



③ 3D View 3



② 3D View 2



① 3D View 1



④ 3D View 4



JOHN
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335-A EAST FOURTH AVENUE
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WEST SANTA INEZ CONDOMINIUMS

TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

3D VIEWS

PLANNING
APPLICATION

DATE
FEBRUARY 1, 2016
AUGUST 24, 2016
MARCH 1, 2017
JUNE 15, 2017

Revision Schedule		
Number	Date	Description

SCALE

DRAWN

MK

JOB NO.

14555

SHEET

A-0.1

OF

SHEETS



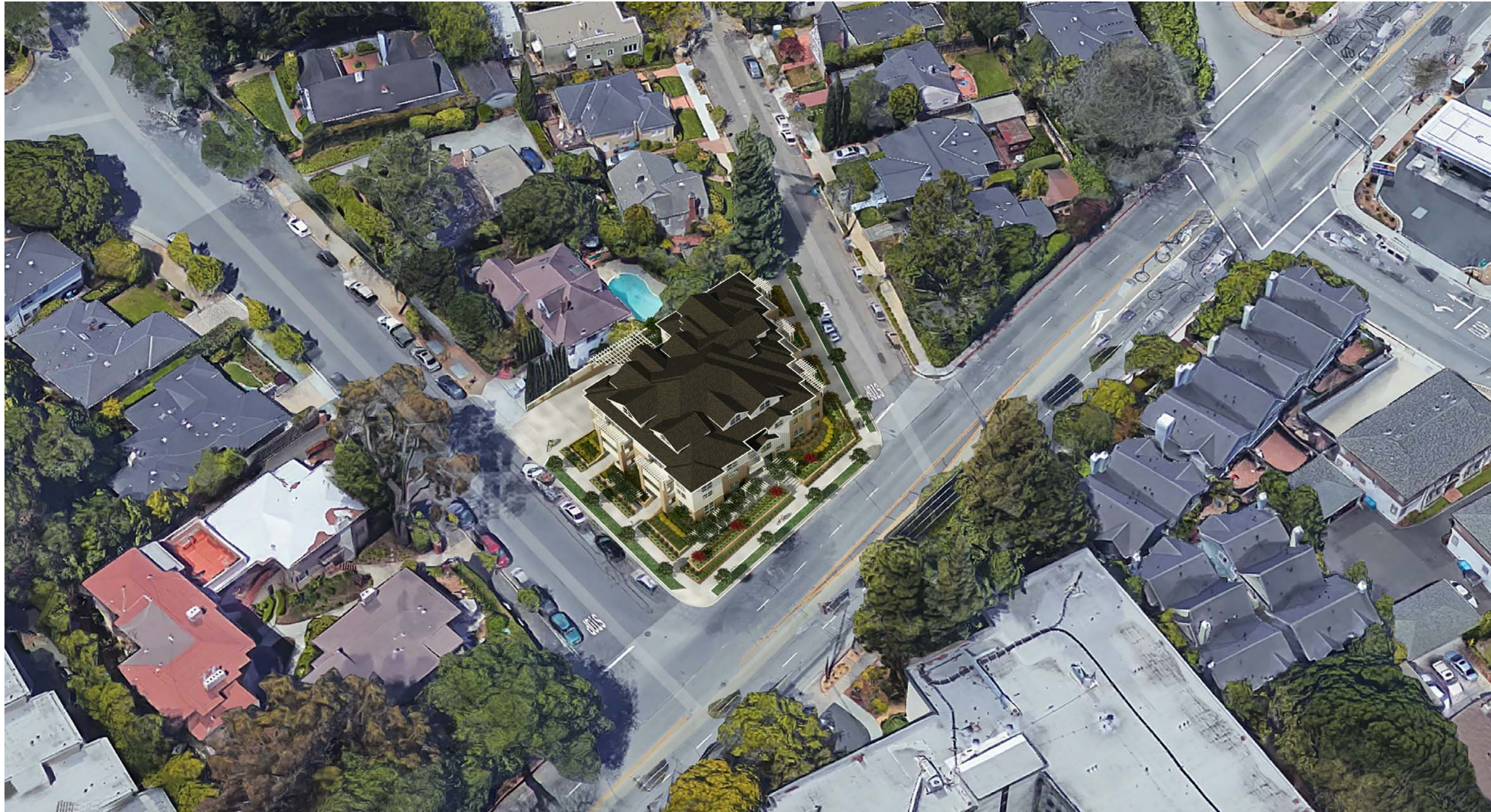
EL CAMINO REAL LOOKING NORTH + WEST TO WEST SANTA INEZ



WEST SANTA INEZ LOOKING EAST TOWARD EL CAMINO REAL



EL CAMINO REAL LOOKING SOUTH + WEST TO ENGLE



AERIAL VIEW



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WEST SANTA INEZ CONDOMINIUMS

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SAN MATEO, CA

RENDERINGS

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ENGLE ROAD LOOKING EAST FRAMED VIEW



ENGLE ROAD LOOKING EAST



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Map of the project location in the Eastside neighborhood of San Antonio. The map shows the intersection of N El Camino Real and W Santa Inez Ave. A black box highlights the project location at the intersection. A line with an arrow points from the text "PROJECT LOCATION" to the box. Other streets shown include N El Camino Real, E Poplar Ave, Highland Ave, E Santa Inez Ave, W Poplar Ave, Engle Rd, W Santa Inez Ave, and Chesterton Pl. Landmarks include the Peninsula Community Alliance Church and Four Square Church.

TOTAL NO. OF UNITS	
FIRST FLOOR & SECOND FLOOR:	(3) THREE BDRM UNITS, (2) TWO BDRM UNITS,
THIRD FLOOR & FOURTH FLOOR:	(3) THREE BDRM UNITS, (1) ONE BDRM UNIT
SUBTOTAL:	(1) ONE BEDROOM UNIT (6) THREE BDRM UNITS, (3) TWO BDRM UNITS,
TOTAL:	(1) ONE BEDROOM UNIT (10) UNITS

AREA SCHEDULE UNIT #2			AREA SCHEDULE UNIT #7		
NAME	AREA	LEVEL	NAME	AREA	LEVEL
3-BEDROOM UNIT #2	726 SF	1ST FLOOR	3-BEDROOM UNIT #7	726 SF	3RD FLOOR
3-BEDROOM UNIT #2	719 SF	2ND FLOOR	3-BEDROOM UNIT #7	716 SF	4TH FLOOR
TOTAL	1445 SF		TOTAL	1442 SF	

TOTAL 1172 SF			TOTAL 766 SF		
AREA SCHEDULE UNIT #4			AREA SCHEDULE UNIT #9		
NAME	AREA	LEVEL	NAME	AREA	LEVEL
3-BEDROOM UNIT #4	834 SF	1ST FLOOR	3-BEDROOM UNIT #9	857 SF	3RD FLOOR
3-BEDROOM UNIT #4	991 SF	2ND FLOOR	3-BEDROOM UNIT #9	577 SF	4TH FLOOR

TOTAL	1700 SF	TOTAL	1481 SF
PARKING REQUIREMENTS			

TWO-BDRM
(UNDER 1400 SF) = 3 UNITS x 2.0 (RES.: 1.8 - VISITOR: 0.2)
= 6 SPACES
THREE-BDRM = 6 UNITS x 2.2 (RES.: 2.0 - VISITOR: 0.2)
= 13.2 SPACES
TOTAL = 21 SPACES

RESIDENTS PARKING:
(17) INDIVIDUAL ACCESSED MECHANIZED PARKING SPACES
(3) REGULAR SPACES
(1) DISABLED ACCESSIBLE SPACE
TOTAL PROVIDED : 21 SPACES

TOTAL PARKING PROVIDED = 23 SPACES

OCCUPANCY / CONSTRUCTION TYPE:
BUILDING TO BE FULLY PROTECTED BY AN AUTOMATIC FIRE
SPRINKLER SYSTEM. PARKING LEVEL TO BE PROTECTED BY A FULL
NFPA 13 SPRINKLER SYSTEM.

GARAGE : GROUP S / 1A CONSTRUCTION
 CONDOMINIUMS : GROUP R2 / VA CONSTRUCTION OVER 1A
 GARAGE

APPLICABLE CODES:

1. ALL NEW WORK SHALL BE IN STRICT CONFORMANCE WITH THE FOLLOWING CODES & ORDINANCES INCLUDING BUT NOT LIMITED TO:
- * PART 1: 2013 CALIFORNIA ADMINISTRATIVE CODE
- * PART 2: 2013 CALIFORNIA BUILDING CODE
- * PART 2.5: 2013 CALIFORNIA RESIDENTIAL CODE
- * PART 3: 2013 ELECTRICAL CODE
- * PART 4: 2013 CALIFORNIA MECHANICAL CODE
- * PART 5: 2013 CALIFORNIA PLUMBING CODE
- * PART 6: 2013 CALIFORNIA ENERGY CODE
- * PART 8: 2013 CALIFORNIA HISTORICAL BUILDING CODE
- * PART 9: 2013 CALIFORNIA FIRE CODE
- * PART 10: CALIFORNIA EXISTING BUILDING CODE
- * PART 11: 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)
- * PART 12: 2013 CALIFORNIA REFERENCED STANDARDS CODE

ALL OTHER ADOPTED APPLICABLE CODES AND ALL OTHER APPLICABLE LOCAL AND STATE LAWS, REGULATIONS & ORDINANCES.

PROJECT DESCRIPTION
<p>THE PROJECT WILL CONSIST OF A NEW, 10 UNIT MULTIFAMILY PROJECT WITH UNDEGROUND PARKING GARAGE.</p> <p>THE GARAGE WILL BE ONE BASEMENT LEVEL TYPE 1A</p> <p>CONSTRUCTION AND THE RESIDENTIAL BUILDINGS WILL BE FOUR STORIES TYPE VA.</p> <p>INDIVIDUAL PODIUM LEVEL UNITS WILL HAVE STOOPS PROVIDING DIRECT ACCESS TO THE PUBLIC SIDEWALK ALONG ENGLE ROAD AND SANTA INEZ.</p> <p>CHARACTER OF THIS SITE, THE GARAGE WILL PROVIDE 21 PARKING SPACES FOR RESIDENTS AND 2 PARKING SPACES WILL BE PROVIDED FOR GUESTS.</p>

PROJECT DIRECTORY	
APPLICANT: TONY GUNDOGDJU 727 LAUREL STREET SAN CARLOS, CA 94070 650-592-3536 ARCHITECT: JOHN MATTHEWS ARCHITECTS 335a E. 4th AVENUE SAN MATEO, CA 94401 650-340-11079484	LANDSCAPE ARCHITECT: CALLANDER ASSOCIATES LANDSCAPE ARCHITECTURE 311 7th AVENUE SAN MATEO, CA 94401 650-375-1313 CIVIL ENGINEER: BOHLEY CONSULTING 3150 ALMADEN EXPRESSWAY, SUITE 150 SAN JOSE, CA 95118 408-265-1602

DRAWING LIST	
SHEET NAME	SHEET NUMBER
3D VIEWS	A-0.
RENDERINGS	A-0.
SITE PLAN	A-1.
SITE REMOVAL PLAN & UNDERGROUND GARAGE PLAN	A-2.
1ST & 2ND FLOOR PLANS	A-2.
3RD & 4TH FLOOR PLANS	A-2.
ROOF PLAN	A-2.
SHADOW STUDY	A-2.
1ST & 2ND FLOOR AREA DIAGRAMS	A-2.
3RD & 4TH FLOOR AREA DIAGRAMS	A-2.
SOUTH & NORTH ELEVATIONS	A-3.
EAST & WEST ELEVATION	A-3.
SECTIONS	A-3.
DETAILS	C2.
GROUND FLOOR GRADING PLAN	C3.
GROUND FLOOR UTILITY PLAN	C3.
GARAGE GRADING AND UTILITY PLAN	C3.
DRAINAGE AREAS PLAN	C3.
TENTATIVE PARCEL MAP	1 OF 1
PRELIMINARY LANDSCAPE PLAN	L-1.
PLANTING PALETTE	L-1.
TREE DISPOSITION PLAN	L-1.
TREE PROTECTION PLAN & DETAILS	L-1.
TREE PROTECTION SECTIONS	L-1.



