

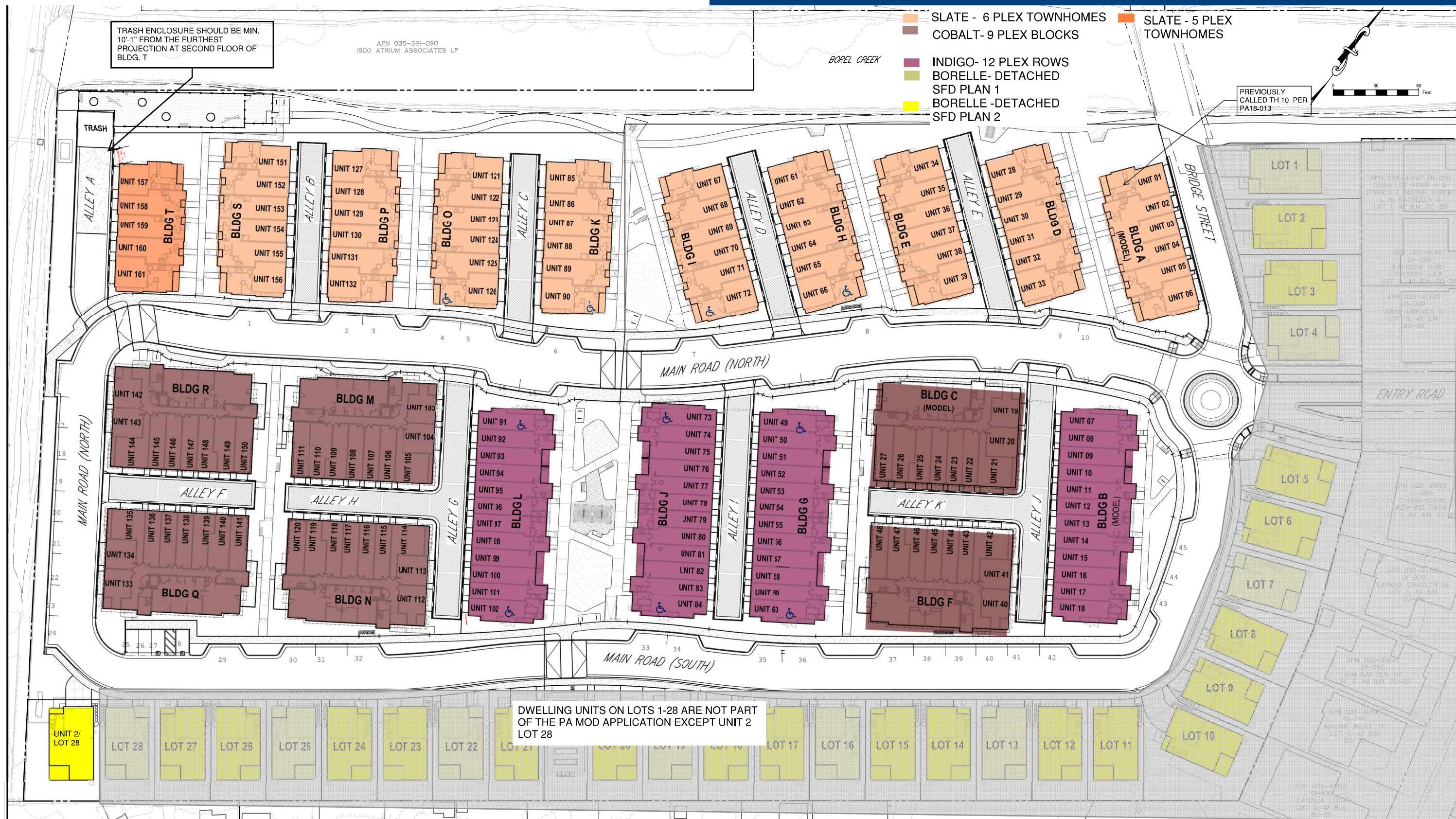
ONE 90 (PREVIOUSLY WATERS TECHNOLOGY PARK )  
PA 18-013 MODIFICATION SUBMITTAL :  
ISSUE DATE: 10-13-20



