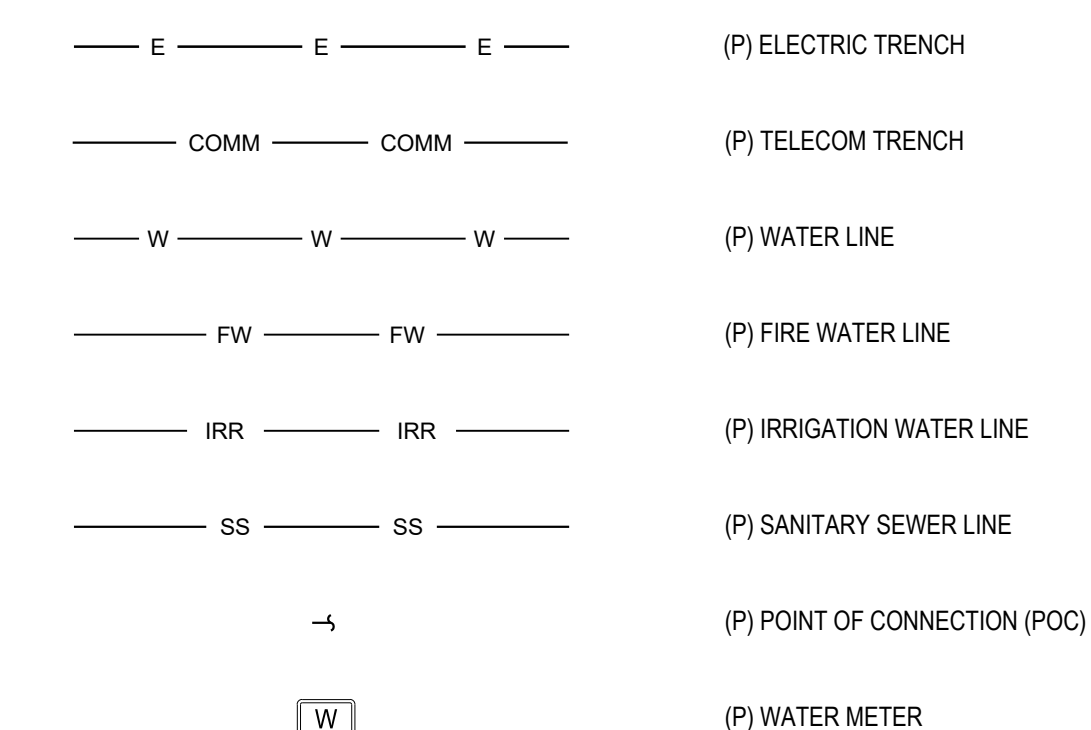
SHEET NAME:

CONCEPT UTILITIES

SHEET NUMBER: C2.50



LEGEND

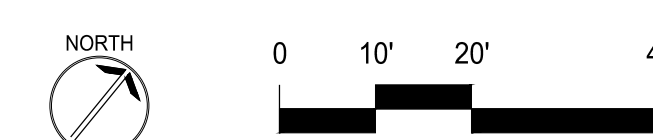


UTILITY KEYNOTES

1. CONNECT TO EXISTING MAIN
2. SEE PLUMBING PLANS FOR CONTINUATION
3. SEE ELECTRICAL PLANS FOR CONTINUATION AND DETAILS
4. SEE IRRIGATION PLANS FOR CONTINUATION

NOTES

1. PROPOSED UTILITIES SHOWN ARE CONCEPTUAL. FINAL UTILITIES TO BE COORDINATED WITH MEP.
2. UTILITY SERVICE SIZES TO BE DETERMINED BY MEP.



CLIENT:

PROJECT NAME & ADDRESS

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SAN MATEO, CA, 94401
APN: (ADD APN HERE IF
APPLICABLE)

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| ISSUE: | Project Status |
| ISSUE DATE: | Issue Date |

| REVISIONS : | DESCRIPTION | DATE |
|-------------|------------------------------|------------|
| | PRE-APPLICATION | 02/10/2022 |
| | PRE-APPLICATION RESUBMISSION | 06/10/2022 |

SCALE: 1" = 20'

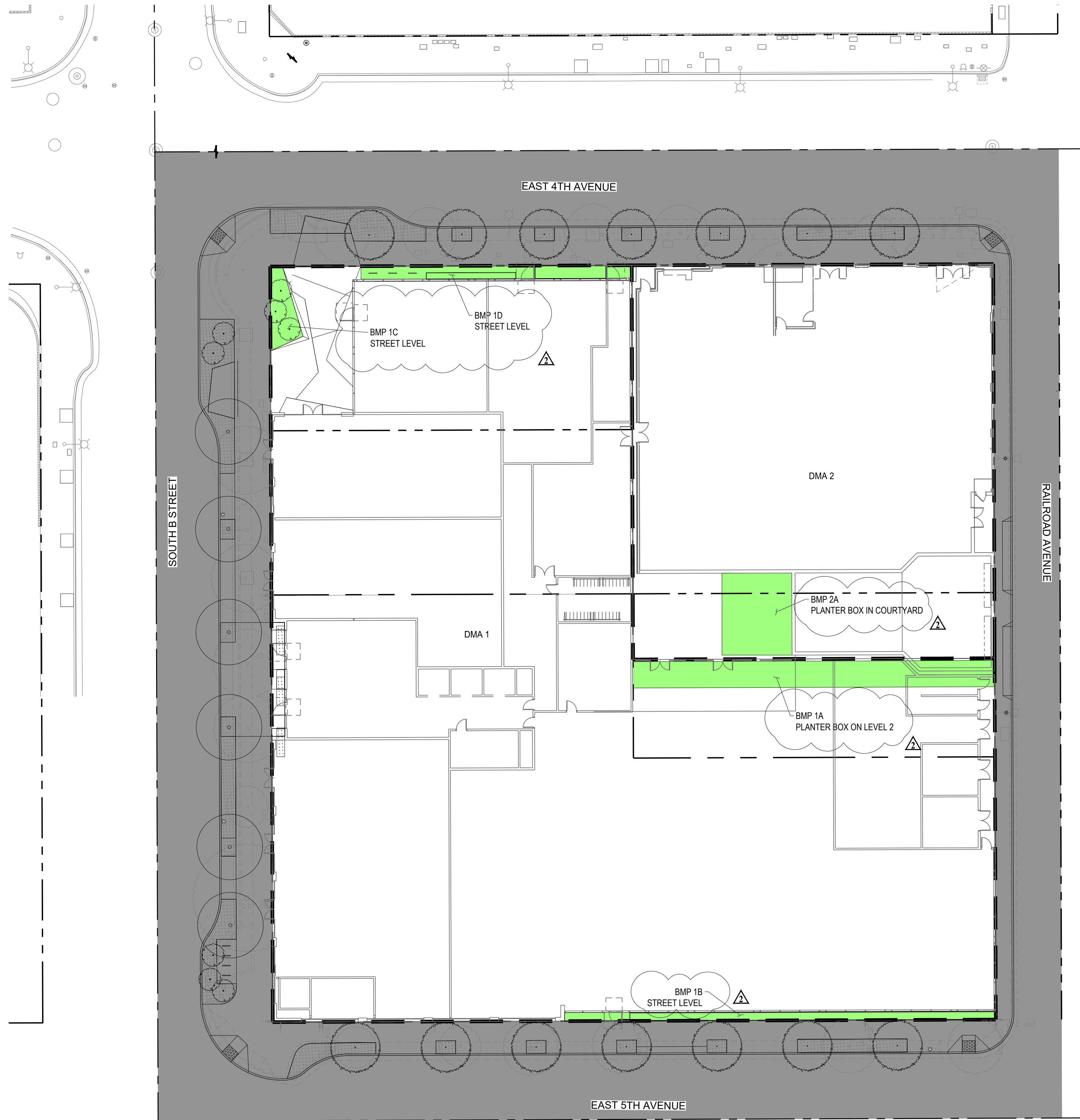
PROJECT NUMBER: 21-034.2
DRAWN BY: PC
CHECKED BY: EL

TAMP:

**NOT FOR
CONSTRUCTION**

SHEET NAME: **CONCEPT
STORMWATER
MANAGEMENT
PLAN**

SHEET NUMBER: C3.00



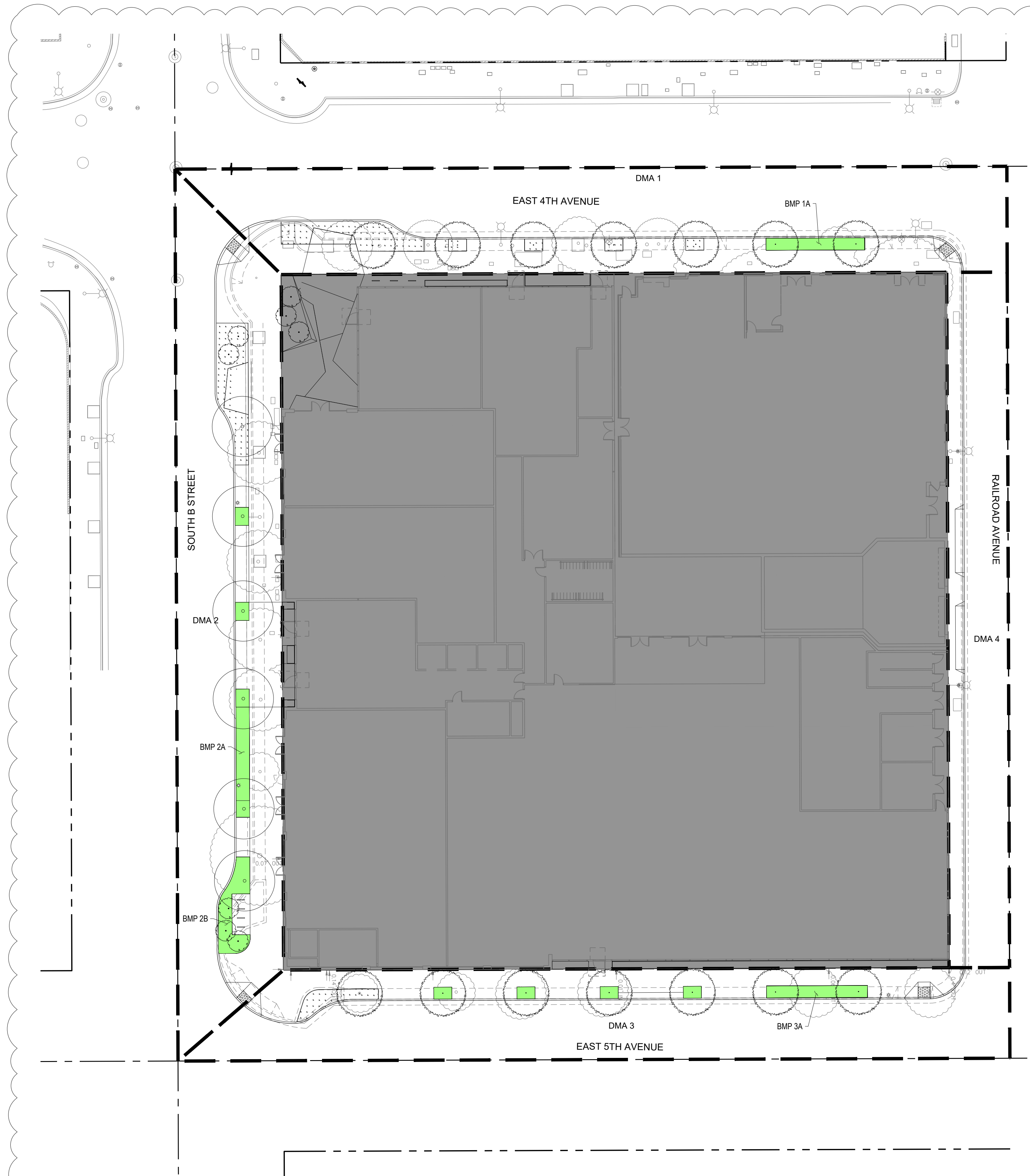
ON-SITE STORMWATER MANAGEMENT PLAN

SCALE: 1"=20'

| EXISTING CONDITIONS TALBOTS ON-SITE: RESIDENTIAL + COMMERCIAL | | | | |
|---|------------------|----------------|------------|-------------------------|
| DMA | IMPERMEABLE AREA | PERMEABLE AREA | TOTAL AREA | TREATMENT AREA REQUIRED |
| | SF | SF | SF | SF |
| 1 (COMMERCIAL) | 37400 | 0 | 37400 | 1496.00 |
| 2 (RESIDENTIAL) | 12563 | 637 | 13200 | 502.52 |
| TOTAL | 49963 | 637 | 50600 | 1998.52 |

| PROPOSED CONDITIONS TALBOTS ON-SITE: RESIDENTIAL + COMMERCIAL | | | | | | | | |
|---|--------|-----------|-----------------------|------------|------------------|---------------------|-------------------------|-------------------------|
| DMA | ROOF | HARDSCAPE | SOFTSCAPE (LANDSCAPE) | TOTAL AREA | METHOD OF SIZING | METHOD OF TREATMENT | REQUIRED TREATMENT AREA | PROVIDED TREATMENT AREA |
| | SF | SF | SF | SF | | | SF | SF |
| 1 (COMMERCIAL) | 34,504 | 1216 | 1,680 | 37400 | COMBINATION | BIORETENTION | 1080 | 1,680 |
| 2 (RESIDENTIAL) | 12,440 | 228 | 532 | 13200 | COMBINATION | BIORETENTION | 383 | 532 |
| TOTAL | 46,944 | 1,444 | 2,212 | 50,600 | | | 1,463 | 2,212 |

NOTE: REQUIRED TREATMENT AREAS CALCULATED PER SAN MATEO WATER POLLUTION PROGRAM AND ASSUMED 7-IN PONDING DEPTH.