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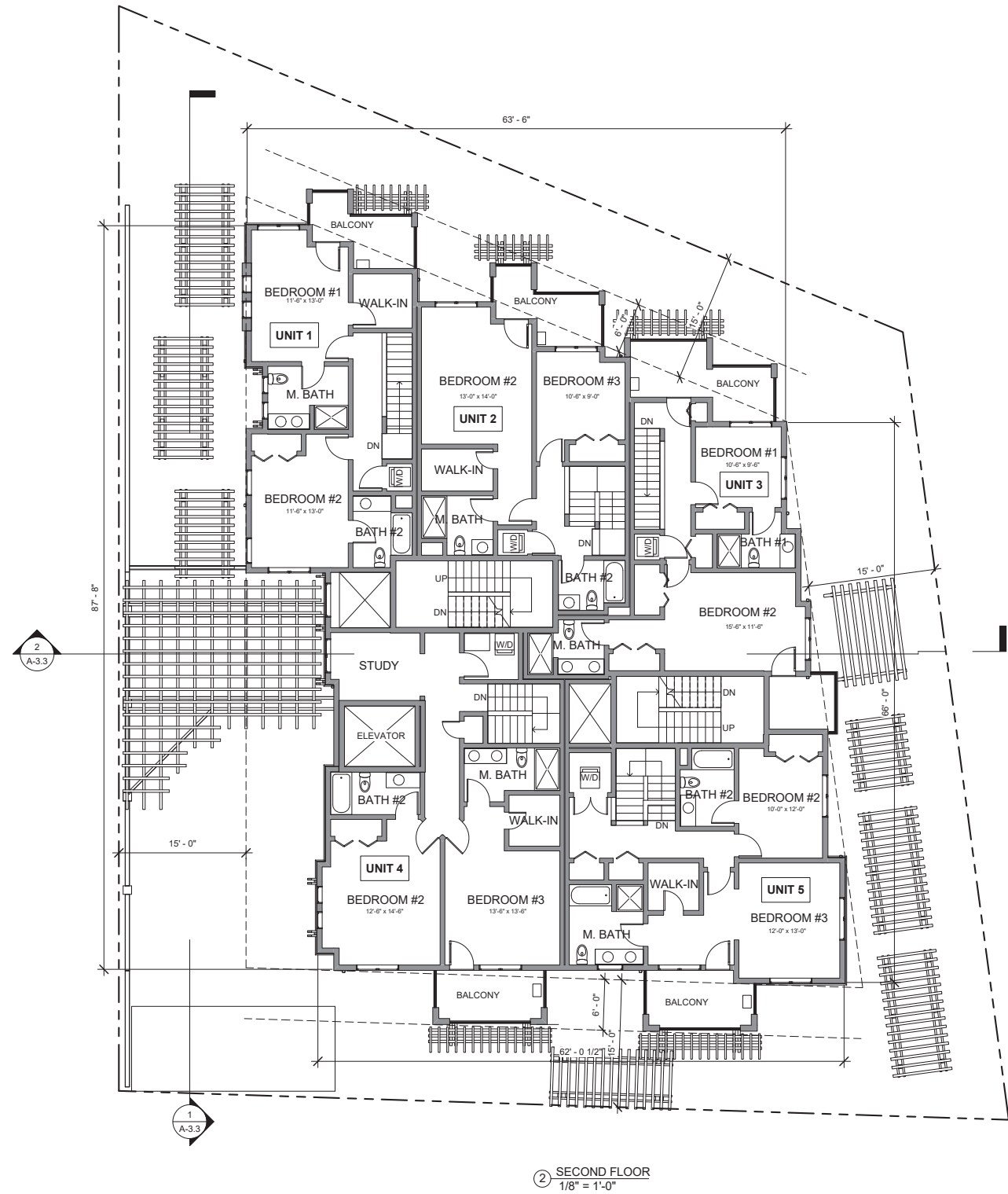
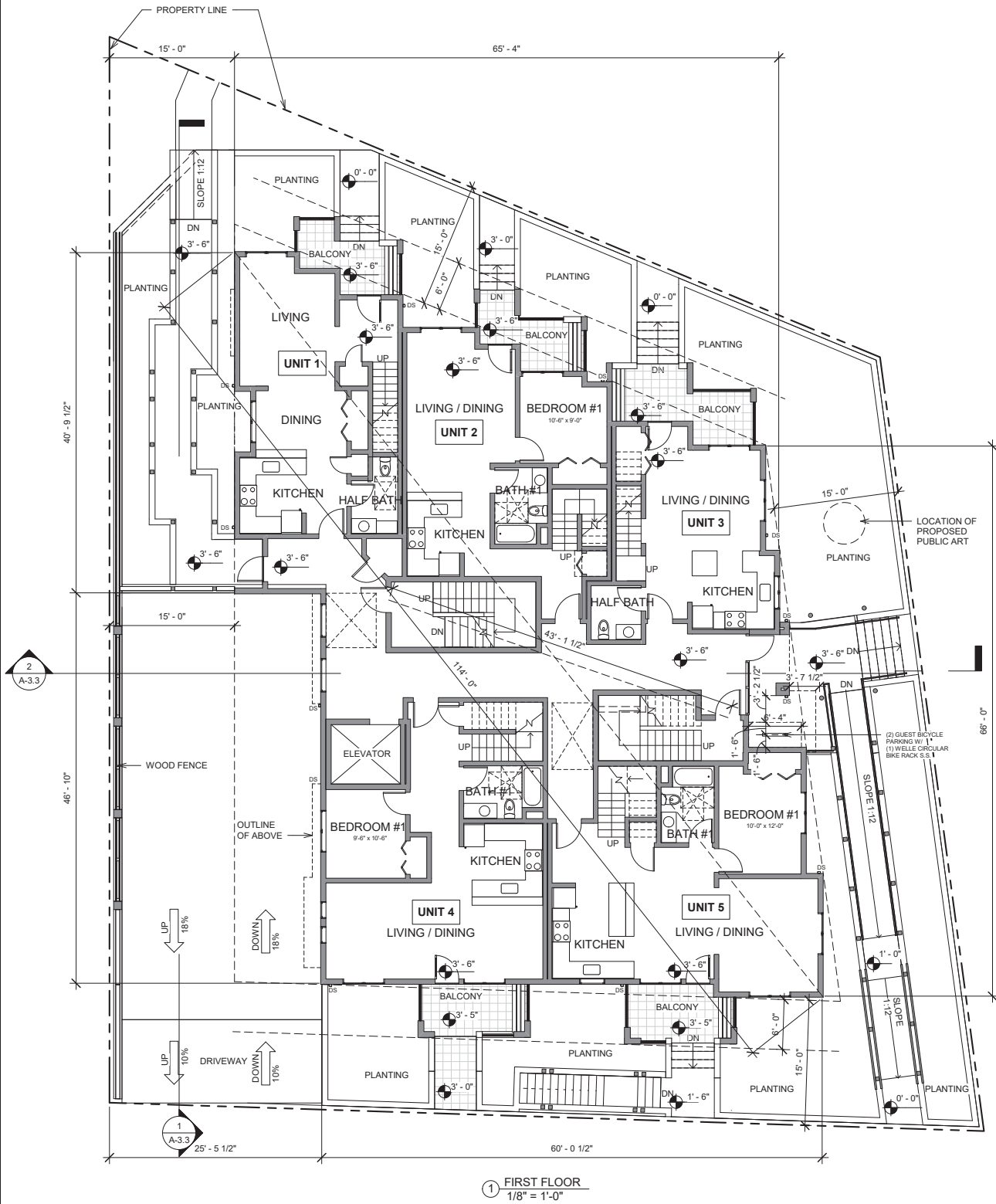
ST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU
4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

SITE PLAN

**PLANNING
APPLICATION**

DATE
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Revision Schedule		
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SCALE		
1/8" = 1'-0"		
DRAWN		
MK		
JOB NO.		
14555		
SHEET		
A-1.1		
OF		SHEETS



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WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU

4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

1ST & 2ND FLOOR
PLANS

PLANNING
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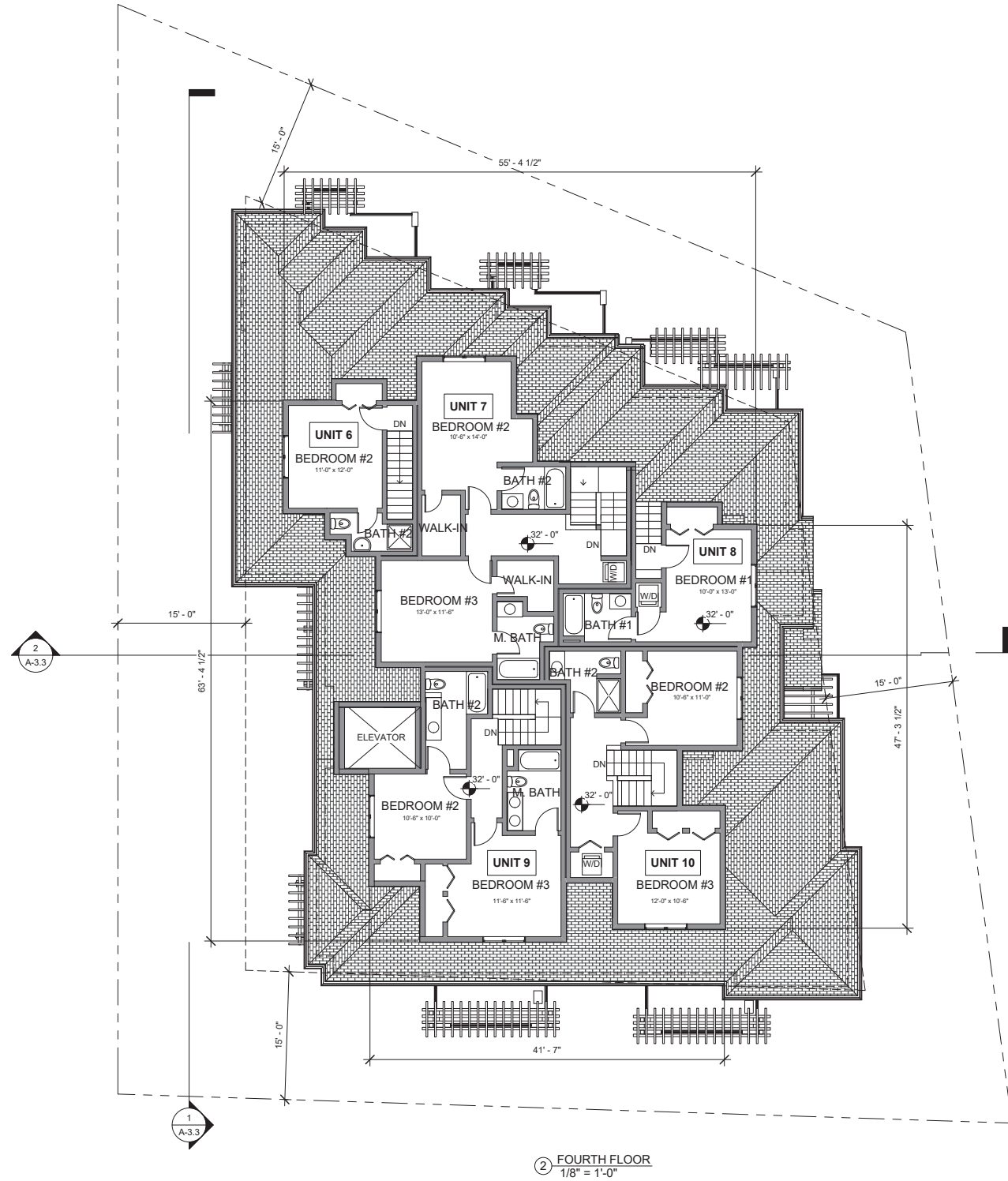
SHEET

A-2.1

OF SHEETS



① THIRD FLOOR
1/8" = 1'-0"



② FOURTH FLOOR
1/8" = 1'-0"



PROJECT NORTH



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WEST SANTA INEZ CONDOMINIUMS
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4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

3RD & 4TH FLOOR
PLANS

PLANNING
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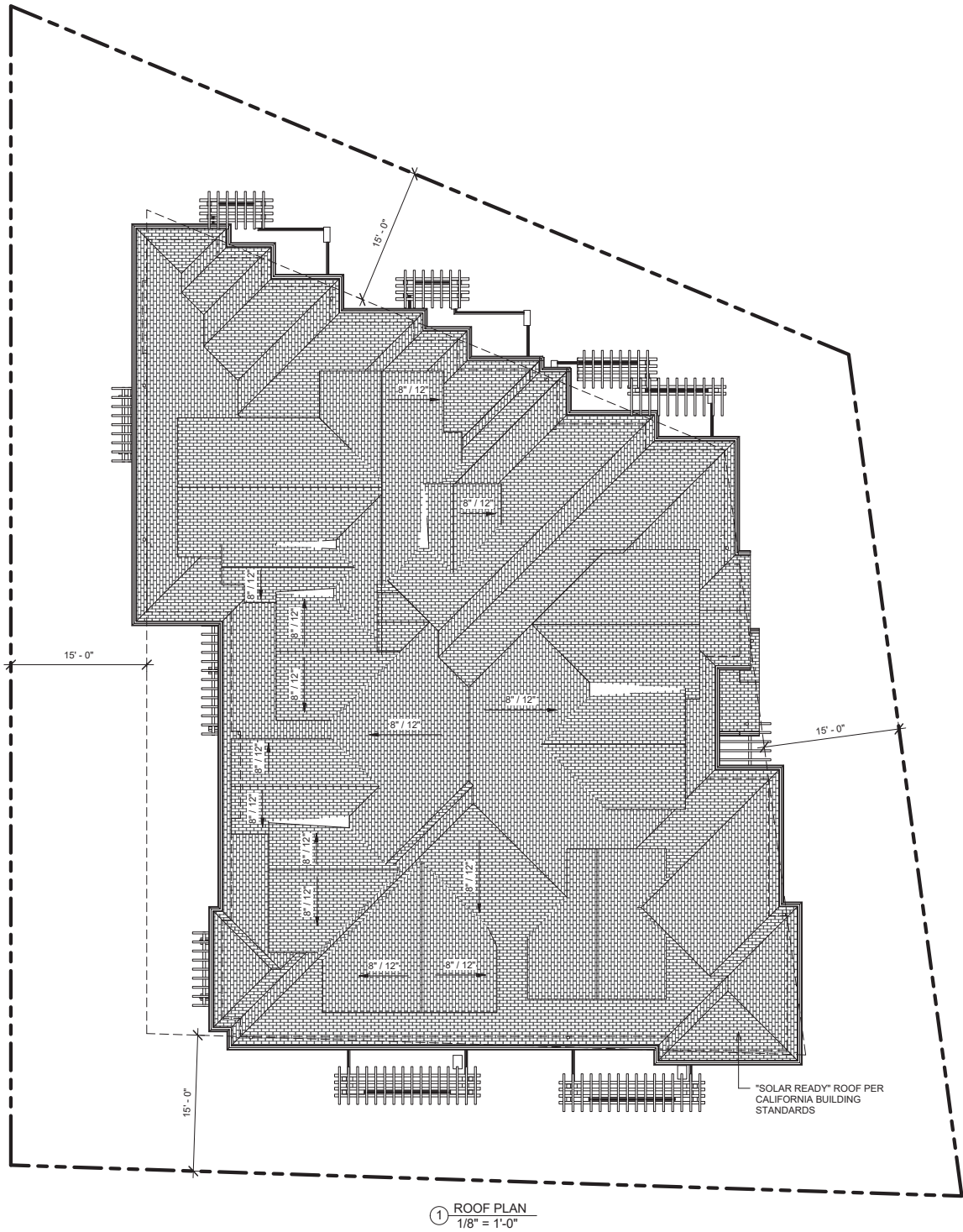
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MK