S-0	PROJECT DATA SUMMARY
S-1	SITEPLAN FOR REFERENCE
A-1	COBALT-BLOCKS REVISIONS SUMMARY
A-1.1	COBALT-BLOCKS RENDERINGS
A-2	COBALT-BLOCKS PLANNING AREA
A-3	COBALT -BLOCKS FLOOR PLANS
A-4	COBALT -BLOCKS FLOOR PLANS
A-5	COBALT -BLOCKS SECTION
A-6	COBALT -BLOCKS ELEVATION
A-7	COBALT -BLOCKS ELEVATION
A-8	COBALT -BLOCKS CURRENT ELEVATIONS B/W BOTH STYLES
A-9	COBALT -BLOCKS CURRENT ELEVATIONS CS-1 STYLE
A-10	COBALT -BLOCKS CURRENT ELEVATIONS CS-2 STYLE
A-11	COBALT -BLOCKS CURRENT ELEVATIONS PLAN CHECK CS-1
A-12	COBALT -BLOCKS CURRENT ELEVATIONS PLAN CHECK CS-2
B-1	INDIGO -ROWS REVISION SUMMARY
B-1.1	INDIGO-ROWS RENDERING
B-2	INDIGO -ROWS PLANNING AREA
B-3	INDIGO -ROWS FLOORPLANS
B-4	INDIGO -ROWS FLOORPLANS
B-5	INDIGO -ROWS ROOF PLAN AND SECTIONS
B-6	INDIGO -ROWS -ELEVATION B/W
B-7	INDIGO -ROWS -ELEVATION COLOR
B-8	INDIGO -ROWS -ELEVATION COMPARISON
B-9	INDIGO -ROWS -ELEVATION PLAN CHECK SHEETS
B-10	INDIGO -ROWS 3RD & FOURTH FLOOR PLAN CHECK
C-1	SLATE-TOWNHOMES REVISION SUMMARY
C-1.1	SLATE- TOWNHOMES RENDERINGS
C-2	SLATE - 5 AND 6 PLEX PLANNING AREA
C-3	SLATE- 6 PLEX TYPICAL FIRST AND SECOND FLOOR PLANS
C-4	SLATE - 6 PLEX TH 10 FIRST AND SECOND FLOOR PLANS
C-5	SLATE - 6 PLEX TYPICAL THIRD FLOOR AND ROOF PLAN
C-6	SLATE - 6 PLEX ELEVATIONS STYLE A
C-7	SLATE - 6 PLEX TH-10 ELEVATIONS
C-8	SLATE - 6 PLEX ELEVATIONS STYLE B
C-9	SLATE- 5 PLEX FLOOR PLANS
C-10	SLATE - 5 PLEX ELEVATIONS
D-1	LOT 28 SFD PLAN 2 - FLOORPLANS
D-2	LOT 28 SFD PLAN 2 - ELEVATIONS



# PA MODIFICATION - SITEPLAN FOR REFERENCE





PA MODIFICATION -PROJECT DATA

PA MODIFICATION - INTENT AND DESCRIPTION:  
To review and approve architectural building related design modifications made during plan check for code compliance and constructibility.

	Before	After	Before	After		After	
Building Type	Gross Floor area/building Sht A0.1-PA 18-013	Gross Floor area per SMMC 27. 04.200		Building count/unit count	Total Floor area sf. per building type	Total Floor area sf. per building type	Notes
12 unit - Indigo (Rows)	23916	23903	4 Bldgs/48 DU	4 bldgs/ 48 DU	95664	95612	Building was not code compliant in original planning application. Enclosed common stairs changed to covered open stairs.
9 unit - Cobalt (Blocks)	21523	22,189	6 bldgs/ 54 DU	6 bldgs/54 DU	129138	133134	Building was not code compliant in the original planning application. Building footprint was modified to accommodate the enclosed exit stairs, required clearances and fire risers. Original application has an error in their first floor planning area calculation.
6 unit- Slate 6 plex/ 6 plex alt(TH10) / 5 plex	13436/13587	13455/13412/11349	10 Bldgs/ 60 DU (9) 6 plex (1) 6 plex alt(TH 10)	10 bldgs/ 59 DU (8) 6 plex buildings (1) 6 plex alt( TH 10) (1) 5 plex	134511	132401	
Lots 1-28			28 units	29 units	75653	74578	Original application included Lanai and excluded volume space which is not compliant with the SMMC 27.04.200. No change to exterior
SFD 1	2487	2336	9	9	22383	21024	
SFD 2- bay	2769	2694	7	8	19572	21552	
SFD-2 farmhouse	2758	2666	8	10	22564	26660	
SFD 2 Farmhouse end unit	2764	2671	2	2	5528	5342	
SFD Bay end unit	2803	n/a	2	n/a	5606		
Total Floor area per SMMC 27.04.200			190	190	434,466	435,725.00	

Development Project Data Information	Before	After
Site Address and APN	1,2,3 Waters Park Dr, San Mateo, CA 035-401-450-1	1,2,3 Waters Park Dr, San Mateo, CA 035-401-450-1
Site Area	484,638 s.f.	484,638 s.f.
Zoning	R3	R3
Maximum Allowable Floor Area Ratio ( FAR)	0.89	0.89
Proposed Floor Area Ratio	0.89	0.89
Total proposed Floor area per SMMC 27. 04. 200	434,466 s.f	435,725 s.f.
Total Number of Parking Stalls - covered (Resident)	380	374 (due to van accessible parking in Cobalt buildings )
Total uncovered Parking stalls - Uncovered (Visitor)	45	45