OFF-SITE STORMWATER MANAGEMENT PLAN

SCALE: 1"=20'

| EXISTING CONDITIONS TALBOTS OFF-SITE | | | |
|--------------------------------------|----------------|------------|-------------------------|
| IMPERMEABLE AREA | PERMEABLE AREA | TOTAL AREA | TREATMENT AREA REQUIRED |
| SF | SF | SF | SF |
| 30238 | 288 | 30526 | 1209.52 |

| PROPOSED CONDITIONS TALBOTS OFF-SITE | | | | | | | |
|--------------------------------------|-----------|-----------------------|------------|------------------|---------------------|-------------------------|-------------------------|
| DMA | HARDSCAPE | SOFTSCAPE (LANDSCAPE) | TOTAL AREA | METHOD OF SIZING | METHOD OF TREATMENT | REQUIRED TREATMENT AREA | PROVIDED TREATMENT AREA |
| | SQFT | SQFT | SQFT | | | SQFT | SQFT |
| 1 | 8483 | 530 | 9,013 | COMBINATION | BIORETENTION | 218.3 | 131 |
| 2 | 8434 | 754 | 9,188 | COMBINATION | BIORETENTION | 217.6 | 449 |
| 3 | 7371 | 354 | 7,725 | COMBINATION | BIORETENTION | 189.4 | 201 |
| 4 | 4601 | 0 | 4,601 | COMBINATION | | 117.7 | 0 |
| TOTAL | 28889 | 1638 | 30527 | | | 743.00 | 781 |

NOTE: REQUIRED TREATMENT AREAS CALCULATED PER SAN MATEO WATER POLLUTION PROGRAM AND ASSUMED 12-IN PONDING DEPTH.

LEGEND

DRAINAGE AREA BOUNDARY

PROPERTY LINE

AREA OUTSIDE OF CALCULATED AREA OF THE CIRCLES.

TREATMENT P

LANDSCAPE

HARDSCAPE



RAILROAD AVE.

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PROJECT NAME & ADDRESS:

401-445 S. B STREET

401-445 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

| REVISIONS | DESCRIPTION | DATE |
|-----------|------------------------------|-----------|
| 1 | PRE-APPLICATION | 1/31/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 6/10/2022 |

MATERIALS SCHEDULE

PAVEMENTS

- A1 CONCRETE PAVER, CITY STANDARD
- B1 VEHICULAR CONCRETE
- C1 PRECAST CONCRETE UNIT PAVER 1
- C2 PRECAST CONCRETE UNIT PAVER 2
- C3 PRECAST CONCRETE UNIT PAVER 3
- C4 PERMEABLE PAVERS (FURNISHING ZONE ON B)

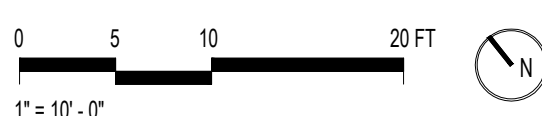
PLANTER, CURBS

- G1 AT GRADE PLANTING AREA
- G2 RAISED PLANTING AREA
- G3 GREEN WALL
- G4 RAISED STORMWATER PLANTING AREA
- H1 PERMEABLE PAVING
- K2 CURB CUT
- K3 CURB EXTENSION
- K4 BULB-OUT
- K5 BALLAST BORDER

SITE FURNISHINGS, PARKING

- P1 BUILT-IN BENCH
- P2 MOVEABLE FURNITURE (TBD BY TENANT)
- P3 BIKE RACK(14 SPACES)
- P4 GARAGE ENTRY
- Q1 UTILITIES
- Q2 LOADING & DROP OFF ZONE
- R1 EXISTING CURBLINE
- R2 PROPERTY LINE
- S1 EXISTING TREE
- S2 PROPOSED TREE

- STORMWATER PLANTER
- PLANTING AREA



SCALE:

| | |
|-----------------|------------|
| PROJECT NUMBER: | 2202017.00 |
| DRAWN BY: | TH |
| CHECKED BY: | CB |
| STAMP: | |

NOT FOR
CONSTRUCTION

SHEET NAME:

LANDSCAPE PLAN,
GROUND LEVEL

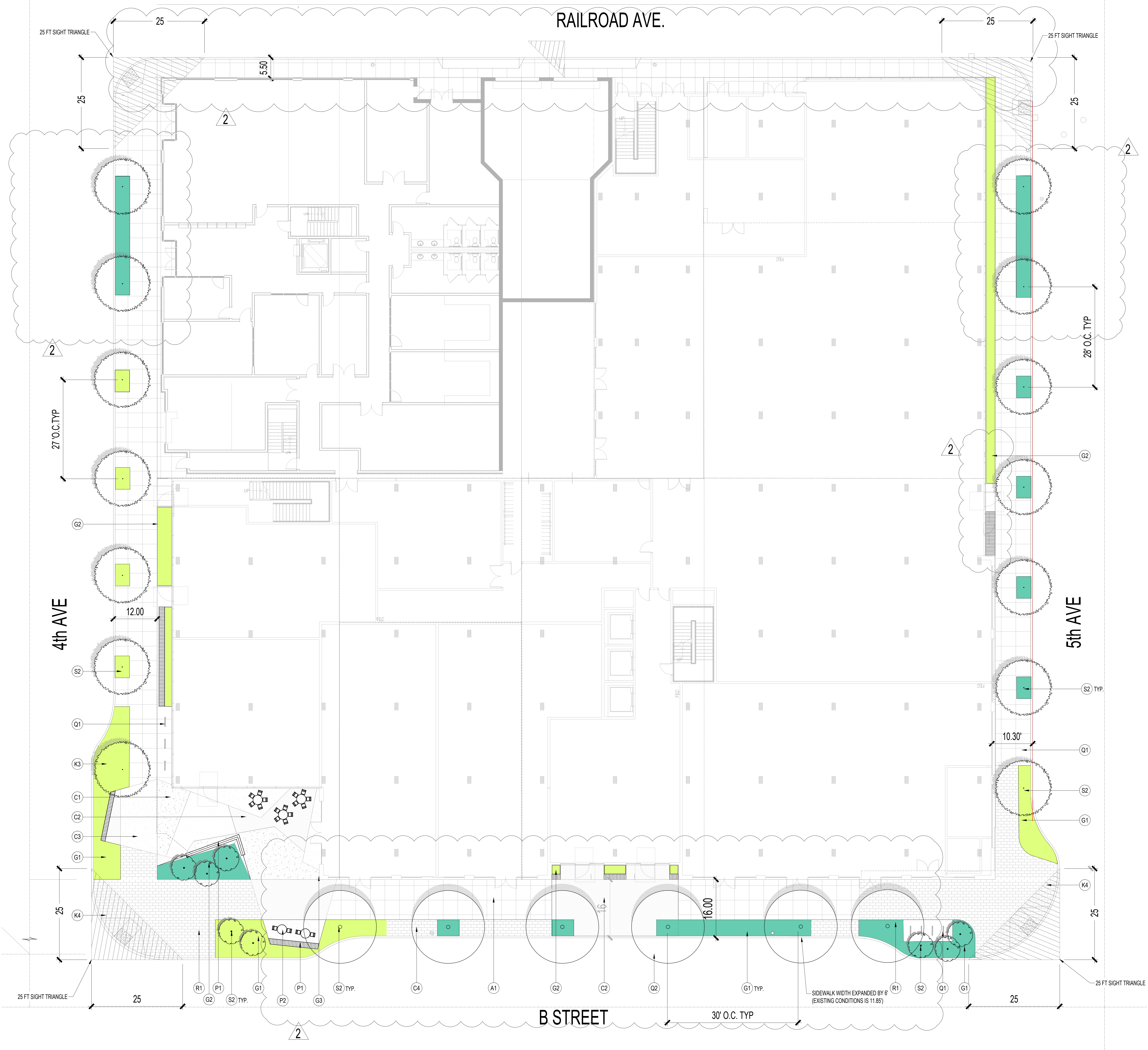
SHEET NUMBER:

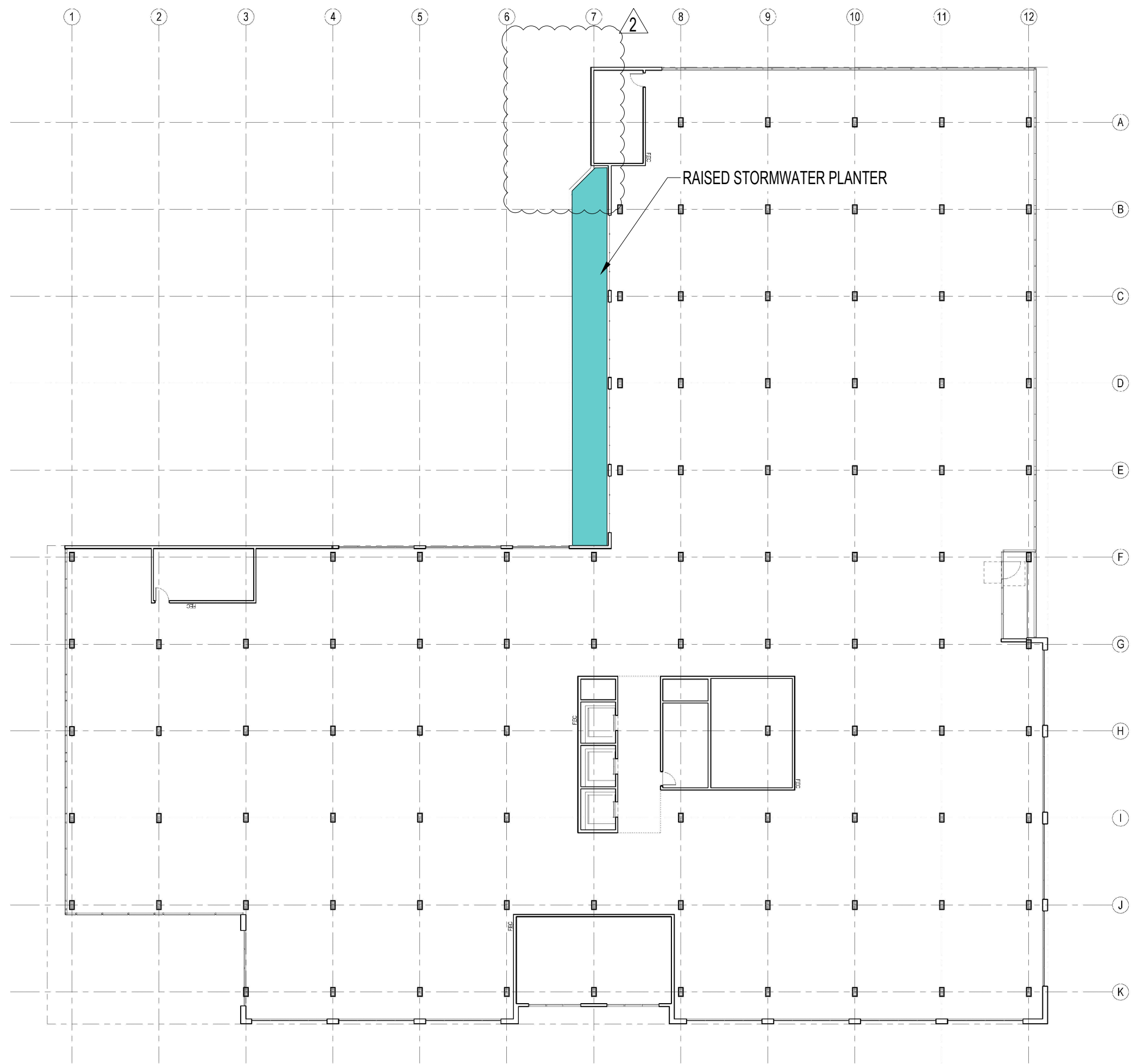
L.1.0

B STREET

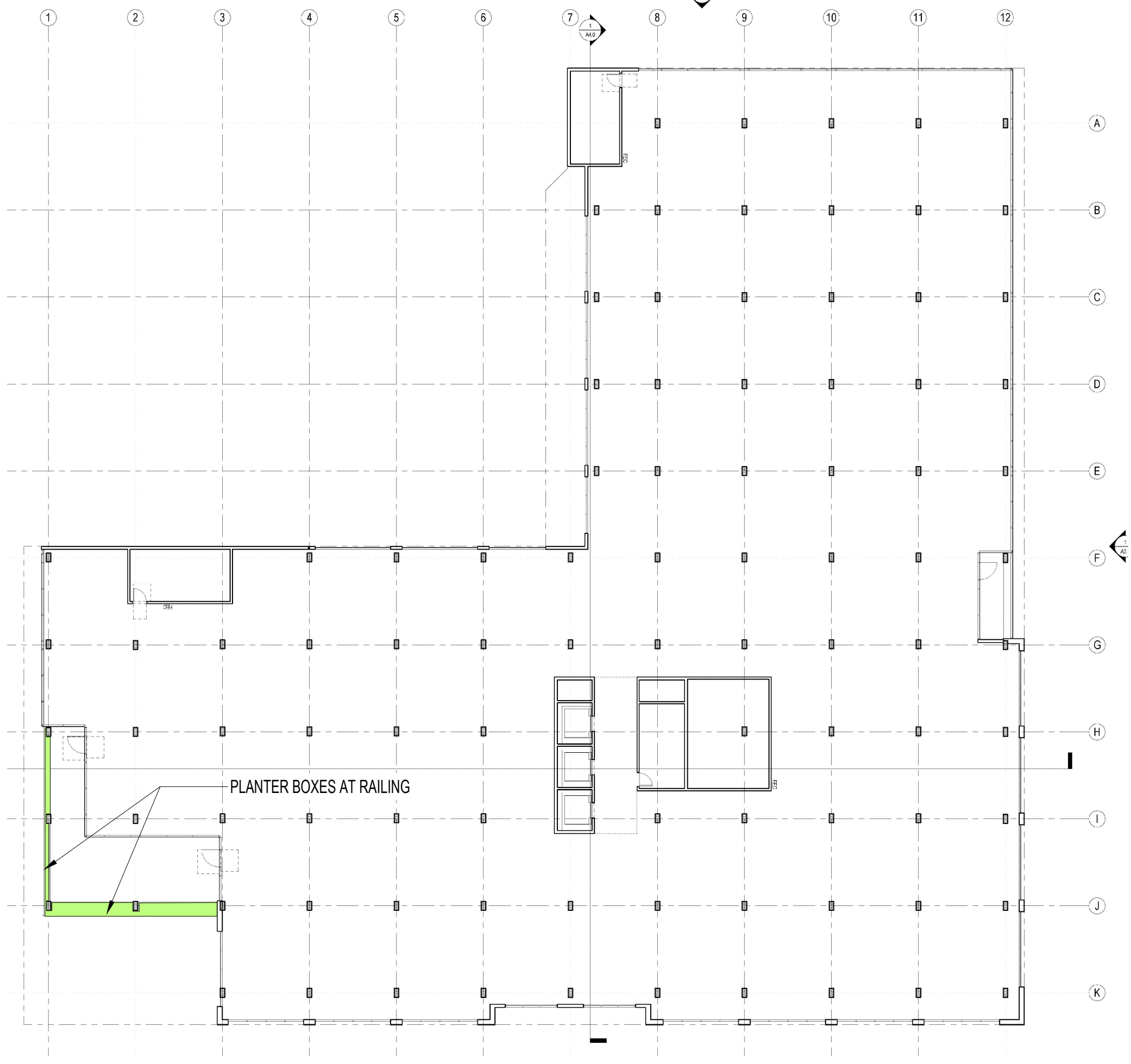
5th AVE

4th AVE

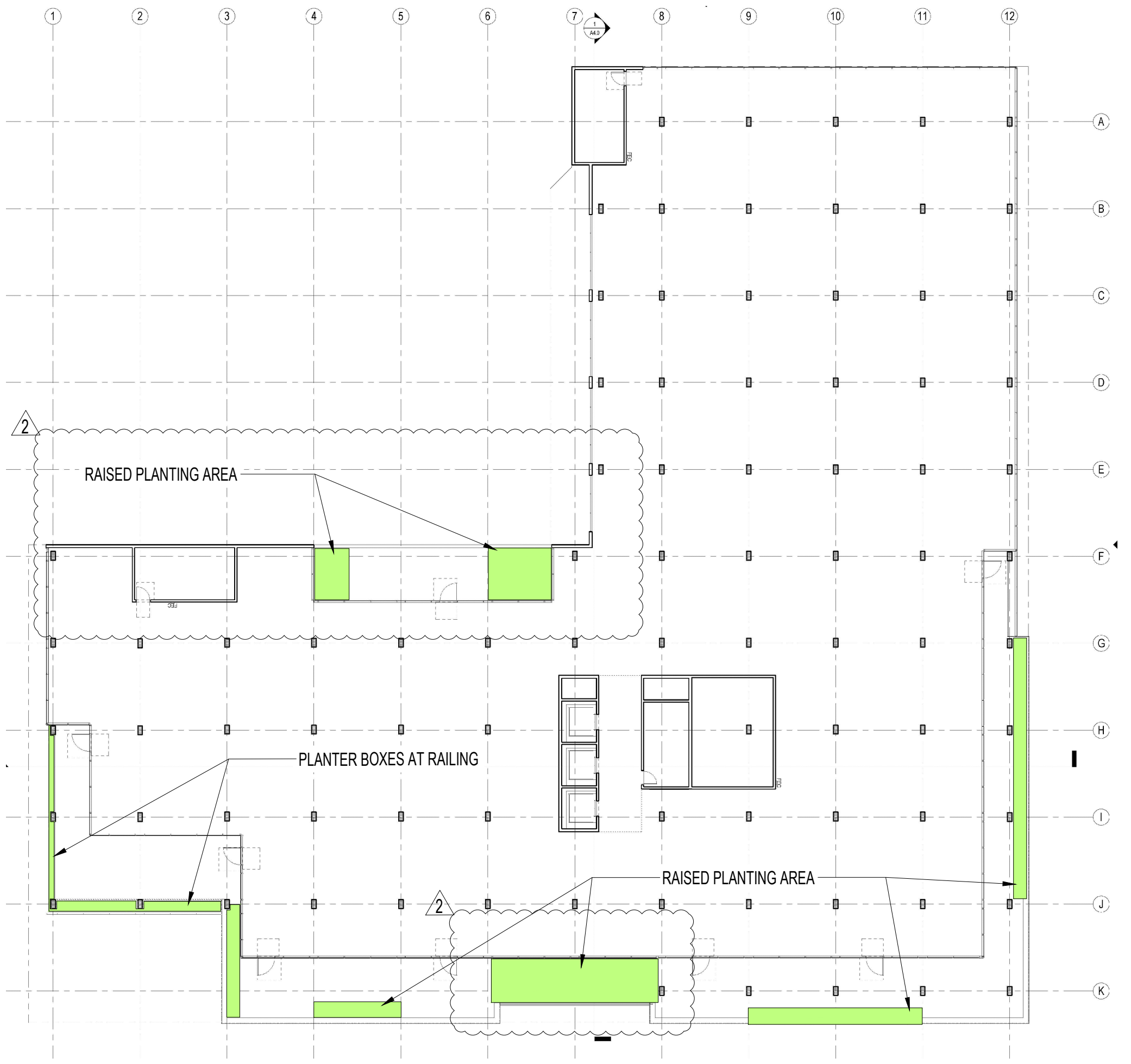




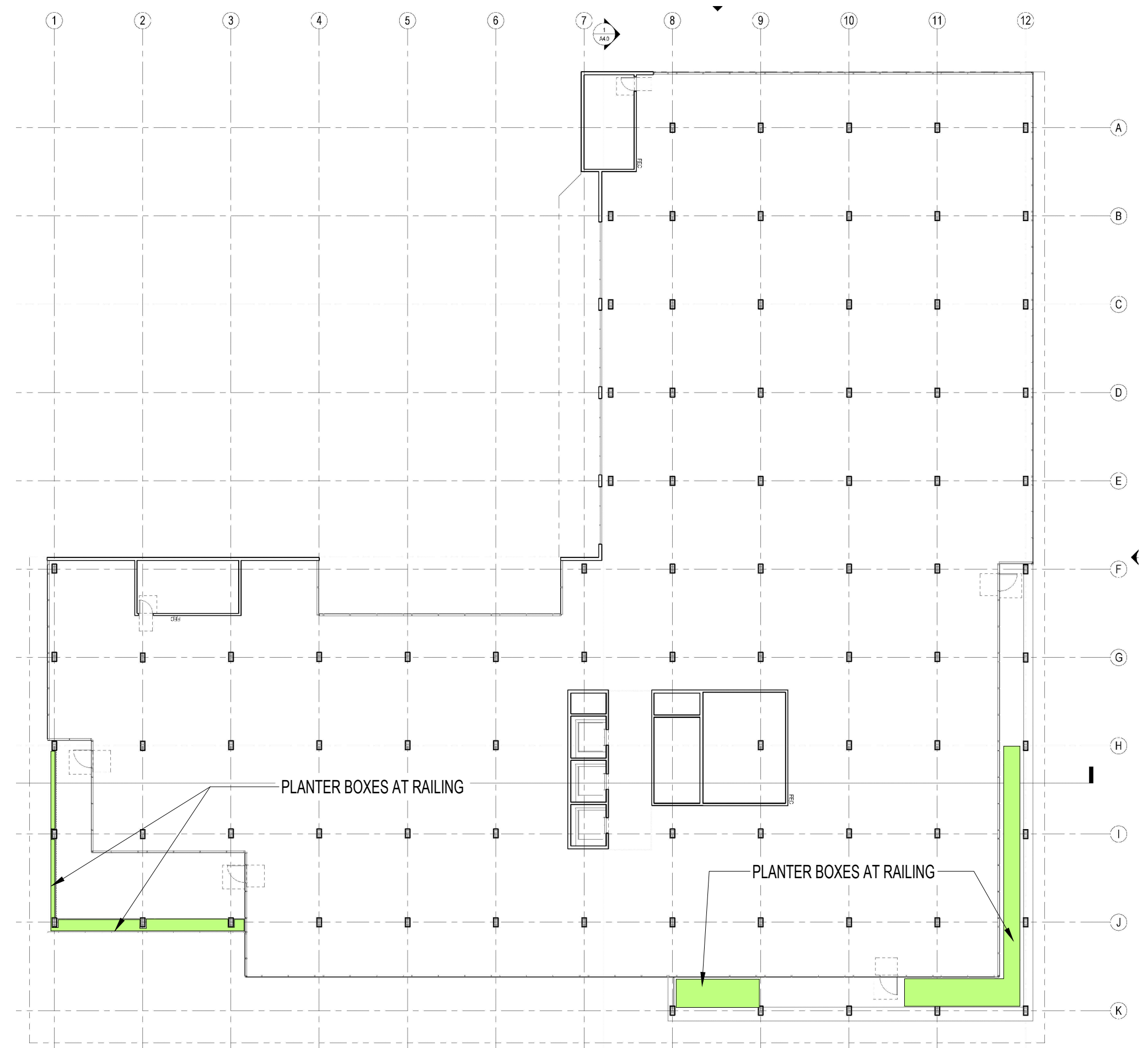
2ND FLOOR



3RD FLOOR



4TH FLOOR



5TH FLOOR



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California 94111
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415 788-5216
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401-445 S. B STREET

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SAN MATEO, CA 94401

ISSUE:

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SCALE:

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|-----------------|------------|
| PROJECT NUMBER: | 2202017.00 |
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CONSTRUCTION

SHEET NAME:

LANDSCAPE
PLAN-DIAGRAMS, 2ND,
3RD, 4TH & 5TH FLOORS

SHEET NUMBER:

L.1.1

RAILROAD AVE.