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SHEET

A-2.2

OF SHEETS



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WEST SANTA INEZ CONDOMINIUMS
TONY GUNDOGDU
4 WEST SANTA INEZ & 1 ENGLE ROAD
SAN MATEO, CA

ROOF PLAN

PLANNING
APPLICATION

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SCALE
1/8" = 1'-0"

DRAWN
MK

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14555

SHEET

A-2.3

OF SHEETS

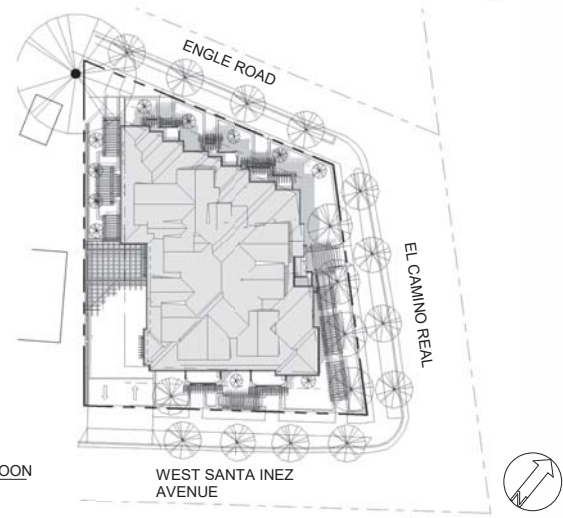
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Condominiums\05-Planning\West Santa Inez DD14.rvt

④ SITE / PLOT PLAN 9 AM
1/32" = 1'-0"



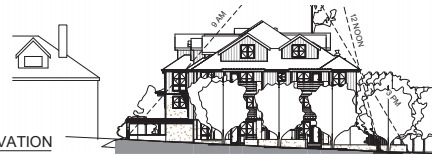
③ SITE / PLOT PLAN 12 NOON
1/32" = 1'-0"



② SITE / PLOT PLAN 3 PM
1/32" = 1'-0"

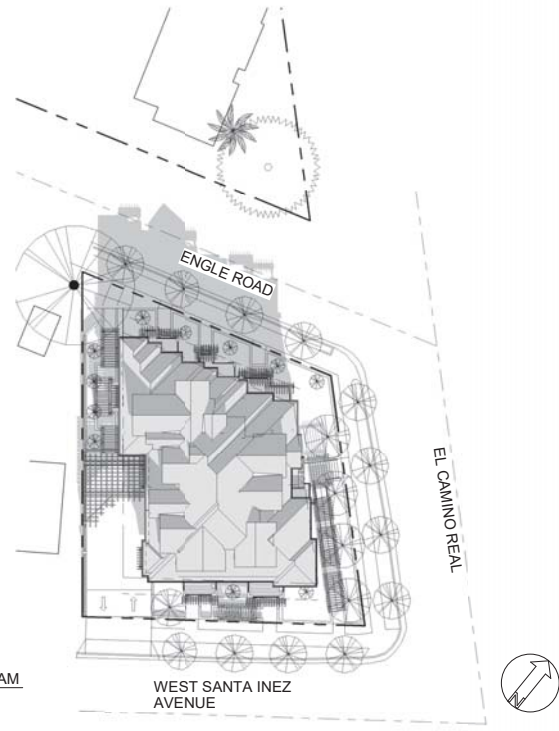


① SANTA INEZ ELEVATION
1/32" = 1'-0"

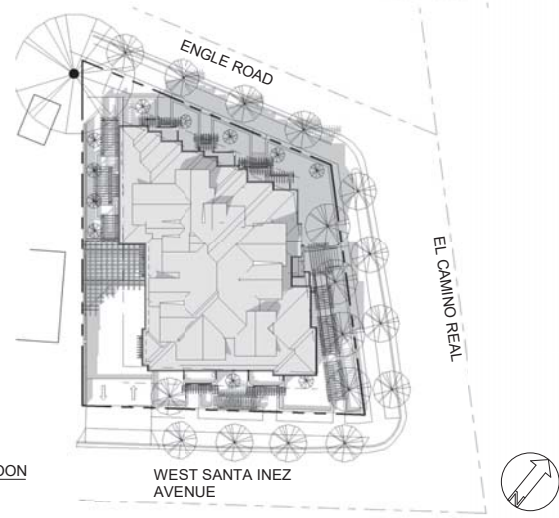


JUNE 21st
SUMMER SOLSTICE

⑧ SITE / PLOT PLAN 9 AM
1/32" = 1'-0"



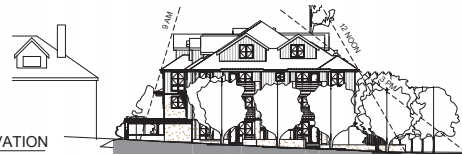
⑦ SITE / PLOT PLAN 12 NOON
1/32" = 1'-0"



⑥ SITE / PLOT PLAN 3 PM
1/32" = 1'-0"

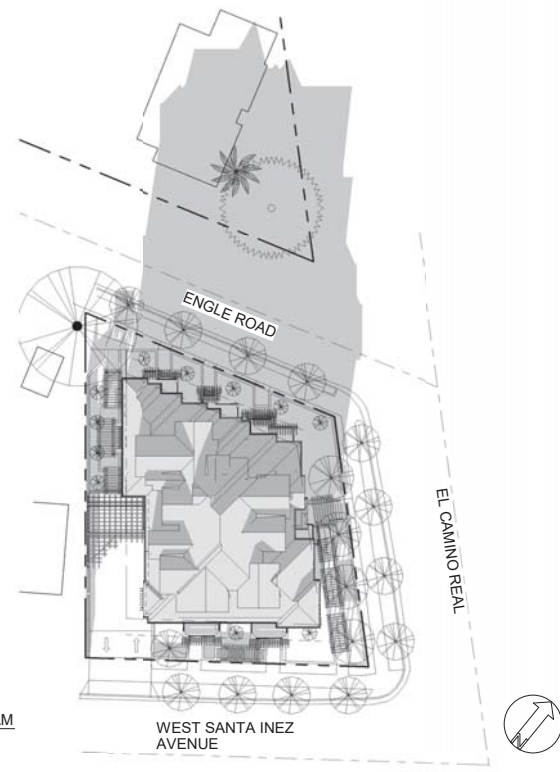


⑤ SANTA INEZ ELEVATION
1/32" = 1'-0"

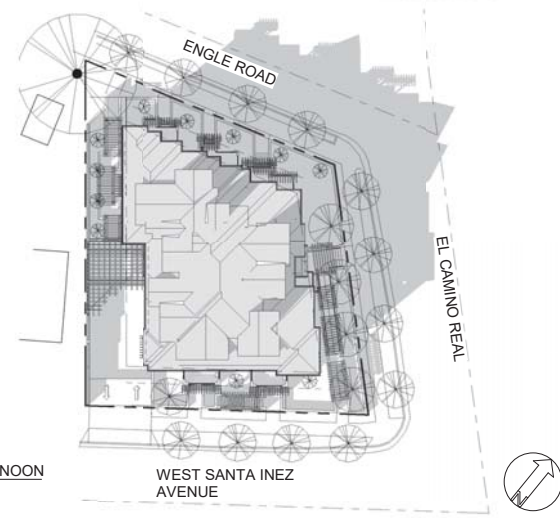


SEPTEMBER 21st & MARCH 21st
FALL / SPRING EQUINOX

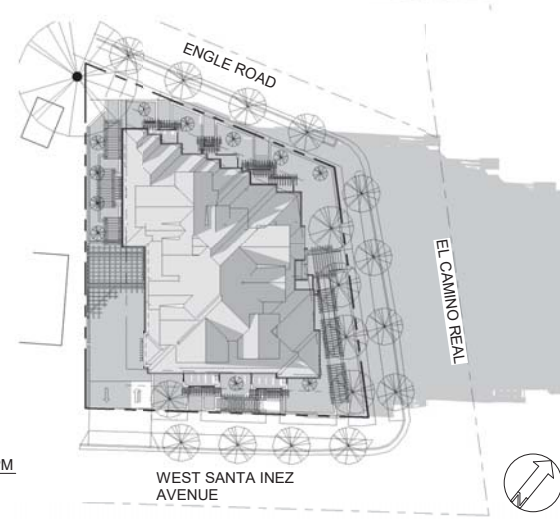
⑫ SITE / PLOT PLAN 9 AM
1/32" = 1'-0"



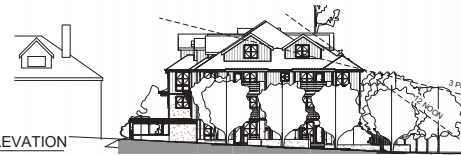
⑪ SITE / PLOT PLAN 12 NOON
1/32" = 1'-0"



⑩ SITE / PLOT PLAN 3 PM
1/32" = 1'-0"



⑨ SANTA INEZ ELEVATION
1/32" = 1'-0"



DECEMBER 21st
WINTER SOLSTICE



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WEST SANTA INEZ CONDOMINIUMS

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SAN MATEO, CA

SHADOW STUDY

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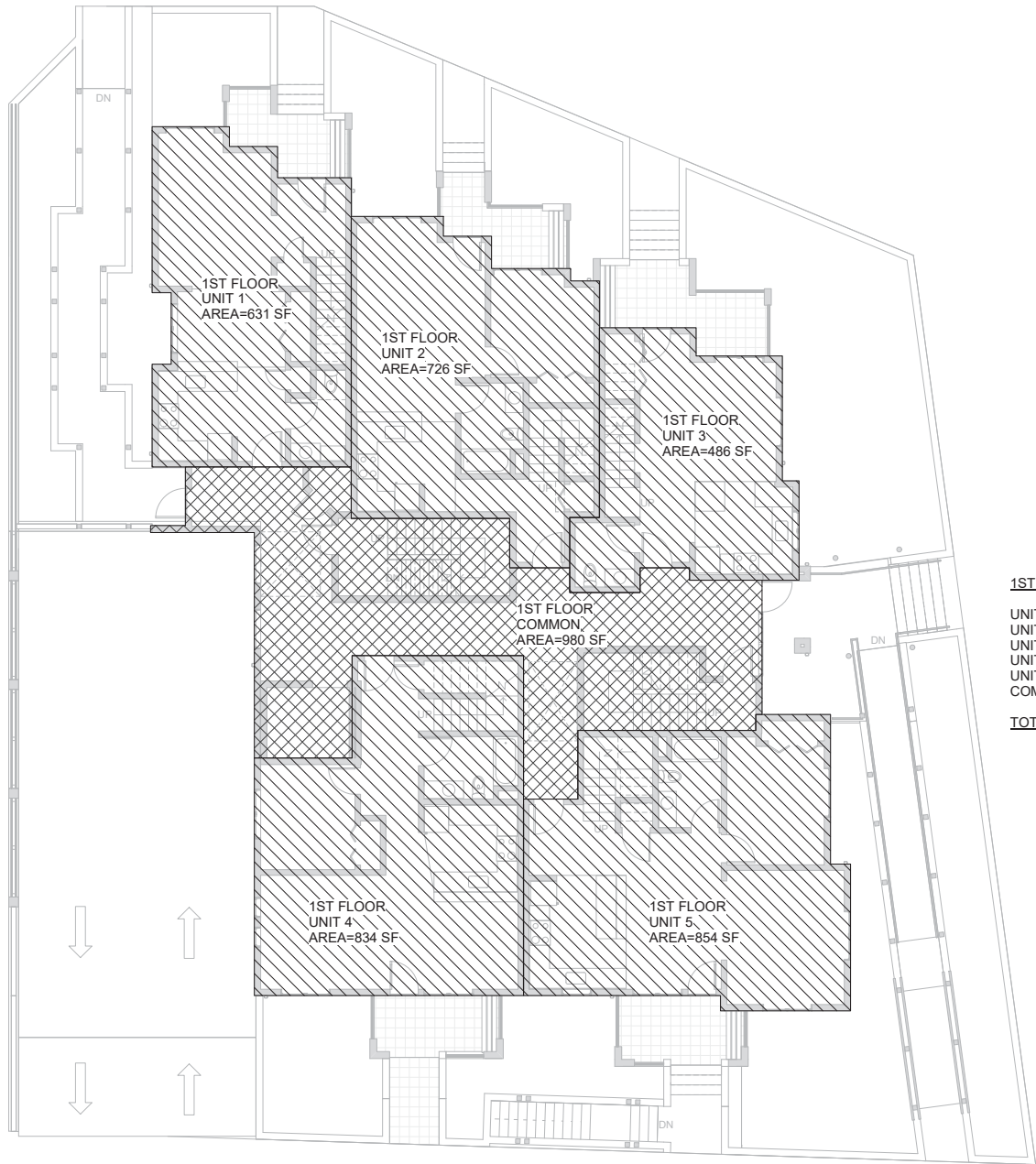
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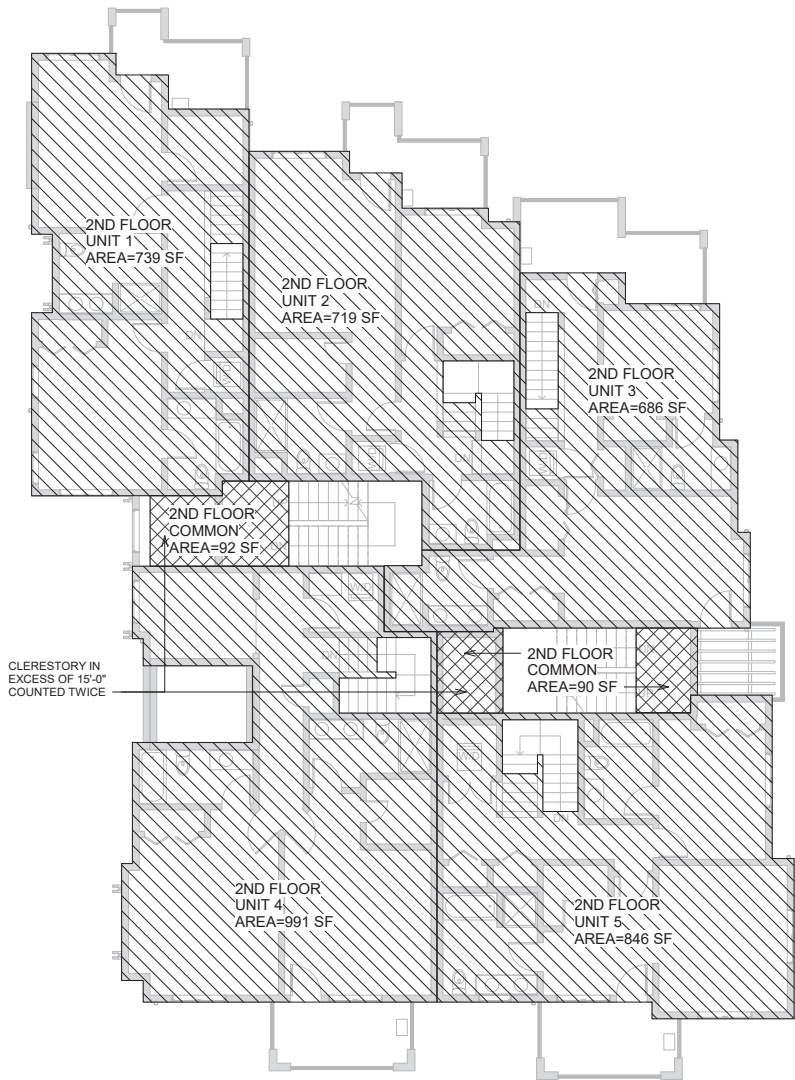
SHEET

A-2.4

OF SHEETS



① 1ST FLOOR
1/8" = 1'-0"



② 2ND FLOOR
1/8" = 1'-0"



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1ST & 2ND FLOOR
AREA DIAGRAMS

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1/8" = 1'-0"

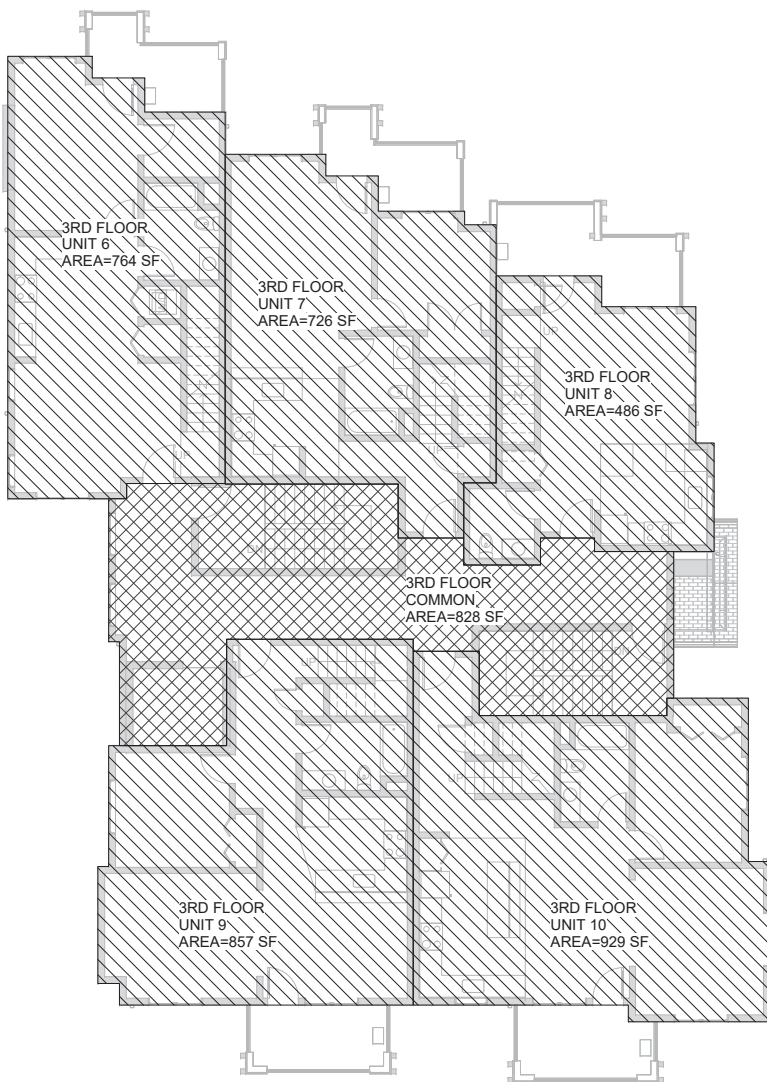
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SHEET

A-2.5

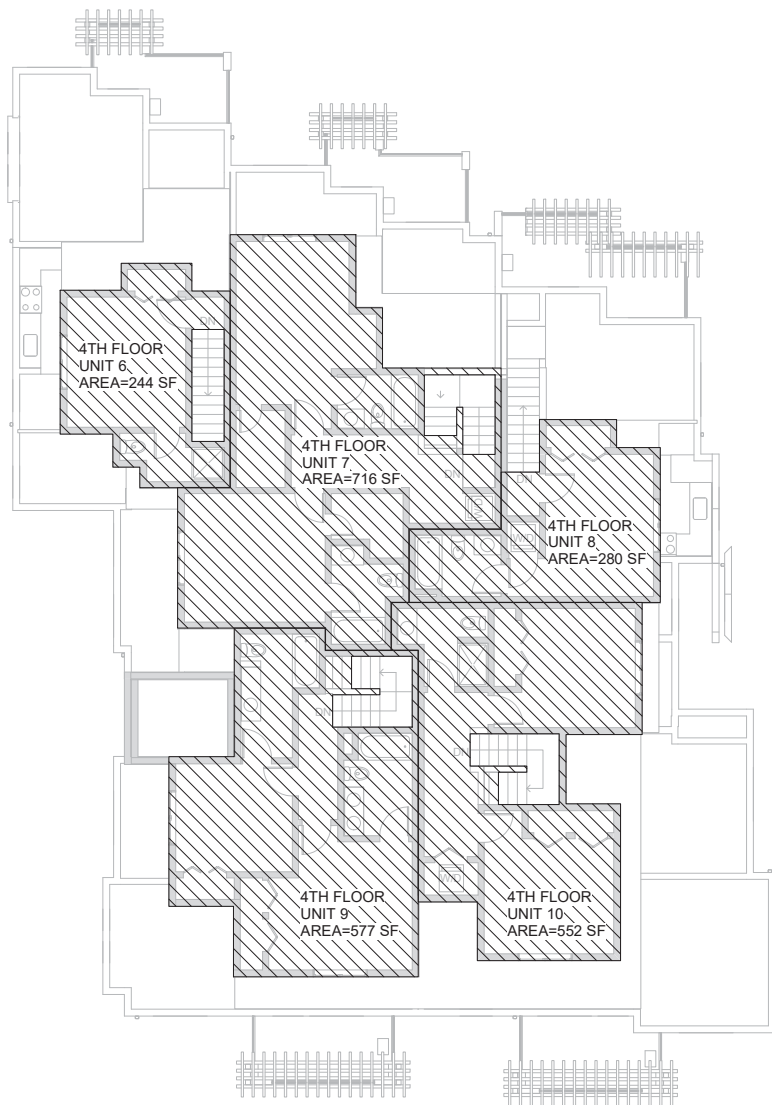
OF SHEETS



① 3RD FLOOR
1/8" = 1'-0"

3RD FLOOR AREA CALCULATIONS:

UNIT 6	= 764 SF
UNIT 7	= 726 SF
UNIT 8	= 486 SF
UNIT 9	= 857 SF
UNIT 10	= 929 SF
COMMON AREA	= 828 SF
TOTAL	= 4590 SF



② 4TH FLOOR
1/8" = 1'-0"

4TH FLOOR AREA CALCULATIONS:

UNIT 6	= 244 SF
UNIT 7	= 716 SF
UNIT 8	= 280 SF
UNIT 9	= 577 SF
UNIT 10	= 552 SF
TOTAL	= 2369 SF



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3RD & 4TH FLOOR
AREA DIAGRAMS

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Author

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A-2.6

OF SHEETS



① SOUTH (SANTA INEZ) ELEVATION
1/8" = 1'-0"



② NORTH (ENGLE) ELEVATION
1/8" = 1'-0"



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WEST SANTA INEZ CONDOMINIUMS

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4 WEST SANTA INEZ & 1 ENGLE ROAD
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SOUTH & NORTH
ELEVATIONS

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SHEETS



① EAST (EL CAMINO REAL) ELEVATION
1/8" = 1'-0"



② WEST (SIDE) ELEVATION
1/8" = 1'-0"



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EAST & WEST
ELEVATION

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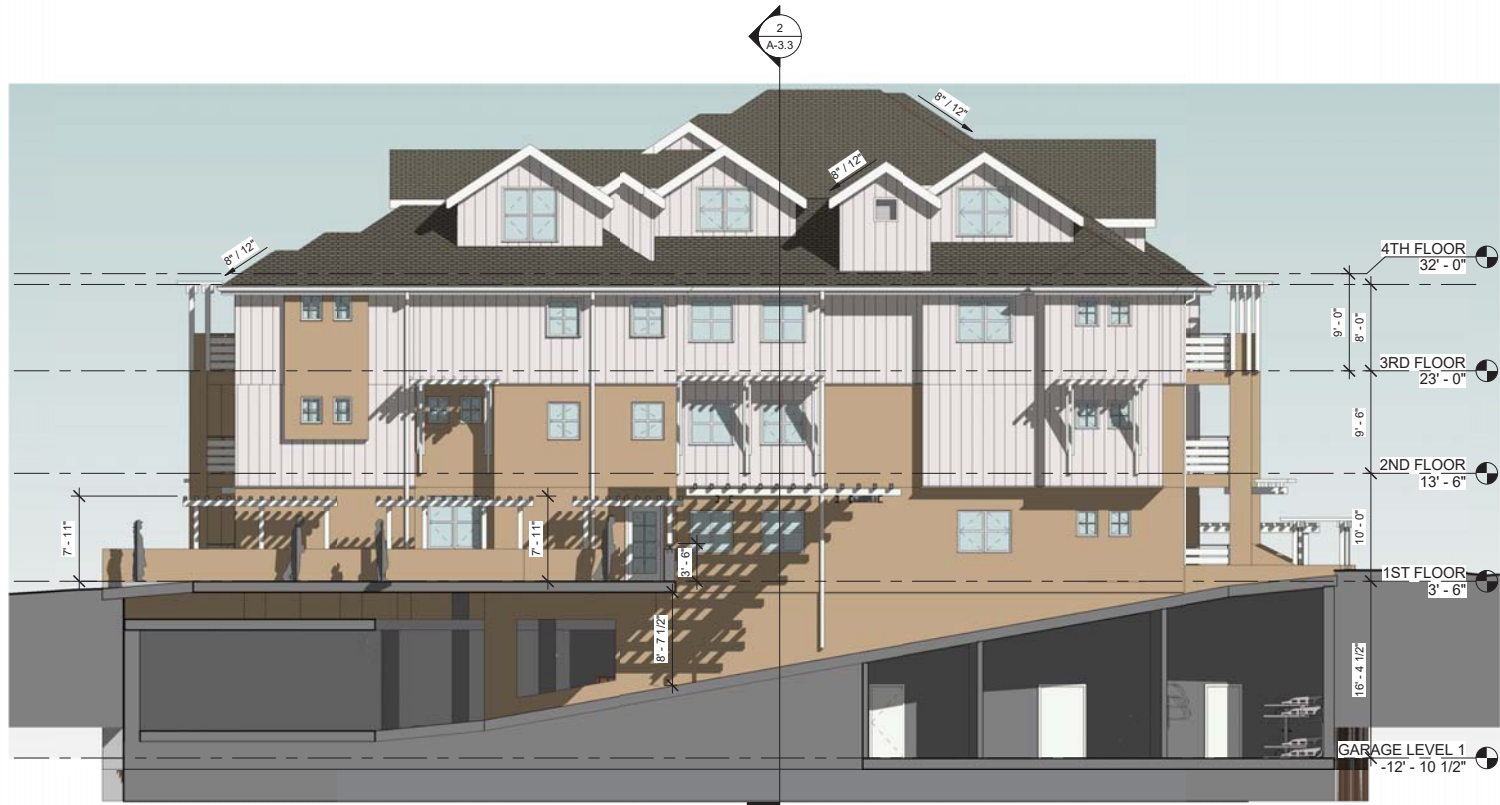
SHEET

A-3.2

OF SHEETS



② Section 2
1/8" = 1'-0"



① Section 1
1/8" = 1'-0"



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WEST SANTA INEZ CONDOMINIUMS