B STREET

- COVERED OPEN SPACE
- OPEN SPACE IN SUN BETWEEN NOON AND 2PM THE SPRING AND FALL EQUINOX PER SMMC 27.38.090
- OPEN SPACE AT CORNER PLAZA & RETAIL STOREFRONTS

| | |
|--|---------|
| TOTAL OPEN SPACE | 1794 SF |
| OPEN SPACE IN SUN BETWEEN NOON AND 2PM ON THE SPRING AND FALL EQUINOX PER SMMC 27.38.090 | 1354 SF |

| | |
|---|------------|
| OPEN SPACE CALCULATIONS | |
| PER SMMC 27.38.090 OPEN SPACE REQUIREMENTS OPEN SPACE TO HAVE 25'-0" MIN WIDTH | |
| TOTAL OFFICE AREA: | 161,480 SF |
| REQUIRED OPEN SPACE (1% OF OFFICE AREA): | 1615 SF |
| (50% OF REQUIRED) OPEN SPACE IN SUN BETWEEN NOON AND 2PM ON THE SPRING AND FALL EQUINOX PER SMMC 27.38.090: | 1354 SF |
| PROVIDED OPEN SPACE THAT IS COVERED | 339 SF |
| TOTAL OPEN SPACE PROVIDED (1.11% OF OFFICE AREA) | 1794 SF |
| TOTAL OPEN SPACE THAT IS ABOVE REQUIRED | 179 SF |

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CLIENT:

HARVEST

PROMETHEUS

PROJECT NAME & ADDRESS:

401-445 S. B STREET

401-445 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

| REVISIONS | DESCRIPTION | DATE |
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| 2 | PRE-APPLICATION RESUBMISSION | 6/10/2022 |

SCALE:

| | |
|-----------------|------------|
| PROJECT NUMBER: | 2202017.00 |
| DRAWN BY: | TH |
| CHECKED BY: | CB |
| STAMP: | |

NOT FOR
CONSTRUCTION

SHEET NAME:
OPEN SPACE DIAGRAM

SHEET NUMBER:

L1.2

FOR ILLUSTRATIVE PURPOSES ONLY



CORNER PLAZA AT 4TH AVE & S. B STREET. GREENWALL ON NORTH FACADE WITH PLANTING AT UPPER TERRACES. PALMS LINK THE LARGE CORNER PLANTER TO THE UPPER LEVELS WITH VEGETATION.



CORNER PLAZA AT 4TH AVE & S. B STREET. LARGE CORNER PLANTER RECHARGES GROUNDWATER. BULBOUT AND CURB EXTENSIONS ALLOW FOR ENHANCED PLANTING AND ALCOVES FOR SEATING. (BIRDSEYE)



LOOKING WEST FROM CORNER PLAZA. SCULPTURAL STONE WALL ECHOES THE MOUNTAINS IN THE DISTANCE. SPECIALTY PAVING DEMARKATES THE ENTRY TIES IN WITH THE PUBLIC SEATING ALCOVES IN CURB EXTENSIONS.



CORNER PLAZA AT 4TH AVE & S. B STREET. LARGE CORNER PLANTER RECHARGES GROUNDWATER. BULBOUT AND CURB EXTENSIONS ALLOW FOR ENHANCED PLANTING AND ALCOVES FOR SEATING.

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CLIENT:

HARVEST
PROPERTIES

PROMETHEUS

PROJECT NAME & ADDRESS:

401-445 S. B STREET

401-445 S. B STREET
SAN MATEO, CA 94401

ISSUE:

ISSUE DATE:

REVISIONS:

| REVISIONS | DESCRIPTION | DATE |
|-----------|------------------------------|-----------|
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| 2 | PRE-APPLICATION RESUBMISSION | 6/10/2022 |

SCALE:

| | |
|-----------------|------------|
| PROJECT NUMBER: | 2202017.00 |
| DRAWN BY: | TH |
| CHECKED BY: | CB |

STAMP:

NOT FOR
CONSTRUCTION

SHEET NAME:
ILLUSTRATIVE
RENDERINGS

SHEET NUMBER:

L2.0

FOR ILLUSTRATIVE PURPOSES ONLY



CORNER PLAZA AT 4TH AVE & S. B STREET. SCULPTURAL FEATURE WALL AND PLANTING AREA RECHARGES GROUNDWATER AND SUPPORTS LARGE PALMS.



LOOKING NORTH ON B STREET



ENLARGED TREE WELLS AND WIDENED ROW ALONG SOUTH B STREET.



MIDBLOCK COMMERCIAL ENTRY ON SOUTH B STREET WITH SPECIALTY PAVING.

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PROMETHEUS

PROJECT NAME & ADDRESS:

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ISSUE DATE:

REVISIONS:

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|-----------|------------------------------|-----------|
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SCALE:

| | |
|-----------------|------------|
| PROJECT NUMBER: | 2202017.00 |
| DRAWN BY: | TH |
| CHECKED BY: | CB |
| STAMP: | |

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CONSTRUCTION

SHEET NAME:
ILLUSTRATIVE
RENDERINGS

SHEET NUMBER:

L2.1

CLIENT:



PROJECT NAME & ADDRESS:

4TH & RAILROAD

**4TH & RAILROAD
San Mateo, CA**

ISSUE: Project Status
ISSUE DATE: Issue Date

| REVISIONS: | | |
|------------|------------------------------|------------|
| REVISIONS | DESCRIPTION | DATE |
| 1 | PRE-APPLICATION | 02/10/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 06/10/2022 |

SCALE:

PROJECT NUMBER: 2126
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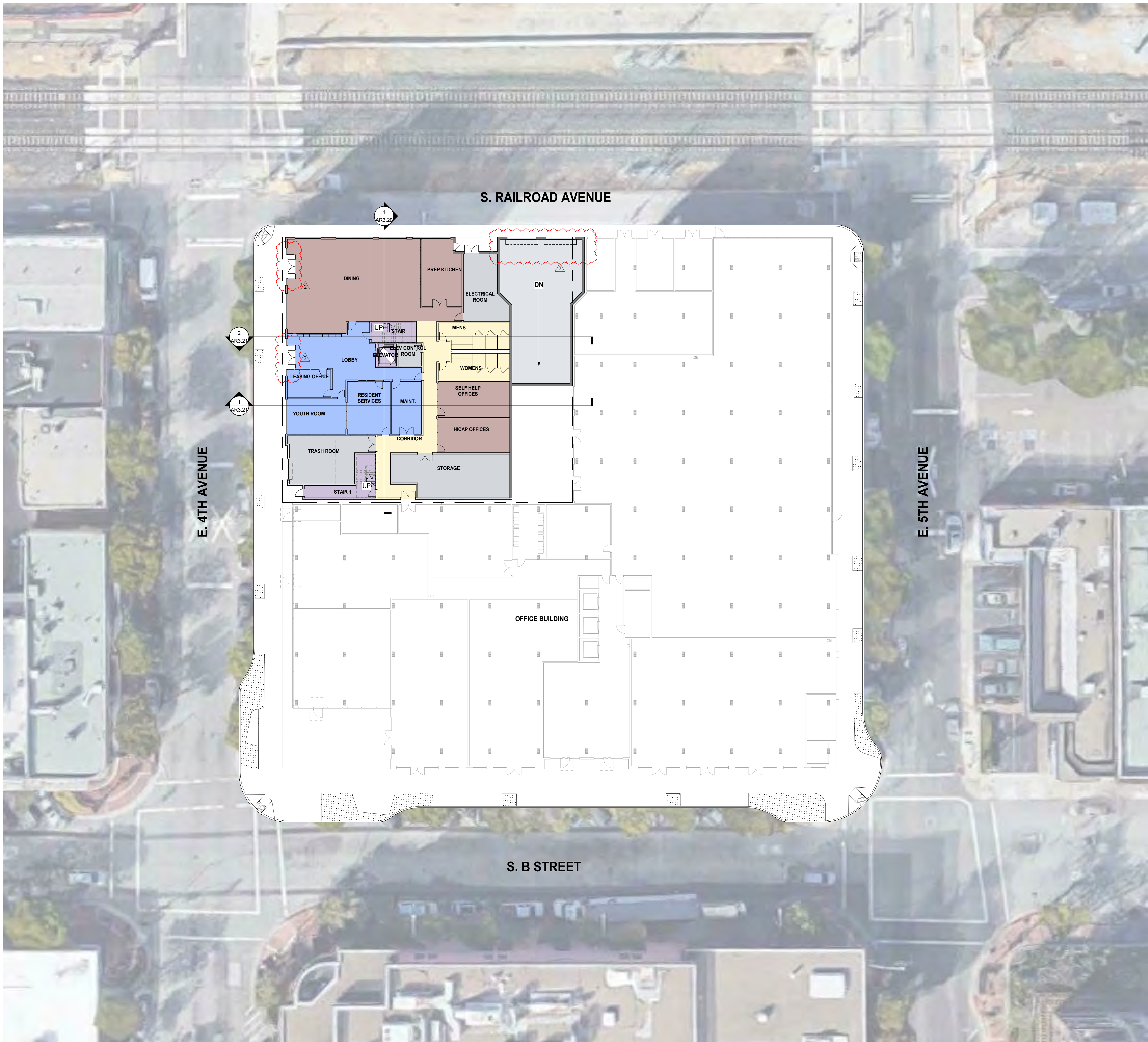
SHEET NAME:

SITE PLAN

SCALE: 1/16" = 1'-0" SHEET SIZE: 30 x 42

SHEET NUMBER:

AR1.00



SITE PLAN - FLOOR 1 PLAN 1

1/16" = 1'-0"

0' 16' 32'

CLIENT:



PROJECT NAME & ADDRESS:

4TH & RAILROAD

**4TH & RAILROAD
San Mateo, CA**

| | |
|--------------------------------|----------------|
| ISSUE: | Project Status |
| ISSUE DATE: | Issue Date |
| REVISIONS: | |
| 1 PRE-APPLICATION | 02/10/2022 |
| 2 PRE-APPLICATION RESUBMISSION | 06/10/2022 |

SCALE:

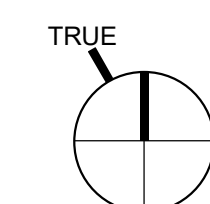
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|-----------------|------|
| PROJECT NUMBER: | 2126 |
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SHEET NAME:

FLOOR 1



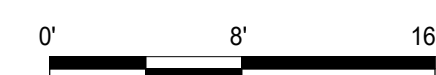
SCALE: 3/16" = 1'-0" SHEET SIZE: 30 x 42

SHEET NUMBER:

AR2.01



PLANNING - BUILDING PLAN - FLOOR 1 1
3/16" = 1'-0"



CLIENT:



PROJECT NAME & ADDRESS:

4TH & RAILROAD

**4TH & RAILROAD
San Mateo, CA**

| | | |
|-------------|------------------------------|----------------|
| ISSUE: | | Project Status |
| ISSUE DATE: | | Issue Date |
| REVISIONS: | | |
| 1 | PRE-APPLICATION | 02/10/2022 |
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SCALE:

| | |
|-----------------|------|
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SHEET NAME:

FLOOR 2

SCALE:

3/16" = 1'-0"

SHEET SIZE:

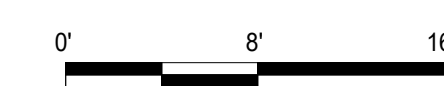
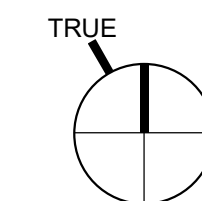
30" x 42"

SHEET NUMBER:

AR2.02



FLOOR 2 - PLAN 1
3/16" = 1'-0"



CLIENT:



PROJECT NAME & ADDRESS:

4TH & RAILROAD

**4TH & RAILROAD
San Mateo, CA**

ISSUE: Project Status
ISSUE DATE: Issue Date

REVISIONS:
1 PRE-APPLICATION DESCRIPTION DATE 02/10/2022

SCALE:

PROJECT NUMBER: 2126
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SHEET NAME:

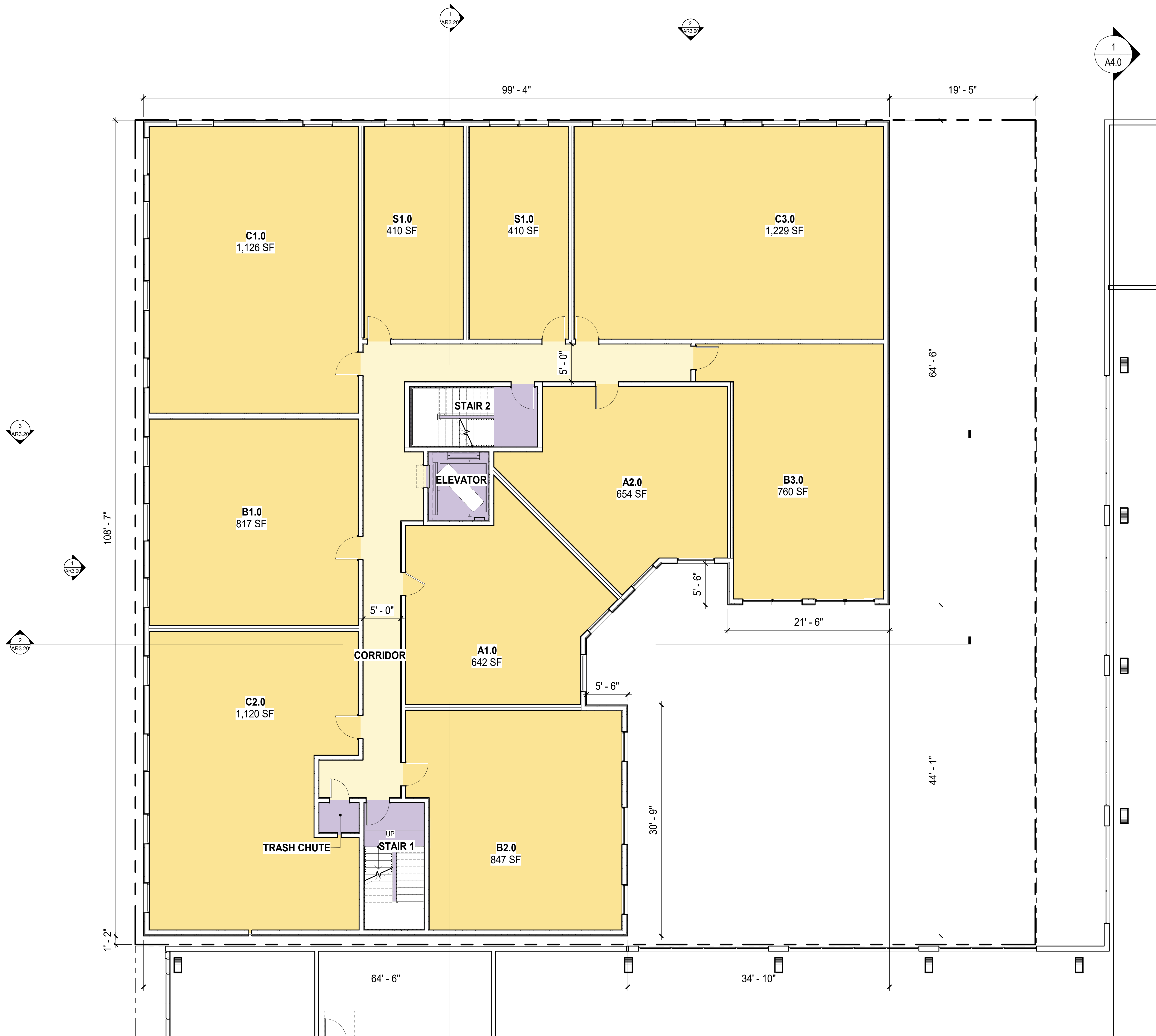
FLOORS 3-7

SCALE: 3/16" = 1'-0"

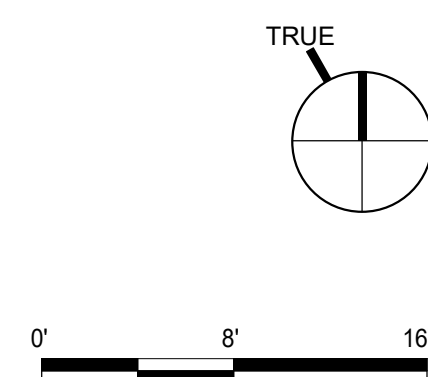
SHEET SIZE: 30" x 42"

SHEET NUMBER:

AR2.03



FLOORS 3-7 - PLAN 1
3/16" = 1'-0"





BLOCK ELEVATION - RAILROAD AVENUE 2

3/32" = 1'-0"



BLOCK ELEVATION - E 4TH AVENUE 1

3/32" = 1'-0"

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CLIENT:



PROJECT NAME & ADDRESS

4TH & RAILROAD

4TH & RAILROAD
San Mateo, CA

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ISSUE DATE:

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| | DESCRIPTION | DATE |
|---|------------------------------|------------|
| 1 | PRE-APPLICATION | 02/10/2022 |
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SHEET NAME:

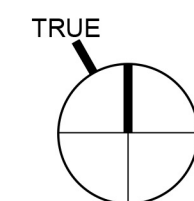
**BLOCK
ELEVATIONS**

SCALE: 3/32" = 1'-0"

SHEET SIZE: 30 x 42

SHEET NUMBER:

AR3.00





ELEVATION - RAILROAD AVENUE 2

3/32" = 1'-0"



ELEVATION - E 4TH AVENUE 1

3/32" = 1'-0"

| | |
|---|---|
| A | WINDOW & STOREFRONT 'ARCH BRONZE' DRAGON'S BREATH BM 1547 |
| B | PAINT - SHORELINE OR SIM. BM 1471 |
| C | PAINT - KITTY GRAY OR SIM. BM 1589 |

| | | | |
|---|---|---|--|
| 1 | BRICK VENEER, COLOR: LIGHT TAN / WHITE OR SIM. @ 4TH & RAILROAD ELEVATIONS ONLY | 2 | METAL PANELS COLOR: BLACK OR SIM. |
| 3 | CEMENT PLASTER, SMOOTH SAND (SAMPLE FOR TEXTURE ONLY) | 4 | RECESSED VINYL NAIL FIN WINDOWS COLOR: BLACK OR SIM. |
| 5 | STOREFRONT TO MATCH VINYL WINDOW COLOR | 6 | MTL AWNING, PAINTED |
| 7 | DARK CASTED CONCRETE | 8 | BUILDING ADDRESS SIGNAGE |

- 9 GARAGE ACCESS
- 10 RESIDENTIAL ENTRANCE
- 11 DOWNWARD LIT BUILDING SCONCE
- 12 FIBER CEMENT TRIM, PTD, OR SIM.
- 13 MTL SPANDREL PANEL, OR SIM.
- 14 GLASS RAILING

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PROJECT NAME & ADDRESS:

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| | DESCRIPTION | DATE |
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SCALE:

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SHEET NAME:

**BUILDING
ELEVATIONS**

SCALE: As Indicated

SHEET SIZE: 30 x 42

SHEET NUMBER:

AR3.01

CLIENT:



PROJECT NAME & ADDRESS:

4TH & RAILROAD

4TH & RAILROAD
San Mateo, CA

ISSUE:

Project Status

ISSUE DATE:

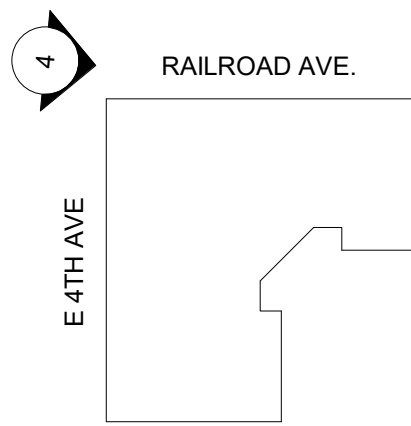
Issue Date

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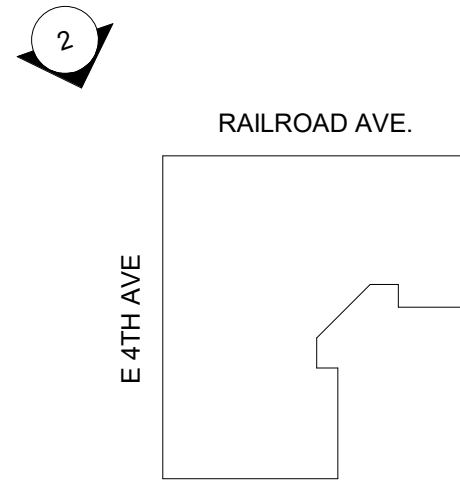
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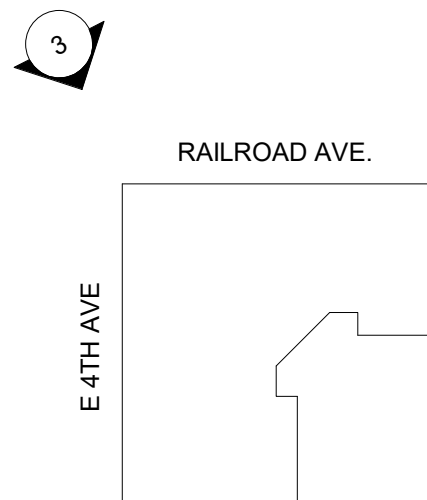
RAILROAD AVENUE 4



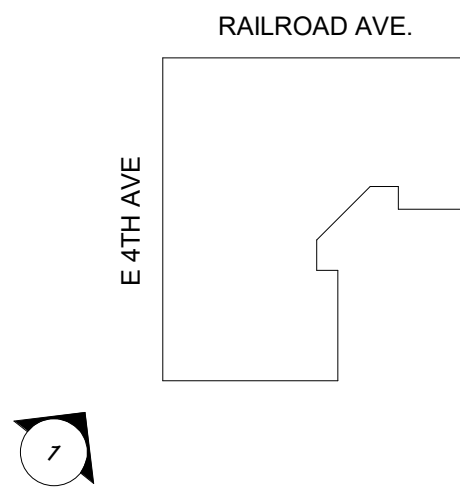
RAILROAD & E 4TH AVENUE 2



RAILROAD & E 4TH AVENUE 3



E 4TH AVENUE 1



SCALE:

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SHEET NAME:

**PERSPECTIVE
VIEWS**

SCALE:

SHEET SIZE: 30" x 42"

SHEET NUMBER:

AR3.02



PERSPECTIVE - E 4TH AVENUE 2
12" = 1'-0"



PERSPECTIVE - E 4TH AVENUE 1
12" = 1'-0"

| | |
|---|---|
| A | WINDOW & STOREFRONT 'ARCH BRONZE' DRAGON'S BREATH BM 1547 |
| B | PAINT - SHORELINE OR SIM. BM 1471 |
| C | PAINT - KITTY GRAY OR SIM. BM 1589 |

1
BRICK VENEER, COLOR: LIGHT
TAN / WHITE OR SIM. @ 4TH &
RAILROAD ELEVATIONS ONLY

2
METAL PANELS
COLOR: BLACK OR SIM.

3
CEMENT PLASTER, SMOOTH SAND
(SAMPLE FOR TEXTURE ONLY)

4
RECESSED VINYL NAIL FIN
WINDOWS
COLOR: BLACK OR SIM.

5
STOREFRONT TO MATCH VINYL
WINDOW COLOR

6
MTL AWNING, PAINTED

7
DARK CASTED CONCRETE

8
BUILDING ADDRESS SIGNAGE

- 9 GARAGE ACCESS
- 10 RESIDENTIAL ENTRANCE
- 11 DOWNWARD LIT BUILDING SCOUNCE
- 12 FIBER CEMENT TRIM, PTD. OR SIM.
- 13 MTL SPANDREL PANEL, OR SIM.
- 14 GLASS RAILING

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PROPERTIES
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PROJECT NAME & ADDRESS:
4TH & RAILROAD

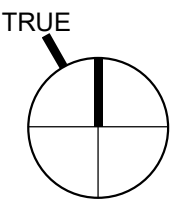
4TH & RAILROAD
San Mateo, CA

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| ISSUE DATE: | Issue Date |
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| 1 PRE-APPLICATION | DATE 02/10/2022 |