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SAN MATEO, CA

SECTIONS

PLANNING
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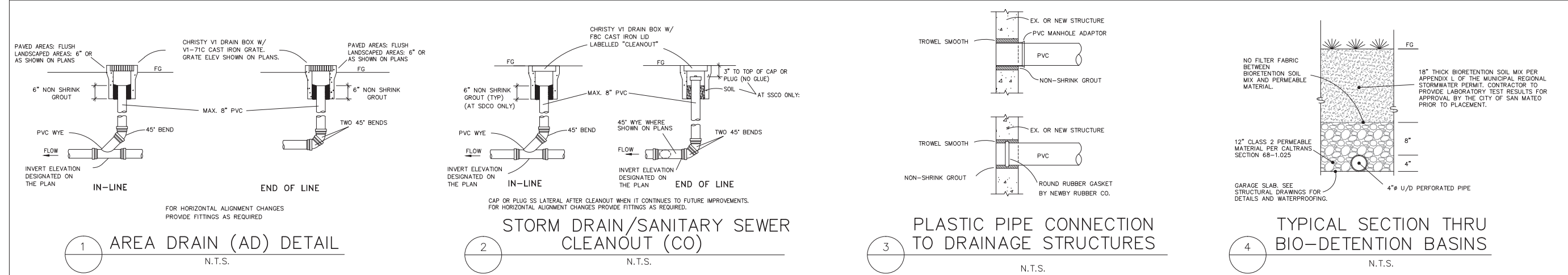
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SHEET

A-3.3

OF

SHEETS



BOHLEY CONSULTING
3150 ALAMADEN EXPRESSWAY, SUITE 150
SAN JOSE, CA 95118
(408) 265-1600 • FAX (408) 265-1604

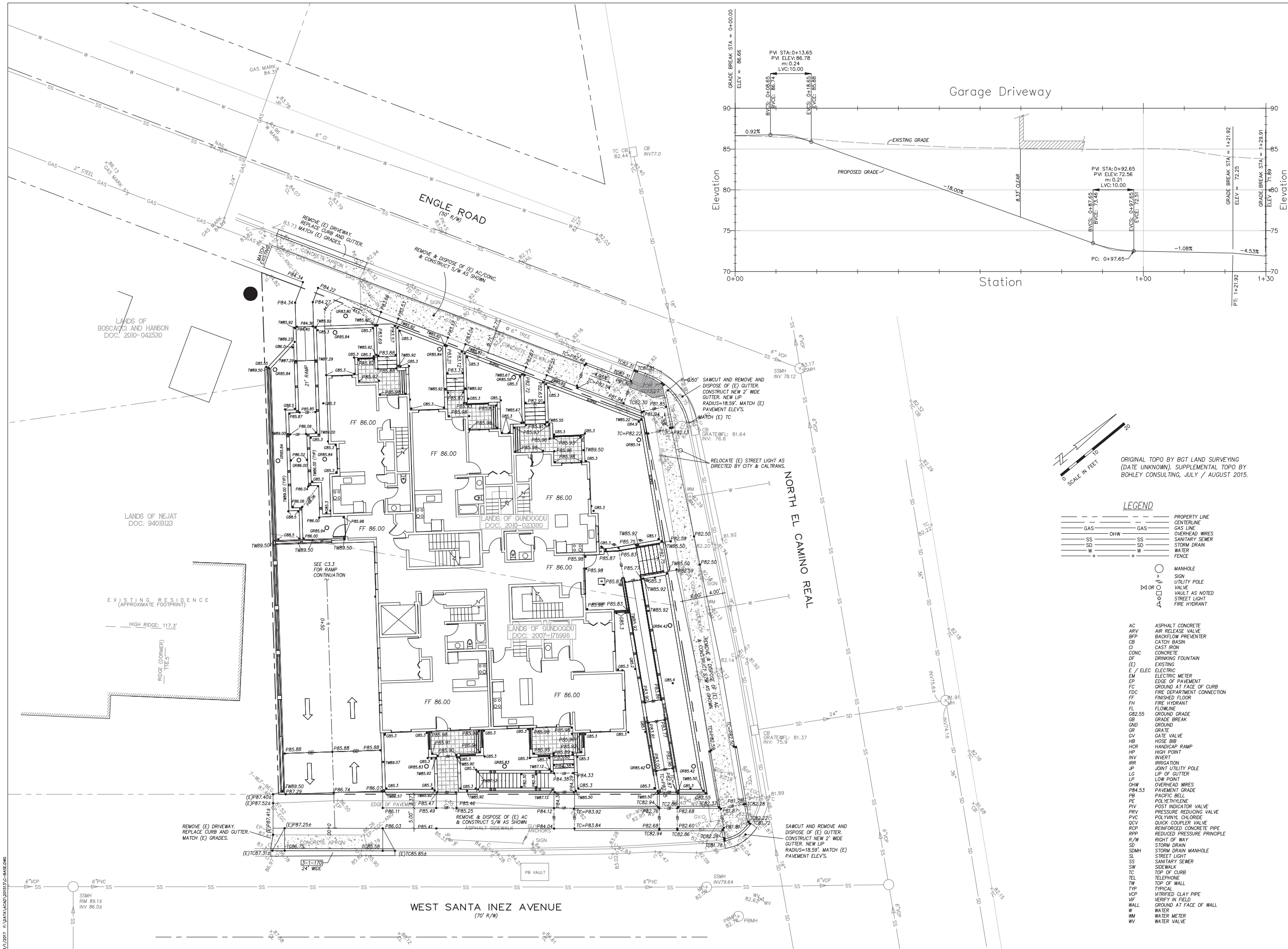
WEST SANTA INEZ CONDOS

1 ENGLE ROAD
SAN MATEO, CA

Scale	NONE
Drawing	C-DETAILS.dwg
Job No	201513
Date	Description
12/10/15	PLANNING SUBMITTAL
8/24/15	REVISED SUBMITTAL
3/01/17	REVISED SUBMITTAL



DETAILS



BOHLEY CONSULTING
3150 ALMADEN EXPRESSWAY, SUITE 150
SAN JOSE, CA 95118
(408) 265-1600 • FAX (408) 265-1604

WEST SANTA INEZ CONDOS

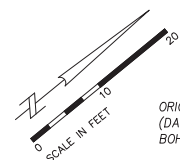
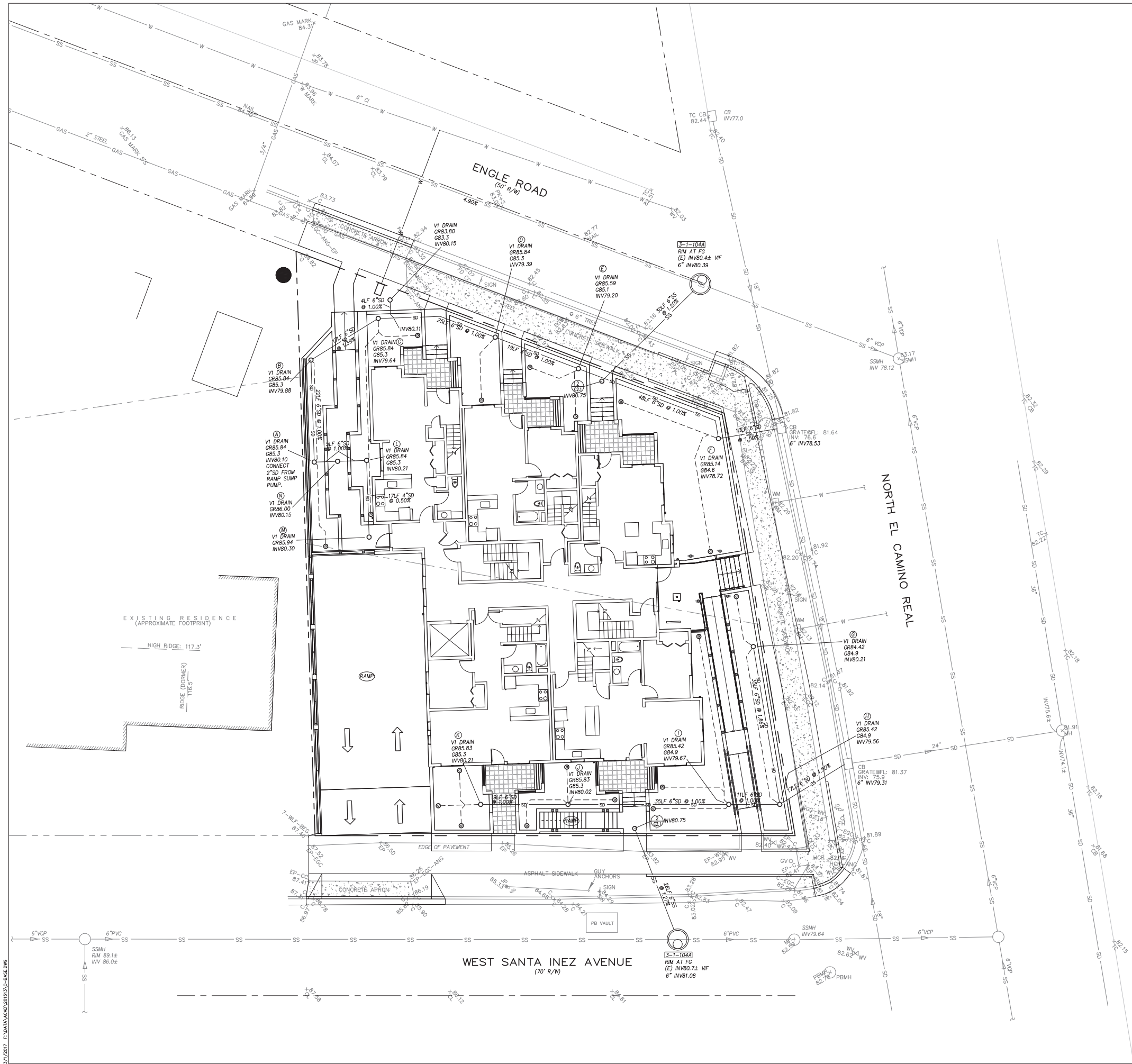
1 ENGLE ROAD
SAN MATEO, CA

Scale	1"=10'
Drawing	C-BASE.dwg
Job No	201513
Date	Description
12/10/15	PLANNING SUBMITTAL
8/24/15	REVISED SUBMITTAL
3/01/17	REVISED SUBMITTAL



GROUND FLOOR GRADING PLAN

C3.1



ORIGINAL TOPO BY BGT LAND SURVEYING
(DATE UNKNOWN). SUPPLEMENTAL TOPO BY
BOHLEY CONSULTING, JULY / AUGUST 2015.

LEGEND

- | | |
|-----|----------------|
| --- | PROPERTY LINE |
| --- | CENTERLINE |
| --- | GAS LINE |
| --- | OHW |
| --- | SS |
| --- | SD |
| --- | W |
| --- | FENCE |
| ○ | MANHOLE |
| + | SIGN |
| ⊕ | UTILITY POLE |
| ⊕ | VALVE |
| ⊕ | VAULT AS NOTED |
| ⊕ | STREET LIGHT |
| ⊕ | FIRE HYDRANT |

- | | |
|-------------|----------------------------|
| AC | ASPHALT CONCRETE |
| ARV | AIR RELEASE VALVE |
| BFP | BACKFLOW PREVENTER |
| CB | CATCH BASIN |
| CI | CAST IRON |
| CONC | CONCRETE |
| DF | DRINKING FOUNTAIN |
| (E) | EXISTING |
| E / ELEC | ELECTRIC |
| EM | ELECTRIC METER |
| EP | EDGE OF PAVEMENT |
| FC | GROUND AT FACE OF CURB |
| FDC | FIRE DEPARTMENT CONNECTION |
| FF | FINISHED FLOOR |
| FH | FIRE HYDRANT |
| FL | FLOWLINE |
| GB2.55 | GROUND GRADE |
| GB | GRADE BREAK |
| GND | GROUND |
| GR | GRATE |
| GV | GATE VALVE |
| HB | HOSE BIB |
| HCR | HANDICAP RAMP |
| HP | HIGH POINT |
| INV | INVERT |
| IRR | IRRIGATION |
| JUP | JOINT UTILITY POLE |
| LG | LIP OF GUTTER |
| LP | LOW POINT |
| OHW | OVERHEAD WIRES |
| P84.53 | PAVEMENT GRADE |
| PB | PACIFIC BELL |
| PE | POLYETHYLENE |
| PIV | POST INDICATOR VALVE |
| PRV | PRESSURE REDUCING VALVE |
| PVC | POLYVINYL CHLORIDE |
| OCV | QUICK COUPLER VALVE |
| RCV | REINFORCED CONCRETE PIPE |
| RPP | REDUCED PRESSURE PRINCIPLE |
| R/W | RIGHT OF WAY |
| SD | STORM DRAIN |
| SDMH | STORM DRAIN MANHOLE |
| SL | STREET LIGHT |
| SS | SANITARY SEWER |
| SW | SIDEWALK |
| TC | TOP OF CURB |
| TEL | TELEPHONE |
| TW | TOP OF WALL |
| TYP | TYPICAL |
| VCP | VITRIFIED CLAY PIPE |
| VF | VERIFY IN FIELD |
| W | GROUND AT FACE OF WALL |
| WM | WATER METER |
| WV | WATER VALVE |
| U/D | UNDERDRAIN |
| DOWNSPOUT | DOWNSPOUT |
| V1 DRAINBOX | V1 DRAINBOX |

BOHLEY CONSULTING
3150 ALMADEN EXPRESSWAY, SUITE 150
SAN JOSE, CA 95118
(408) 265-1600 • FAX (408) 265-1604

WEST SANTA INEZ CONDOS

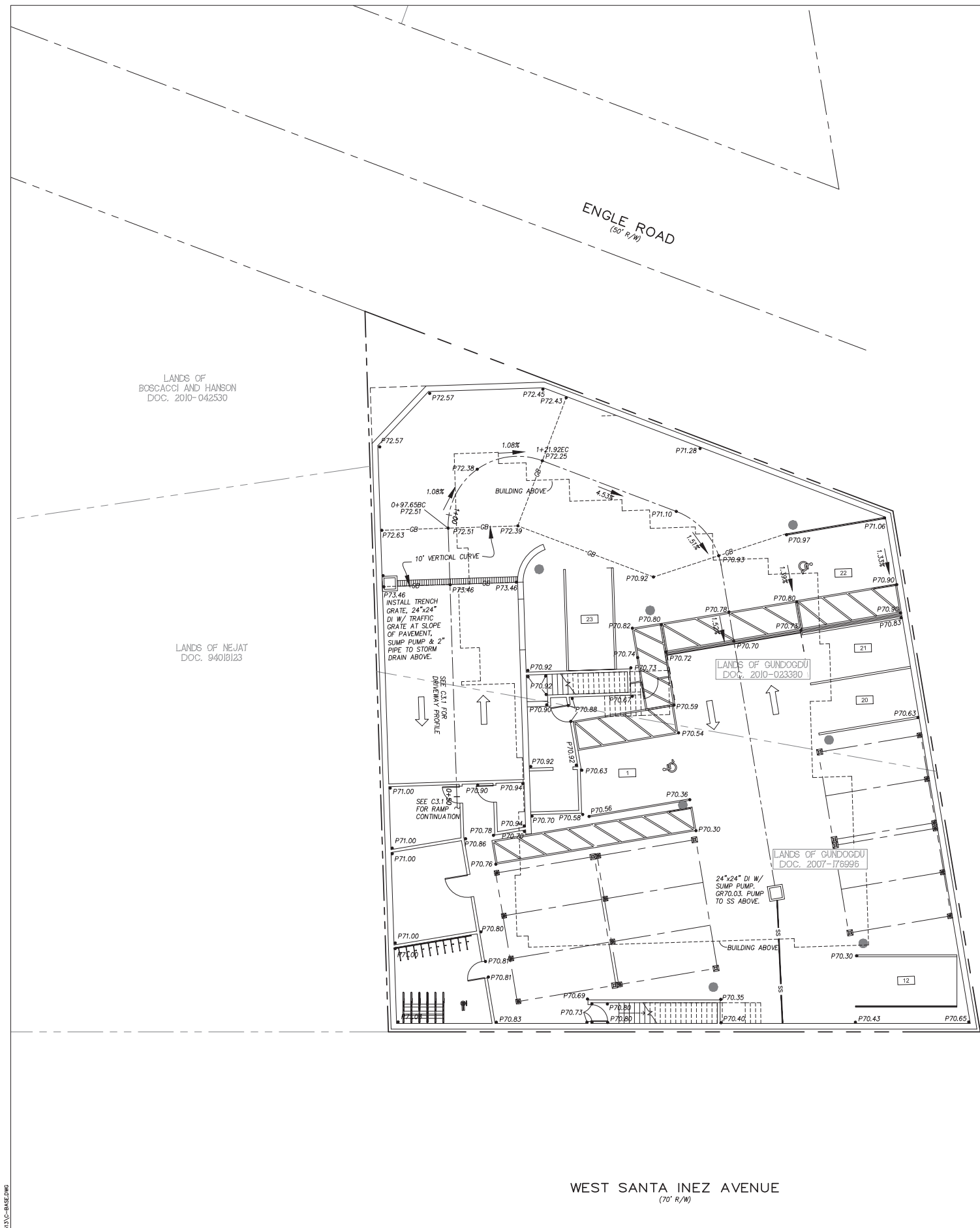
1 ENGLE ROAD
SAN MATEO, CA

Scale	1"=10'
Drawing	C-BASE.dwg
Job No	201513
Date	Description
12/10/15	PLANNING SUBMITTAL
8/24/15	REVISED SUBMITTAL
3/01/17	REVISED SUBMITTAL



GROUND FLOOR
UTILITY PLAN

C3.2



F:\DATA\ACAD\201513\C-BASE.DWG

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WEST SANTA INEZ CONDOS

1 ENGLE ROAD
SAN MATEO, CA

Scale 1"=10'

Drawing C-BASE.dwg

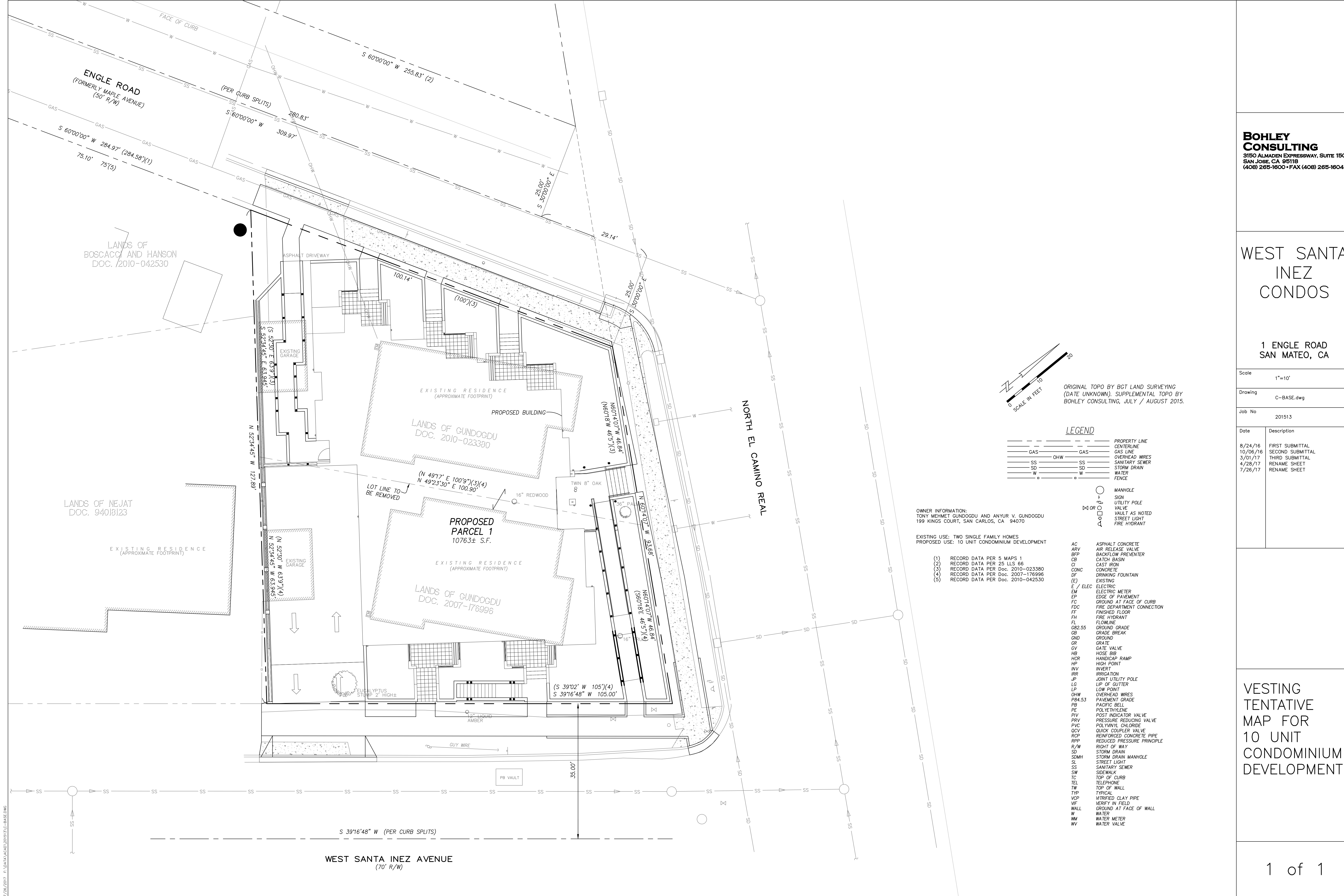
Job No 201513

Date	Description
12/10/15	PLANNING SUBMITTAL
8/24/15	REVISED SUBMITTAL
3/01/17	REVISED SUBMITTAL



GARAGE GRADING AND UTILITY PLAN

C3.3



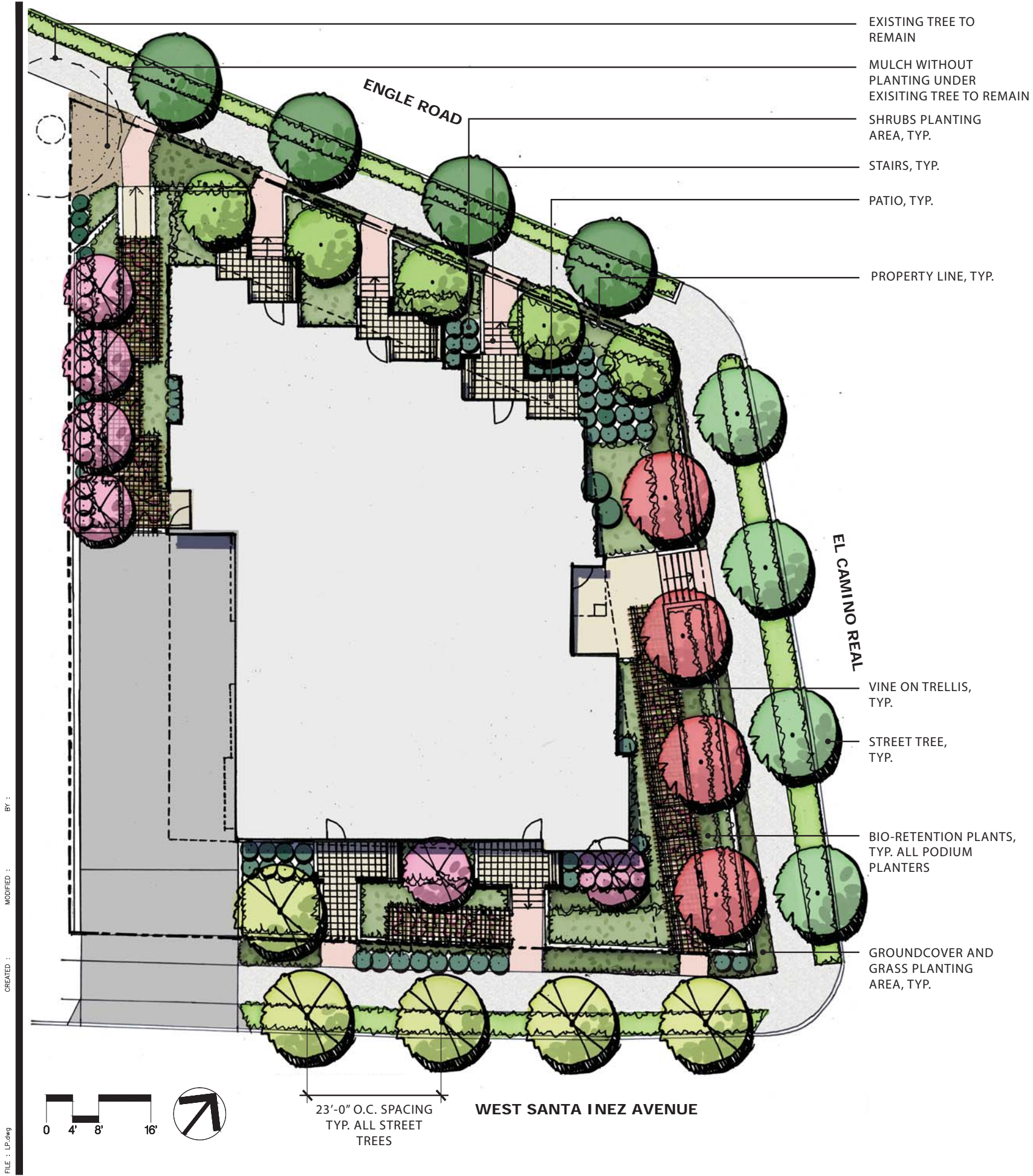
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SAN JOSE, CA 95118
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WEST SANTA INEZ CONDOS

1 ENGLE ROAD
SAN MATEO, CA

Scale	1"=10'
Drawing	C-BASE.dwg
Job No	201513
Date	Description
8/24/16	FIRST SUBMITTAL
10/06/16	SECOND SUBMITTAL
3/01/17	THIRD SUBMITTAL
4/28/17	RENAME SHEET
7/26/17	RENAME SHEET

VESTING TENTATIVE MAP FOR 10 UNIT CONDOMINIUM DEVELOPMENT



- EXISTING TREE TO REMAIN
- MULCH WITHOUT PLANTING UNDER EXISTING TREE TO REMAIN
- SHRUBS PLANTING AREA, TYP.
- STAIRS, TYP.
- PATIO, TYP.
- PROPERTY LINE, TYP.

EL CAMINO REAL

- VINE ON TRELLIS, TYP.
- STREET TREE, TYP.
- BIO-RETENTION PLANTS, TYP. ALL PODIUM PLANTERS
- GROUNDCOVER AND GRASS PLANTING AREA, TYP.

PLANT LIST

Scientific Name	Common Name	Water Use	Size	Spacing	Quantity
Trees					
*Acer circinatum or Eriobotrya deflexa	Vine Maple Bronze Loquat	Moderate Moderate	See note #4 See note #4	As shown As shown	6
Acer platanoides 'Crimson King'	Red Norway Maple	Moderate	See note #4	As shown	4
Crataegus laevigata	English Hawthorn	Moderate	See note #4	As shown	4
Ginkgo biloba 'Princeton Sentry'	Maidenhair Tree	Moderate	See note #4	As shown	5
Lagerstroemia indica or Tristania laurina 'Elegant'	Crape Myrtle Elegant Water Gum	Low Moderate	See note #4 See note #4	As shown As shown	5
Ulmus propinqua 'Accolade'	Accolade Elm	Low	See note #4	As shown	4
Total Trees					28

Shrubs					
Alyogyne huegelii	Blue Hibiscus	Low	5 Gallon	5'-0" O.C.	
Grevillea rosmarinifolia	Rosemary Grevillea	Low	5 Gallon	4'-0" O.C.	
Phormium 'Yellow Wave'	New Zealand Flax	Low	5 Gallon	4'-0" O.C.	
*Salvia clevelandii 'Winifred Gilman'	Blue Sage	Low	1 Gallon	3'-0" O.C.	
Westringia fruticosa 'Wynyabbie Gem'	Coast Rosemary	Low	5 Gallon	5'-0" O.C.	