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SHEET NAME:
**MATERIAL
BOARD**



| | | | |
|---------------|-------------|-------------|---------|
| SCALE: | 12" = 1'-0" | SHEET SIZE: | 30 x 42 |
| SHEET NUMBER: | | | |

AR3.10

CLIENT:



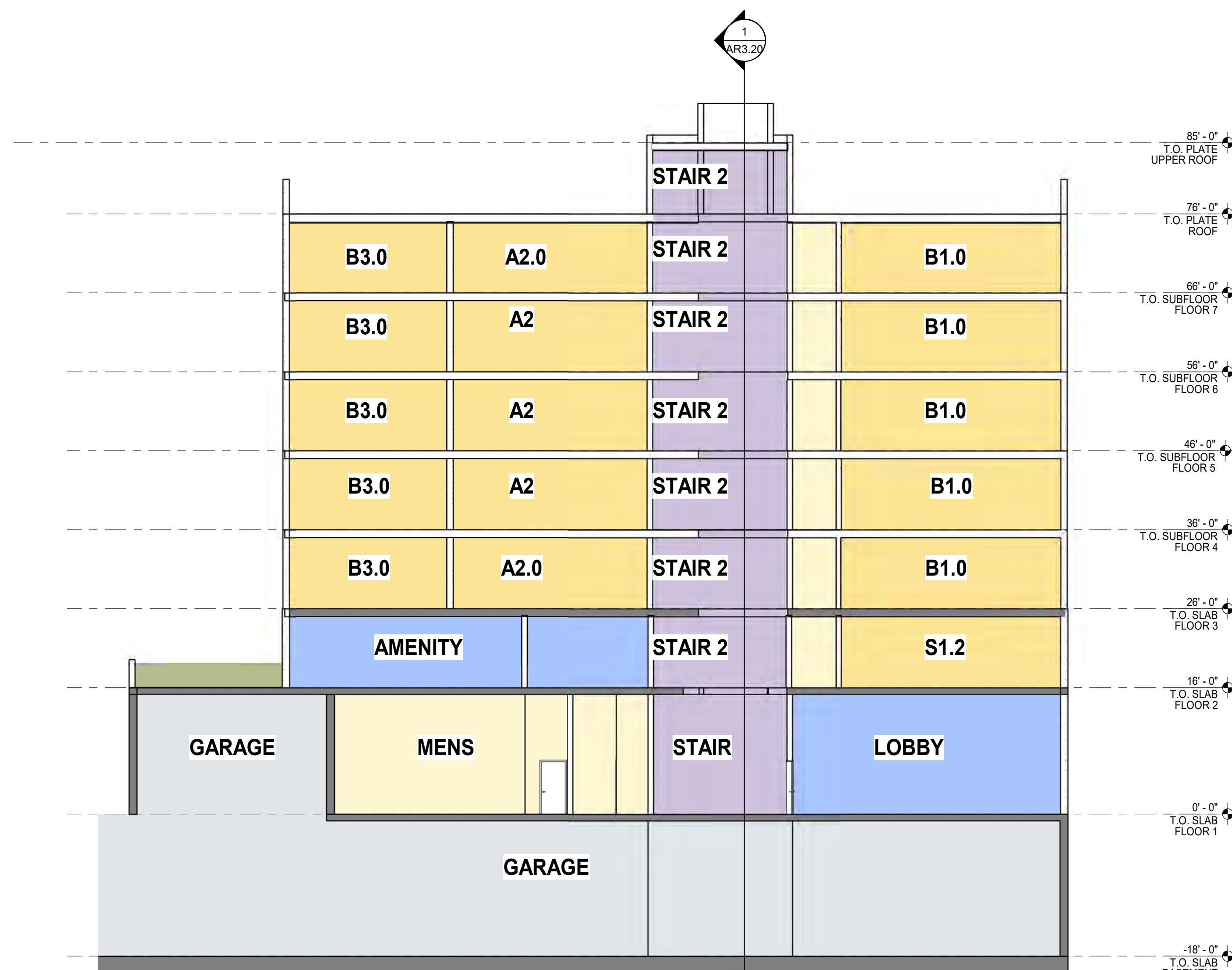
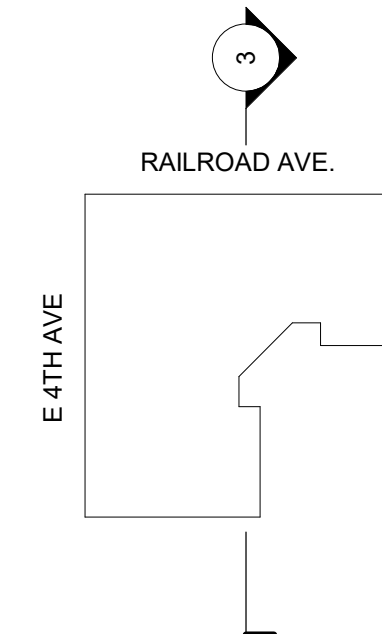
PROJECT NAME & ADDRESS:

4TH & RAILROAD

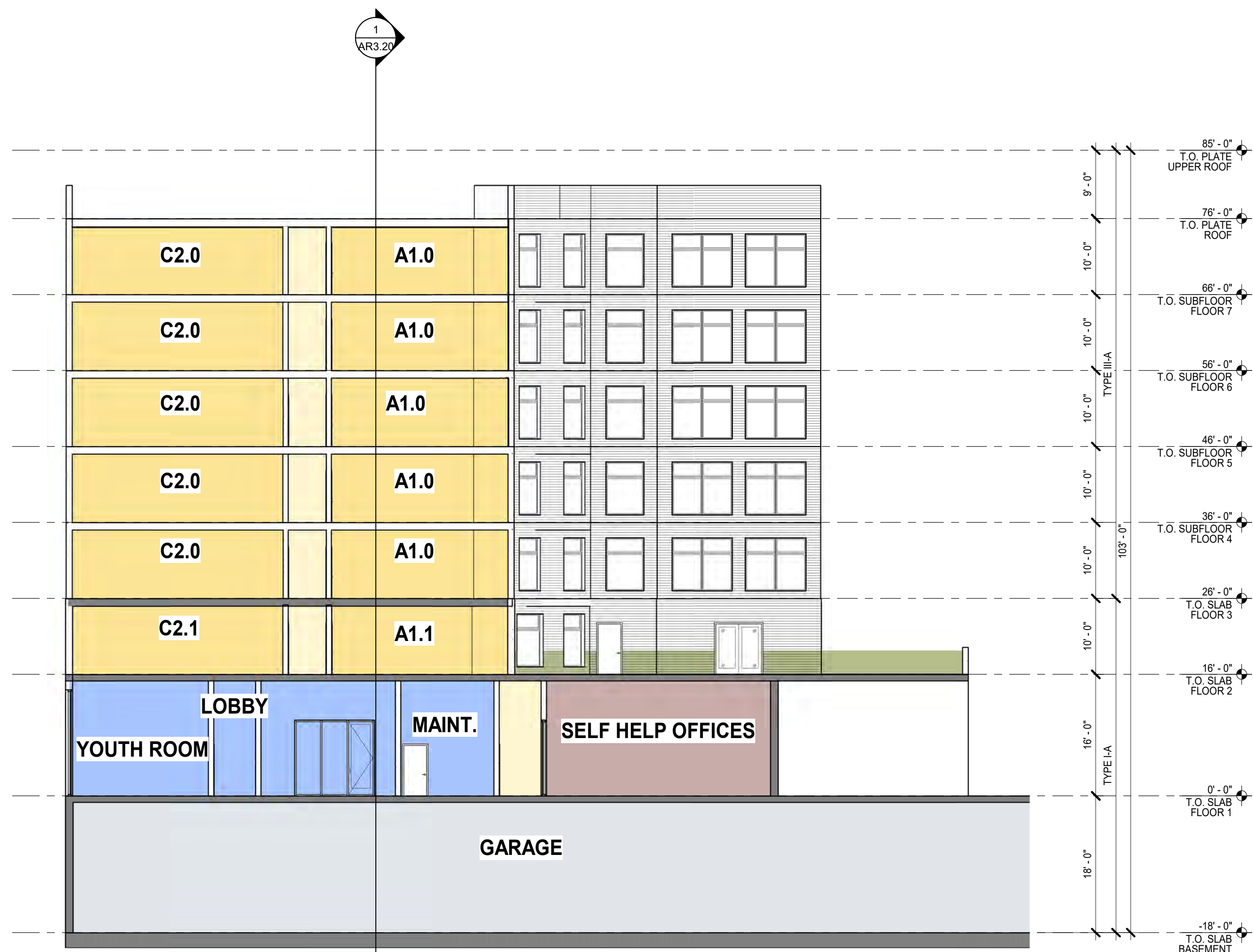
**4TH & RAILROAD
San Mateo, CA**

ISSUE: Project Status
ISSUE DATE: Issue Date

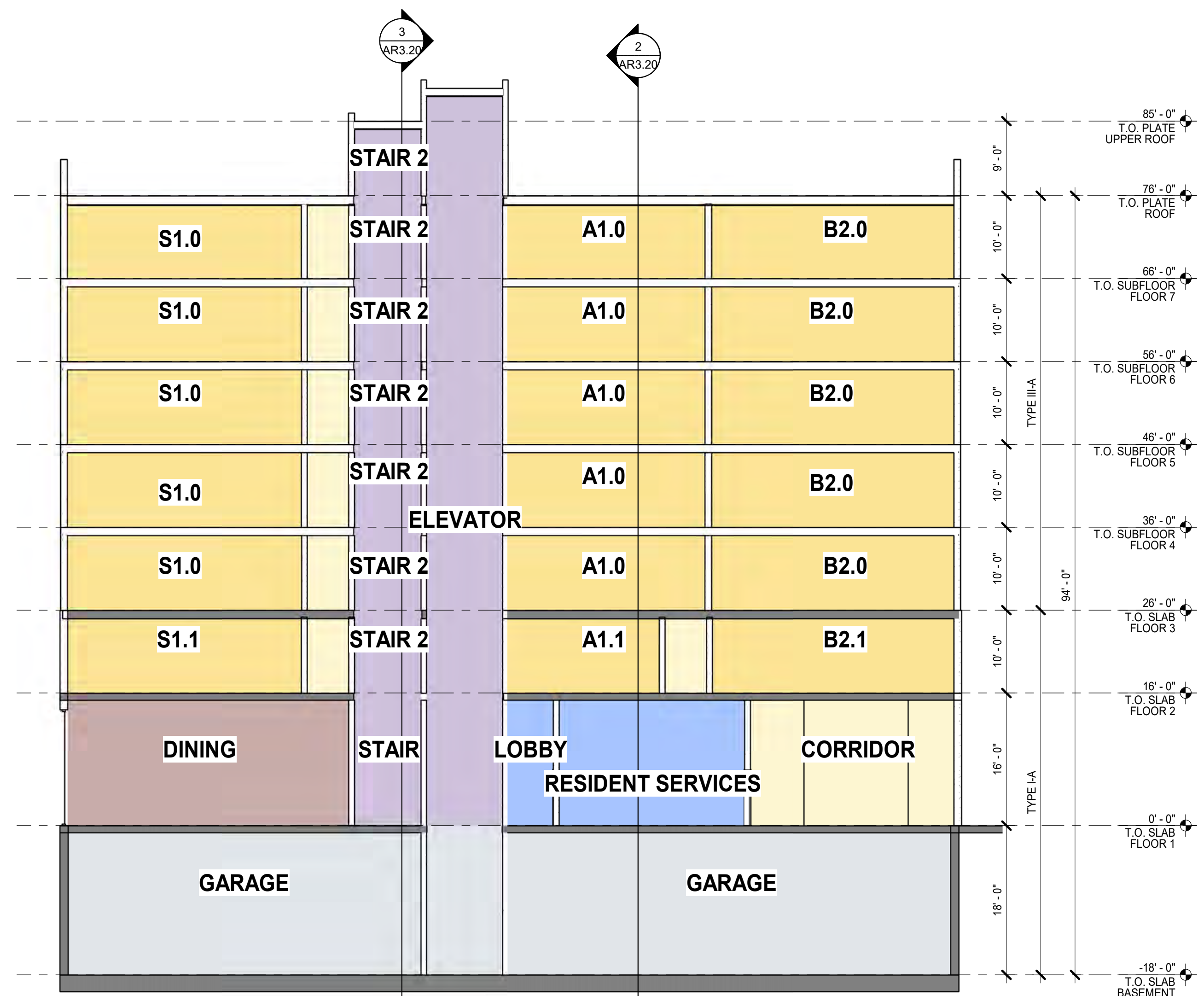
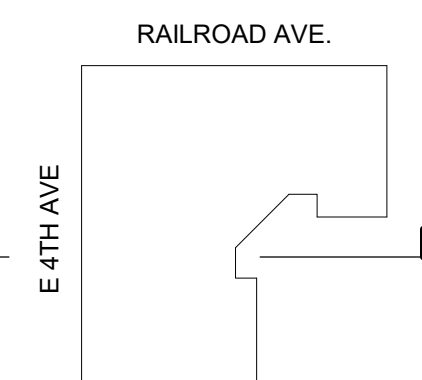
REVISIONS: DATE
1 PRE-APPLICATION 02/10/2022



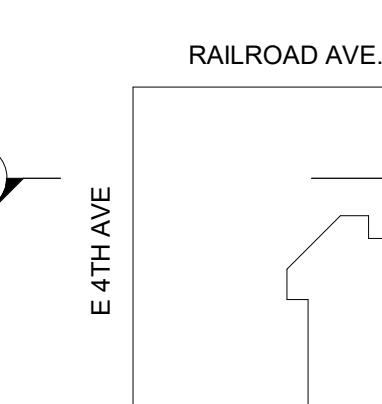
BUILDING SECTION 3
3/32" = 1'-0"



BUILDING SECTION 2
3/32" = 1'-0"



BUILDING SECTION 1
3/32" = 1'-0"



SCALE:
PROJECT NUMBER: 2126
DRAWN BY: NS
CHECKED BY:
STAMP:

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
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SHEET NAME:

**BUILDING
SECTIONS**

SCALE: 3/32" = 1'-0" SHEET SIZE: 30" x 42"
SHEET NUMBER:

AR3.20

CLIENT:



HARVEST
PROPERTIES
PROMETHEUS

PROJECT NAME & ADDRESS:

4TH & RAILROAD

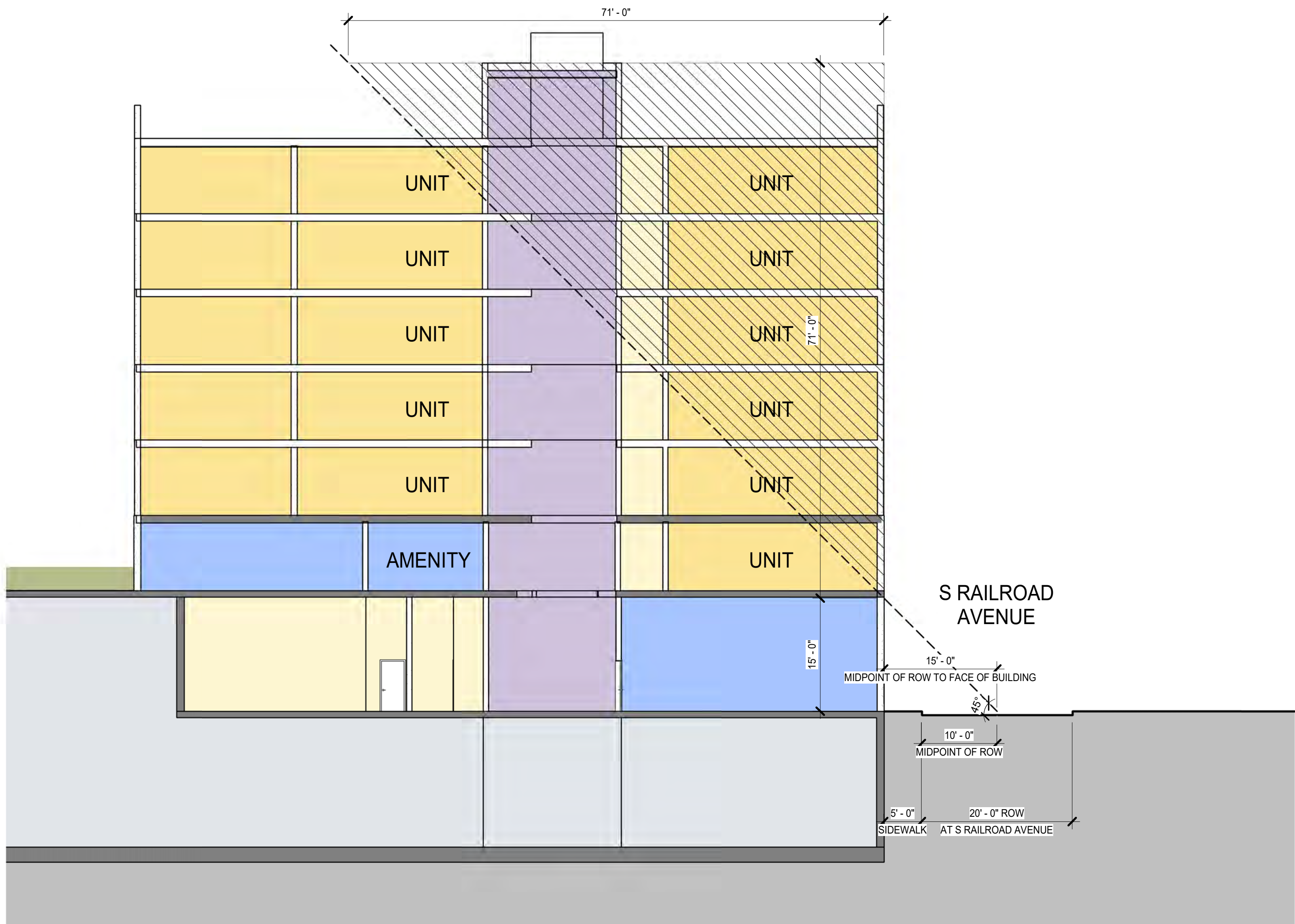
4TH & RAILROAD
San Mateo, CA

ISSUE: Project Status

ISSUE DATE: Issue Date

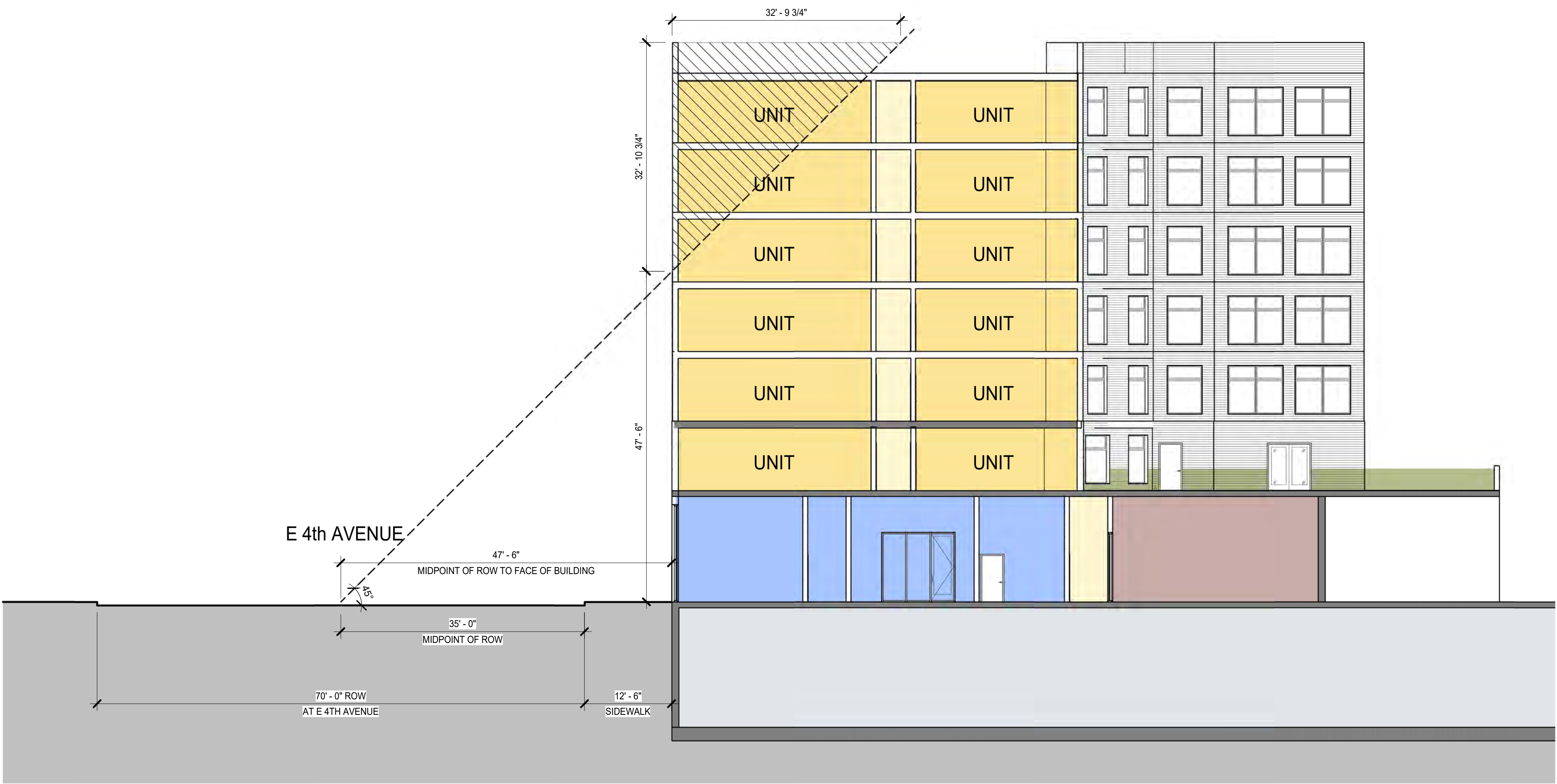
REVISIONS:

| 1 | PRE-APPLICATION | DESCRIPTION | DATE |
|---|-----------------|-------------|------------|
| | | | 02/10/2022 |



STREET WALL EXHIBIT - S RAILROAD AVE 2

3/32" = 1'-0"



STREET WALL EXHIBIT - E 4TH AVENUE 1

3/32" = 1'-0"

SCALE:

PROJECT NUMBER: 2126

DRAWN BY: NS

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SHEET NAME:

STREET WALL
SECTION
EXHIBITS

SCALE:

3/32" = 1'-0"

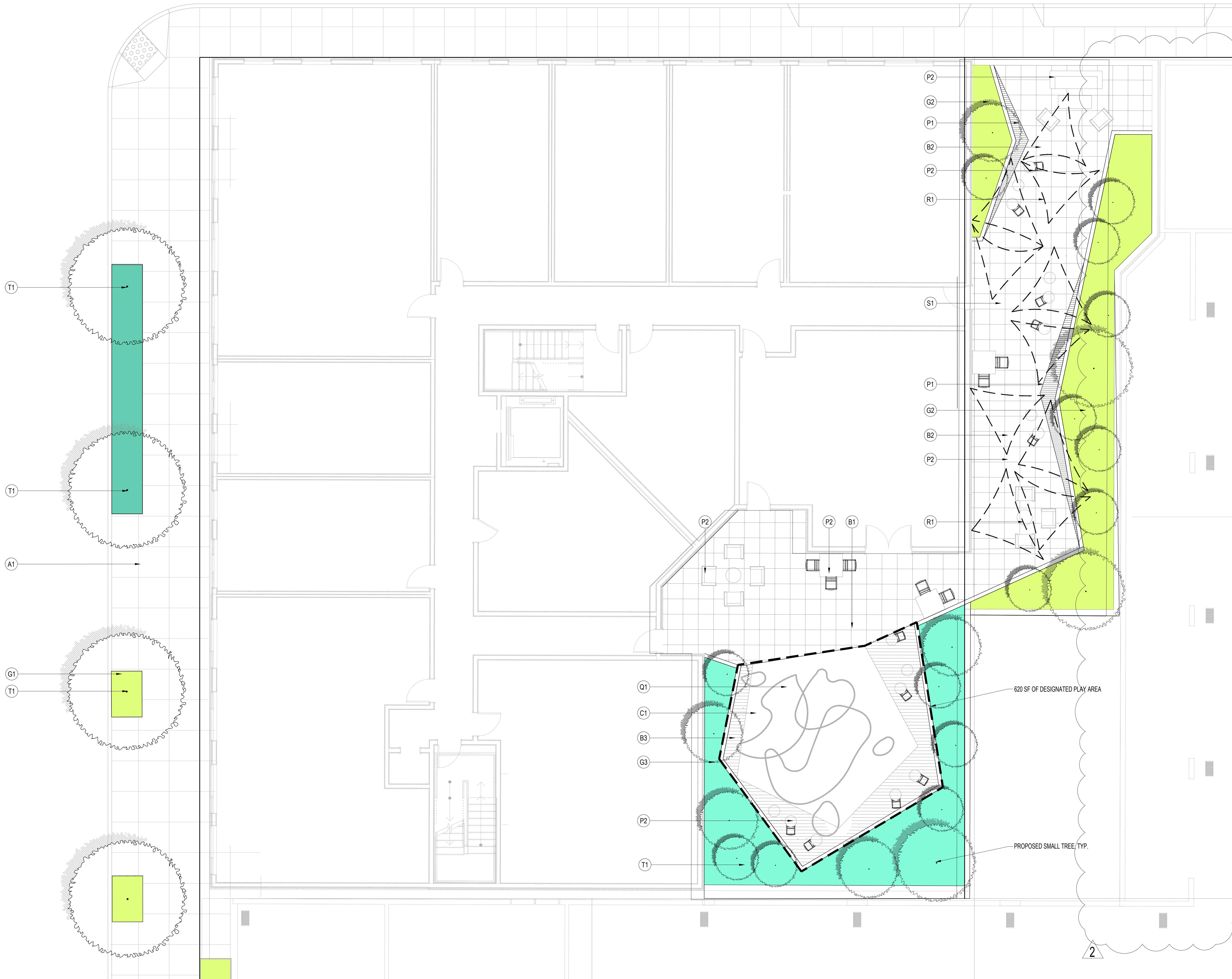
SHEET SIZE:

30 x 42

SHEET NUMBER:

AR3.21

RAILROAD AVE



MATERIALS SCHEDULE

PAVEMENTS

- A1 CONCRETE PAVER, CITY STANDARD
- B1 PRECAST CONCRETE UNIT PAVER 1
- B2 PRECAST CONCRETE UNIT PAVER 2
- B3 PRECAST CONCRETE UNIT PAVER 3
- C1 RUBBERIZED SURFACING

PLANTER

- G1 AT GRADE PLANTING AREA
- G2 RAISED PLANTING AREA
- G3 RAISED STORMWATER PLANTING AREA

SITE FURNISHINGS, EGRESS

- P1 BUILT-IN BENCH
- P2 MOVEABLE FURNITURE (TBD BY TENANT)
- Q1 SCULPTURAL PLAY EQUIPMENT (OVER 600SF PLAY AREA)
- R1 CANVAS AWNING SUSPENDED ON CABLES
- S1 EGRESS

TREE

- T1 PROPOSED TREE

STORMWATER PLANTER

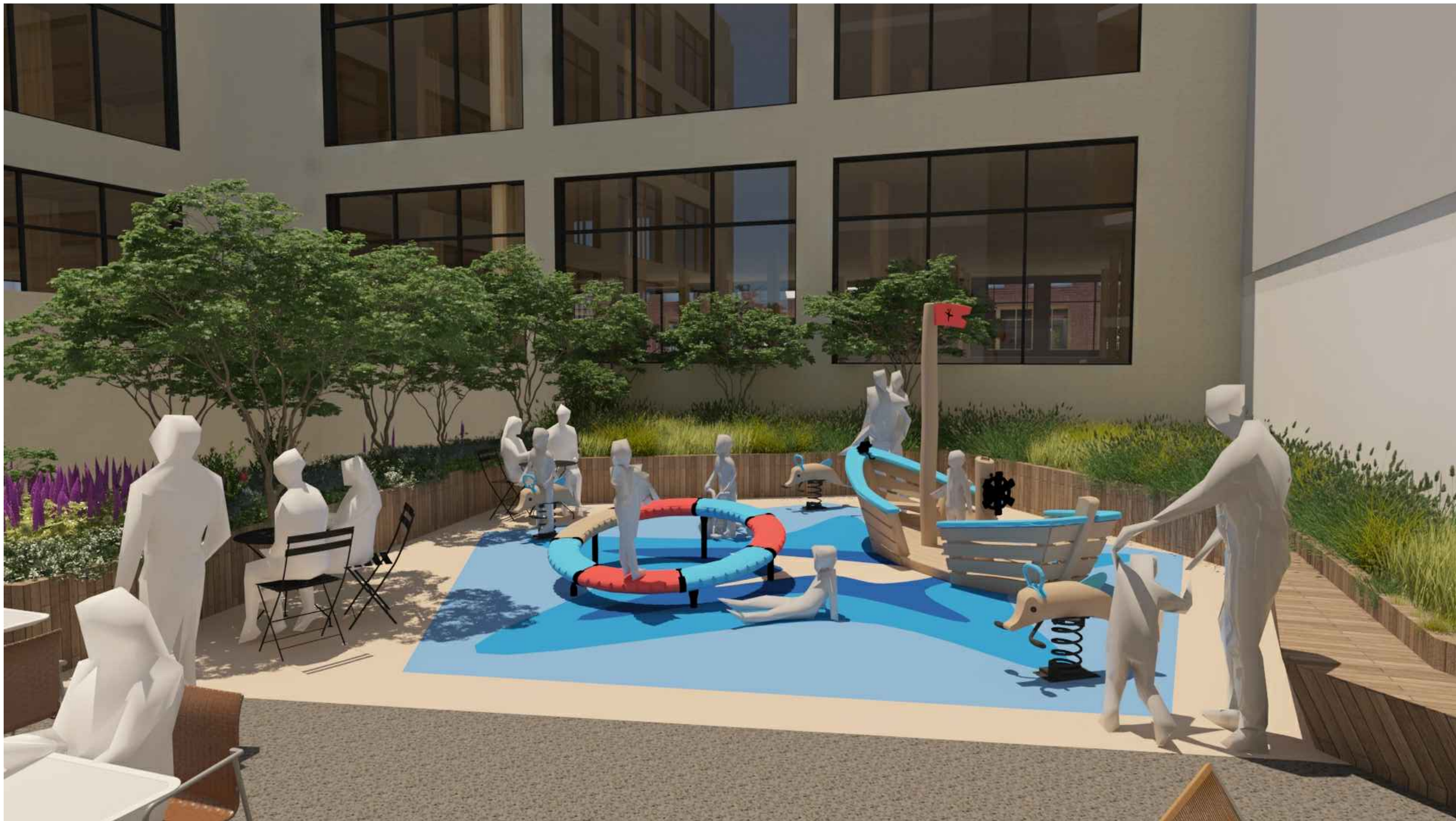
PLANTING AREA

620 SF OF DESIGNATED PLAY AREA

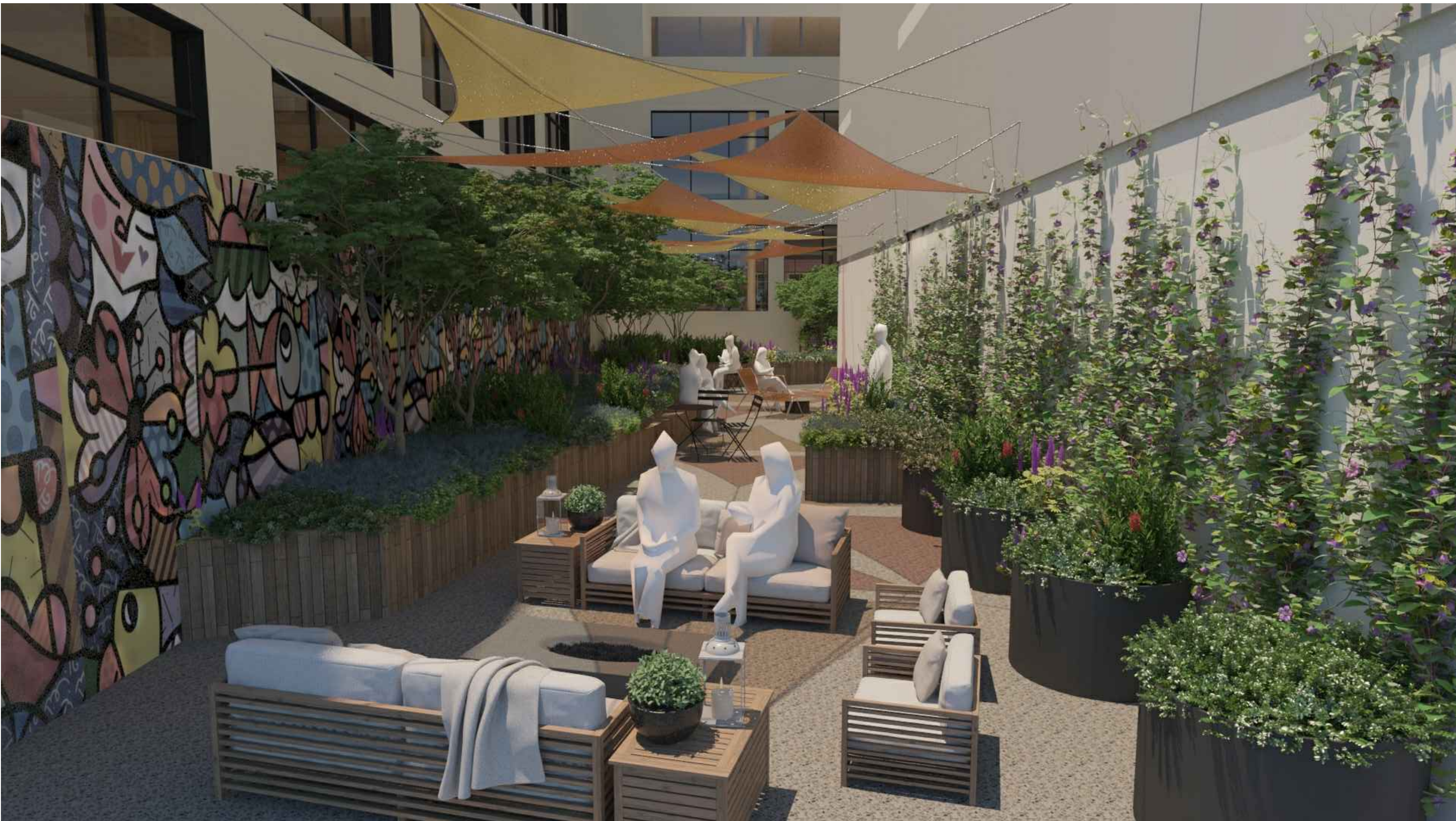
PROPOSED SMALL TREE, TYP.

2

FOR ILLUSTRATIVE PURPOSES ONLY



LOOKING PLAN SOUTH, TOWARDS SCULPTURAL PLAY AREA, WITH SEATING AREA



LOOKING PLAN SOUTH, AT LIVING ROOM AREA WITH FREESTYLE SEATING, GREENWALL AND SUSPENDED SHADE CANOPY THAT HELPS TO PROVIDE PRIVACY FROM UPPER LEVELS.



LOOKING PLAN NORTH, TOWARDS SCULPTURAL PLAY AREA, WITH SEATING AREA



LOOKING PLAN NORTH, WITH FREESTYLE SEATING, GREENWALL AND SHADE CANOPY THAT HELPS TO PROVIDE PRIVACY. MURAL ALONG LONG BLANK FACADE TO PLAN EAST.

PLACE
735 NW 18th Avenue
Portland OR 97209
503.334.2080
www.place.la

CLIENT:



PROJECT NAME & ADDRESS

4TH & RAILROAD

4TH & RAILROAD
San Mateo, CA

ISSUE:

ISSUE DATE:

REVISIONS:

| REVISIONS | DESCRIPTION | DATE |
|-----------|------------------------------|-----------|
| 1 | PRE-APPLICATION | 2/11/2022 |
| 2 | PRE-APPLICATION RESUBMISSION | 6/10/2022 |

SCALE:

| | |
|-----------------|------------|
| PROJECT NUMBER: | 2202017.00 |
| DRAWN BY: | TH |
| CHECKED BY: | CB |

STAMP:

**NOT FOR
CONSTRUCTION**

SHEET NAME:
**LANDSCAPE
RENDERINGS
LEVEL 2 TERRACE**

SHEET NUMBER:

LR2.0