Groundcovers And Grasses					
Carex tumulicola	Berkeley sedge	Low	1 Gallon	2'-0" O.C.	
Dianella revoluta	Black Anther Flax Lily	Moderate	1 Gallon	1'-6" O.C.	
Genista lydia	Lydia Broom	Moderate	1 Gallon	2'-6" O.C.	
Lantana camara 'Yellow Trailing'	Yellow Spreading Lantana	Low	1 Gallon	3'-0" O.C.	
*Juncus patens	California Gray Rush	Low	1 Gallon	2'-0" O.C.	
*Muhlenbergia rigens	Deer Grass	Low	1 Gallon	3'-0" O.C.	
*Zauschneria californica	California Fuchsia	Low	1 Gallon	2'-0" O.C.	

Vines					
Gelsemium sempervirens	Carolina Jessamine	Low	5 Gallon	As shown	
Wisteria sinensis 'Cooke's Purple'	Purple Chinese Wisteria	Moderate	5 Gallon	As shown	
Distictis buccinatoria	Red Trumpet Vine	Moderate	5 Gallon	As shown	

LANDSCAPE NOTES

- The irrigation system shall be designed to meet all requirements of the model water efficient landscape ordinance (mwelo) and all local codes and ordinances. This includes a dedicated water meter and backflow preventer for the irrigation, a smart irrigation controller that utilizes a weather sensor, low volume irrigation, a watering schedule, and valves separated by hydrozone
- Soil amendments shall be added to the soils based on a soils analysis.
- There shall be a plant establishment period of a minimum of 3 months.
- All trees within the property line will be 24" box trees and all street trees will be 36" box trees.

LANDSCAPE AREA CALCULATIONS

Ratio of new trees to be planted per landscape area (planted area in sf): 28 trees/2520 sf or 5 trees/400 sf landscape area (min. 1 tree/400 sf SMMC section 27.71.120(f)1)

Total square footage of all annual areas: 0 sf
Total square footage of all turf areas (including water feature areas): 0 sf

Low water use plants.....80%
Medium water use plants.....20%

Total landscape area.....2520 sf
Total square footage of all ground level patios, decks and plazas:.....3185 sf

* Denotes bio-retention plants



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4 W. SANTA INEZ AVE

SAN MATEO, CA 94401

CA PROJECT # 15042



DATE
June 13, 2017
PRELIMINARY LANDSCAPE PLAN

SCALE
AS SHOWN

DRAWN
AD

JOB NO.
15042

SHEET
L-1.1

OF SHEETS

Trees



Acer circinatum



Crataegus laevigata



Acer platanoides 'Crimson King'



Eriobotrya deflexa



Ginkgo biloba



Tristania laurina 'Elegant'



Lagerstroemia indica



Ulmus propinqua 'Accolade'

Vines



Gelsemium sempervirens



Wisteria sinensis 'Cooke's Purple'



Distictis buccinatoria

Shrubs, Groundcovers And Grasses



Alyogyne huegelii



Carex tumulicola



Lantana camara 'Yellow Trailing'



Grevillea rosmarinifolia



Dianella revoluta



Juncus patens



Phormium 'Yellow Wave'



Muhlenbergia rigens



Salvia clevelandii 'winifred gilman'



Westringia fruticosa 'Wynyabbie Gem'



Genista lydia



Zauschneria californica

FILE : LP.dwg
CREATED :
MODIFIED :
BY :



JOHN
MATTHEWS
ARCHITECTS

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CA PROJECT # 15042



DATE
June 13, 2017
**PLANTING
PALETTE**

SCALE
AS SHOWN

DRAWN
AD

JOB NO.
15042

SHEET

L-1.2

OF SHEETS

TREE PROTECTION PLAN

THE RECOMMENDATIONS PRESENTED ARE INTENDED TO SERVE AS GUIDELINES FOR THE PROTECTION AND PRESERVATION OF THE REDWOOD TREE LOCATED AT 15 ENGLE ROAD (TREE #23), WHICH IS LOCATED ADJACENT TO THE PROPERTY AND CONSIDERED A PROTECTED TREE, AND A ROW OF ITALIAN CYPRESSES LOCATED ON WEST SANTA INEZ AVENUE. FOLLOWING THESE GUIDELINES SHOULD MAXIMIZE THE SURVIVABILITY OF THE TREES.

ARBORIST SERVICES

A CERTIFIED ARBORIST SHALL BE RETAINED DURING CONSTRUCTION TO PROVIDE MONTHLY MONITORING OF THE PROJECT SITE AND HEALTH OF PROTECTED TREES. THE ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR THAT COULD POSE A POTENTIAL THREAT TO THE HEALTH OF PROTECTED TREES, OR WHENEVER ANY WORK NEEDS TO BE DONE WITHIN THE TREE PROTECTION ZONE (TPZ).

TREE PROTECTION ZONE

THE TPZ SHALL BE REGARDED AS THE EXISTING AREA BENEATH THE CANOPY OF A PROTECTED TREE. THE DRIPLINE OF PROTECTED TREES SHALL NOT BE ALTERED IN ANY WAY TO REDUCE THE TPZ. NO GRADING OR TRENCHING IS ALLOWED WITHIN THE TPZ.

TEMPORARY FENCING

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, A SIX FOOT TALL TEMPORARY CHAIN LINK FENCE SHALL BE INSTALLED AROUND THE TPZ OF PROTECTED TREES. THE TEMPORARY FENCE SHALL BE INSTALLED ON BLOCKS AND NOT DRIVEN INTO THE GROUND. THE FENCE MAY BE MOVED DURING CONSTRUCTION, BUT ONLY AS AUTHORIZED BY THE PROJECT ARBORIST. THE APPROXIMATE LOCATION OF THE TEMPORARY FENCE FOR TREE #23 IS INDICATED ON THE TREE PROTECTION PLAN. DO NOT ATTACH WIRES, SIGNS AND ROPES TO ANY PROTECTED TREES.

ROOT PROTECTION

TO MINIMIZE COMPACTION DURING CONSTRUCTION RELATED ACTIVITIES AROUND PROTECTED TREES, A SIX INCH LAYER OF MULCH SHALL BE INSTALLED WITHIN THE TPZ. CARE SHALL BE TAKEN WHEN REMOVING EXISTING PAVEMENT WITHIN THE TPZ TO NOT DISTURB EXISTING ROOTS. IF ANY ROOTS OVER TWO INCHES IN DIAMETER ARE ENCOUNTERED DURING CONSTRUCTION, THE PROJECT ARBORIST SHALL BE ON-SITE TO DOCUMENT EXCAVATION AND DETERMINE IF THE ROOTS CAN BE CUT. ANY ROOTS THAT ARE ENCOUNTERED SHALL BE CUT CLEAN WITH SHARP TOOLS AND COVERED IMMEDIATELY WITH A SIX INCH LAYER OF MULCH OR NATIVE BACKFILL AND THOROUGHLY WATERED.

THE PROJECT ARBORIST IS TO DETERMINE THE IRRIGATION SCHEDULE FOR PROTECTED TREES. THE GENERAL CONTRACTOR IS EXPECTED TO APPLY SUPPLEMENTAL WATER AT THE DIRECTION OF THE PROJECT ARBORIST. THE GENERAL CONTRACTOR SHALL REGULARLY WATER THE MULCH AREA WITHIN THE TPZ AND KEEP THE TREE'S ROOTS MOIST THROUGHOUT CONSTRUCTION. IRRIGATION METHOD MAY BE A DRIP SYSTEM OR SOAKER HOSE AND SHOULD OCCUR 3-4 TIMES PER WEEK. SOIL SHALL BE SATURATED TO A DEPTH OF 18"- 36" PER WATERING. COORDINATE ANY WATERING OF PROTECTED TREES WITH NEIGHBORING PROPERTY OWNERS.

IN ORDER TO DECREASE ROOT DAMAGE FROM THE REQUIRED FOUNDATION EXCAVATION INDICATED ON THE DRAWINGS, THE TRENCH SHOULD BE DUG UNDER THE SUPERVISION OF THE PROJECT ARBORIST. THE EQUIPMENT USED SHALL SCRAPE THE GROUND SLOWLY AND ONLY A FEW INCHES AT TIME. ONCE THE TRENCH IS DUG, ANY DAMAGED ROOTS ARE TO BE PRUNED CLEANLY BY SKILLED LABOR. WHEN COMPLETED, THE PRUNED PORTIONS SHOULD BE COVERED WITH BURLAP OR SIMILAR MATERIAL AND KEPT MOIST UNTIL THE EXCAVATION IS BACKFILLED.

CONSTRUCTION ACTIVITIES WITHIN THE TPZ

STORAGE OF ANY CONSTRUCTION MATERIALS, EQUIPMENT OR OTHER MATERIALS INSIDE THE TPZ IS PROHIBITED. DO NOT DISPOSE OF OIL, GASOLINE, CHEMICALS, PAINTS, SOLVENTS OR OTHER MATERIALS WITHIN THE TPZ, OR IN DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE TPZ.

EXCAVATION, GRADING, SOIL DEPOSIT, DRAINAGE AND LEVELING WITHIN THE TPZ SHALL BE PROHIBITED. UTILITY SERVICE AND IRRIGATION LINES SHALL BE LOCATED OUTSIDE OF THE TPZ. NO TRENCHING FOR IRRIGATION AND/OR UTILITIES SHALL OCCUR WITHIN THE TPZ. THE GENERAL CONTRACTOR SHALL INSTALL 1-INCH-THICK, 4' X 8' PLYWOOD ALONG THE OUTSIDE OF THE TREE PROTECTION FENCING. THE PLYWOOD SHALL BE WELL SECURED FOR REASONS OF SAFETY.

LANDSCAPE DESIGN WITHIN THE TPZ

THE PROPOSED LANDSCAPE DESIGN INSIDE THE TPZ SHALL CONFORM TO THE FOLLOWING ADDITIONAL GUIDELINES:

- 1. INSTALL SIX INCHES OF CLEAN WOOD CHIP MULCH WITHIN THE TPZ OF TREE #23. NO PLANTS ARE TO BE INSTALLED WITHIN THE DRIPLINE OF TREE #23.
- 2.MULCH SHALL NOT BE PLACED DIRECTLY AGAINST THE TRUNK OF PROTECTED TREES.
- 3.GRADING WITHIN THE TPZ SHOULD NOT CHANGE FROM THE EXISTING CONDITION.

TREE PRUNING

PROTECTED TREES ARE NOT EXPECTED TO REQUIRE PRUNING DURING CONSTRUCTION. IF TREE PRUNING IS FOR SOME REASON CONSIDERED DURING CONSTRUCTION, THE PROJECT ARBORIST SHALL BE CONSULTED. NO PRUNING OF PROTECTED TREES SHALL OCCUR UNLESS AGREED UPON BETWEEN THE PROPERTY OWNER AND PROJECT ARBORIST.

TREE DAMAGE

A CITY BUILDING OFFICIAL SHALL BE NOTIFIED WHENEVER ANY DAMAGE OR INJURY OCCURS TO PROTECTED TREES DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED.

PLAN ACCEPTANCE

THE TREE PROTECTION PLAN SHALL CONTAIN THE SIGNATURE OF THE PROPERTY OWNER AND PERMIT APPLICANT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

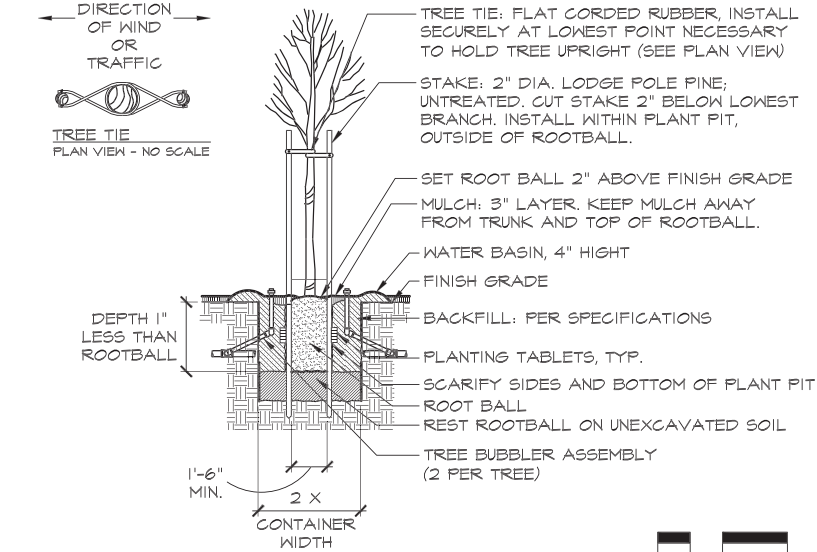
TREE PROTECTION NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE PROJECT ARBORIST IN A TIMELY MANNER TO HAVE THE PROJECT ARBORIST PRESENT FOR ALL WORK PERFORMED WITHIN THE DRIPLINE OF PROTECTED TREES.
 2. THE TREE PROTECTION PLAN IS TO BE INCLUDED AS A DETAIL ON A FULL SIZE SHEET OF THE CONSTRUCTION PLANS.
 3. THE PROJECT ARBORIST IS TO DETERMINE THE CONFIGURATION OF THE TREE PROTECTION FENCING AND OTHER TREE PROTECTION MEASURES.
 4. NO GRADING OR TRENCHING IS ALLOWED WITHIN THE DRIPLINE OF PROTECTED TREES.
 5. NO SELF PROPELLED EQUIPMENT MAY ENTER THE DRIPLINE OF PROTECTED TREES.
 6. THE PROJECT ARBORIST IS TO MONITOR ALL WORK WITHIN THE DRIPLINE OF PROTECTED TREES.
 7. THE PROJECT ARBORIST IS TO DETERMINE THE IRRIGATION SCHEDULE FOR THE PROTECTED TREE. THE GENERAL CONTRACTOR IS EXPECTED TO APPLY SUPPLEMENTAL WATER AT THE DIRECTION OF THE PROJECT ARBORIST.
 8. INITIAL SITE INSPECTION: PRIOR TO THE ISSUANCE OF DEMOLITION PERMITS, THE PROJECT ARBORIST IS TO SUBMIT A LETTER BY EMAIL TO THE CITY PLANNER ASSIGNED TO THIS PROJECT VERIFYING THAT ALL TREE PROTECTION MEASURES ARE PROPERLY IMPLEMENTED AND CLEARANCE PRUNING OF THE TREES HAS BEEN COMPLETED.
- THE MANAGING CITY ARBORIST OR DESIGNEE IS TO CONFIRM THE ARBORIST LETTER IN ORDER TO AUTHORIZE RELEASE OF ANY PERMITS.
9. FUTURE INSPECTIONS: THE PROJECT ARBORIST IS TO COMPLETE INSPECTIONS AT LEAST ON A MONTHLY BASIS DURING THE CONSTRUCTION PERIOD AND IS TO SUBMIT A MONTHLY REPORT OF HIS/ HER FINDINGS IN A LETTER SENT BY FAX OR EMAIL TO THE CITY PLANNER ASSIGNED TO THIS PROJECT.
 10. OTHER INSPECTIONS: ADDITIONAL INSPECTIONS (WEEKLY OR DAILY) WILL BE NECESSARY WHEN IT IS DETERMINED CONSTRUCTION ACTIVITIES MAY IMPACT A PROTECTED TREE. THIS WILL INCLUDE MONITORING PROTECTED TREES DURING DEMOLITION OPERATIONS.
- THE PROJECT ARBORIST IS TO SUBMIT A LETTER BY EMAIL TO THE CITY ARBORIST THAT WILL INCLUDE HIS OBSERVATIONS, FINDINGS AND WHEN NECESSARY RECOMMENDATIONS TO CORRECT DEFICIENCIES.
11. ROOT EXCAVATION: THE REQUIREMENT FOR ROOT EXCAVATION IS TO BE DETERMINED BY THE CONTRACT ARBORIST PRIOR TO ISSUANCE OF PERMITS. TO ASSIST IN THE ARBORIST'S DECISION, CONDUCT A SITE MEETING WITH THE PROJECT ARBORIST, CONTRACT ARBORIST, AND POSSIBLY THE CITY MANAGING ARBORIST, TO PAINT OUT THE PROPOSED OUTLINE FOR THE BUILDING FOUNDATION.

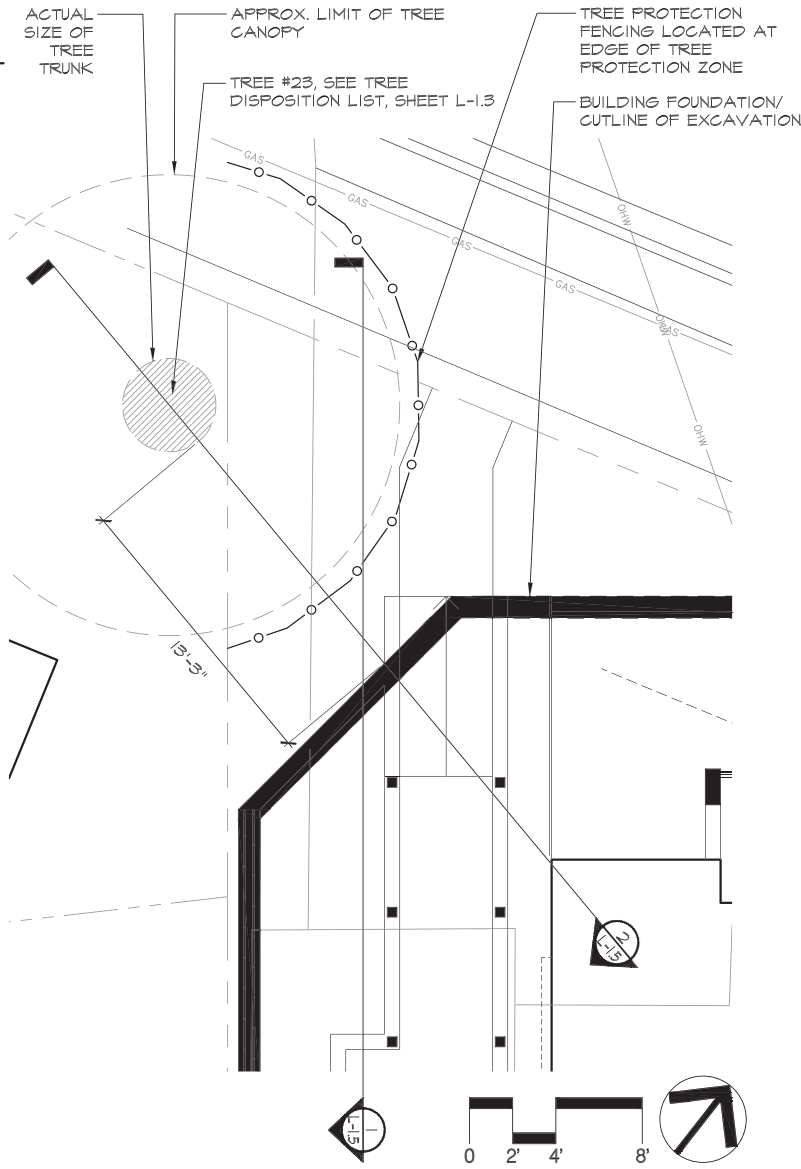
THE PROJECT ARBORIST IS TO SUBMIT A LETTER BY EMAIL TO THE CITY ARBORIST THAT WILL INCLUDE HIS OBSERVATIONS, FINDINGS AND WHEN NECESSARY RECOMMENDATIONS TO CORRECT DEFICIENCIES.

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- NOTES:
1. QUALITY OF THE INSTALLED TREE IS TO ADHERE TO THE STANDARDS SPECIFIED IN ANSI Z60.1 (NURSERY STOCK).
 2. TREE TO BE INSTALLED IN A MANNER THAT ADHERES TO THE STANDARDS SPECIFIED IN ANSI A300 PART 6 (PLANTING AND TRANSPLANTING).

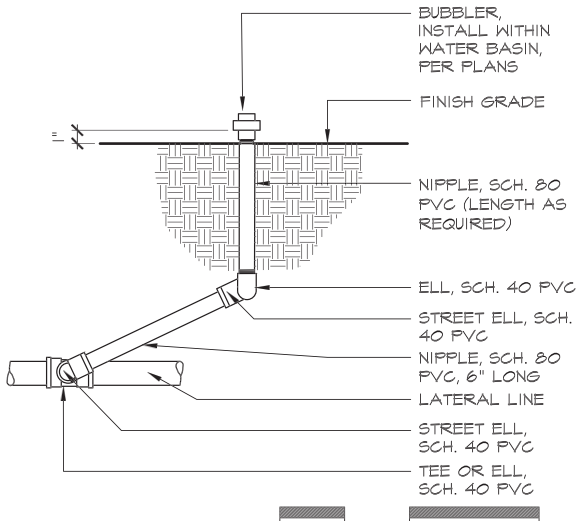


2 STREET TREE PLANTING SECTION



1 TREE PROTECTION ENLARGEMENT PLAN

NOTE: ASSEMBLE ENTIRE UNIT AS TRIPLE SWING JOINT



3 TREE BUBBLER SECTION

BY :
MODIFIED :
CREATED :
FILE : LP.dwg



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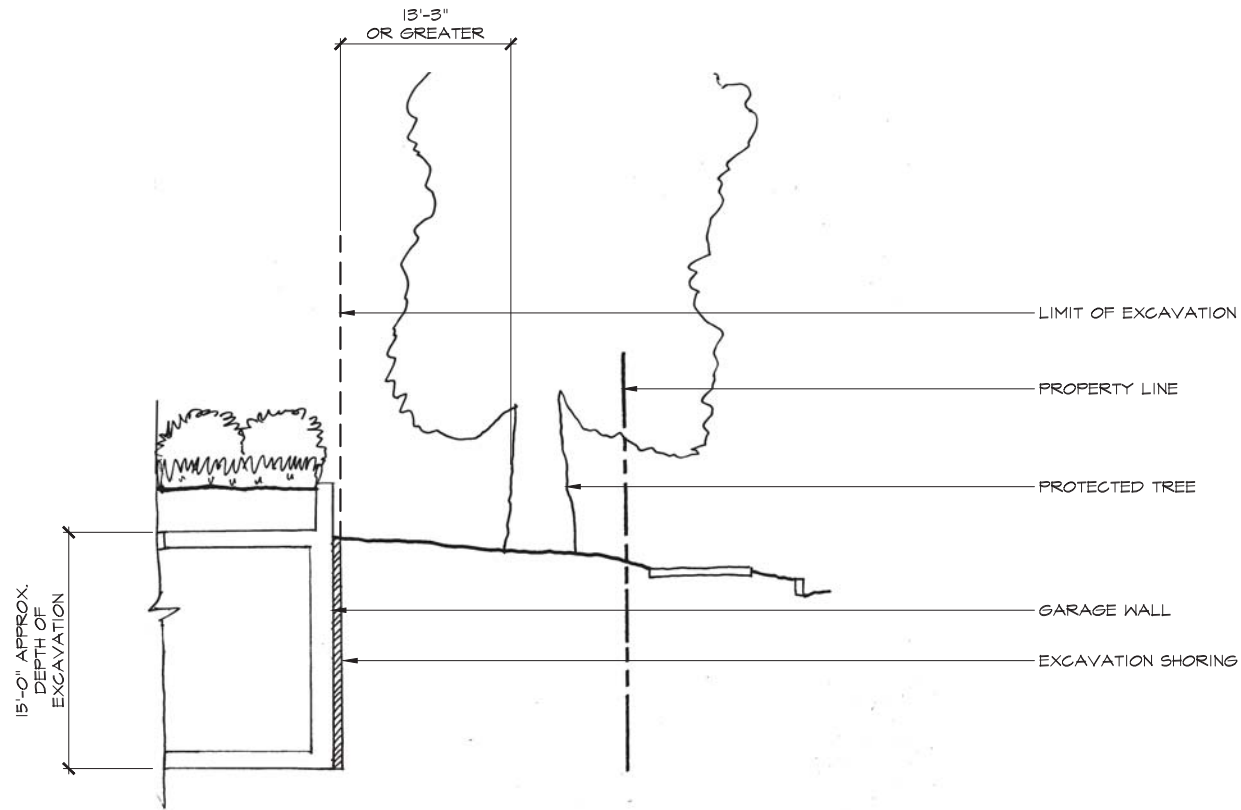
CA PROJECT # 15042



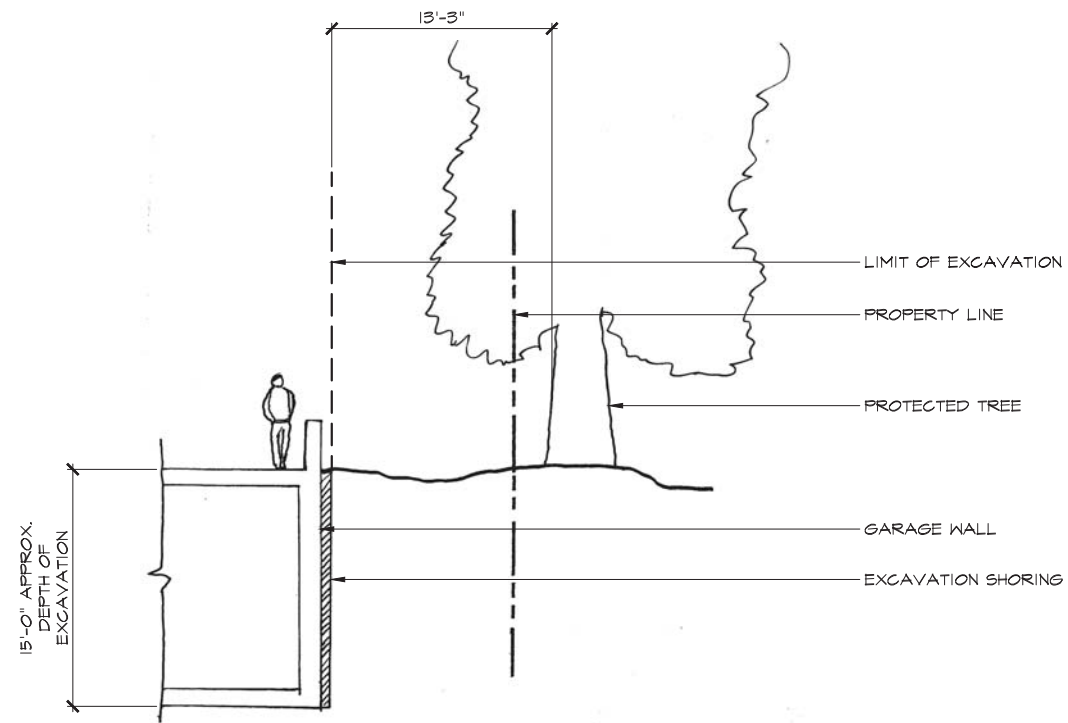
DATE June 13, 2017
TREE PROTECTION PLAN AND DETAILS
SCALE AS SHOWN
DRAWN AD
JOB NO. 15042
SHEET

L-1.4

OF SHEETS



1
L-15 INTERIOR PROPERTY LINE
SECTION



2
L-15 EAST WEST VIEW
SECTION



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CA PROJECT # 15042



DATE
June 13, 2017
**TREE
PROTECTION
SECTIONS**

SCALE
AS SHOWN
DRAWN
AD
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15042
SHEET

L-15

OF SHEETS