PA MODIFICATION COBALT- BLOCKS REVISIONS SUMMARY

Plan Types	Number of units/ bldg	Living Area s.f. (measured to exterior stud)	Garage	#stories	Garage # cars	roof deck	Balcony	# of bedrooms	# of bathrooms
Flat A	1	1500	473	1	2 car tandem		159	3	2
Flat B	1	1798	477	1	2 car tandem		114	3	2
Flat C	1	1288	428	1	2 car tandem		48	2	2
Flat D	1	1459	429	1	2 car tandem		82	3	2
Flat E	1	1546	429	1	2 Car tandem		78	3	2
Townhome B-2	1	2582	577	2	2 Car side by side	574	117	3	3
Townhome C-2	1	1775	439	2	1 Car side by side- van accessible- can accommodate two cars and has 2 garage doors	371	60	3	3
Townhome- D2	1	2088	536	2	2 car tandem	568	84	4	3
Townhome E-2	1	1912	457	2	2 Car side by side	378	89	3	2
	9								
Total number of Buildings	6								
Total units in this series	54								

				Before	After	Summary of revisions and reasoning
Area of revision				PA 18-013	PA mod. Application	
Cobalt- Blocks 4 story- 9 plex building	Height	Bldg Height from grade to fourth floor T/ plate		41'-10" ( elevation sheet) / 44'-0" (section sheet)	43'-5 1/4" assuming that grade varies on site between 8" -12"	PA 18-013 section and elevation heights did not account for accurate floor assembly which requires sheathing and gypcrete layer at second and third floor for acoustic compliance. Fourth floor TJI assembly is structurally deeper to account for slope and drainage due to roof decks. The change in height is required to maintain required acoustic compliance, structural buildability without impacting elevations and livability of the units. We are under the 45'-0" height limit.
	Massing and floor plan revisions	Massing				PA 18-013 Blocks building was not CBC 2016 compliant relating to exiting, accessibility, and fire utility requirements.
	Window and Awnings	Windows and Awnings				Removed Bottom window transoms due to limited height and increase in floor assembly thickness.
	Planning area per SMC 27.04.200	Planning area per SMC 27.04.200				Please see side by side comparison in PA modification application sheet A-2
Building Footprint	width and depth at first floor			99'-1" x 70'-0" -	100'-11 7/8"x 73'-0 1/2"	Minor increase in base footprint is due to the length of the common exit stairs required to accommodate door clearances..







COBALT - CS-1 FRONT  
ELEVATION



COBALT - CS-2 -FRONT  
ELEVATION



PLEASE NOTE THAT THESE VALUES ON SHT A 3.3 DO NOT MATCH AREA CALCS ON SHEET A0.1 IN ORIGINAL PLANNING APPLICATION

CBC BUILDING AREA CALCULATIONS  
LEVEL 1: 7,089  
LEVEL 2: 7,044  
LEVEL 3: 7,044  
LEVEL 4: 1,609  
TOTAL: 22,796

CBC TABLE 506.2  
R2 TYPE VA (without height increase)  
506.2.3 Single-Occupancy, Multistory Buildings  
Equation:  $A_n = [A_v + (NS \times 1)] \times S_n$   
 $A_n = [35,000 + (12,000 \times 0)] \times 2$   
 $A_n = 72,000$   
Proposed SF: 22,796

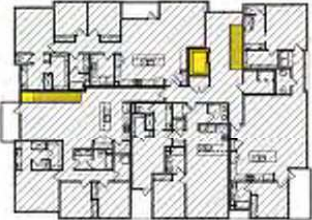


FIRST LEVEL PLAN

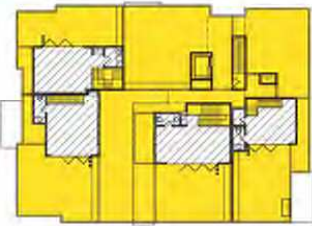


THIRD LEVEL PLAN

GROSS FLOOR AREA (GROSS BUILDING AREA)  
LEVEL 1: 6,778 (6,778)  
LEVEL 2: 6,585 (6,787)  
LEVEL 3: 6,581 (6,787)  
LEVEL 4: 1,517 (6,959)



SECOND LEVEL PLAN



FOURTH LEVEL PLAN

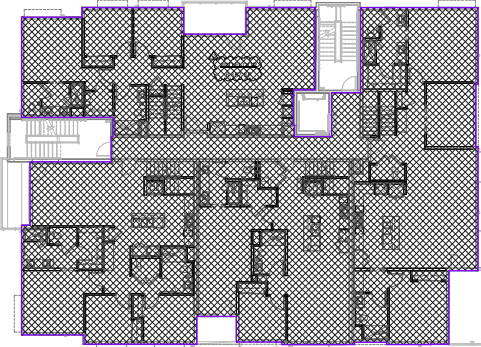
LEGEND

GROSS FLOOR AREA

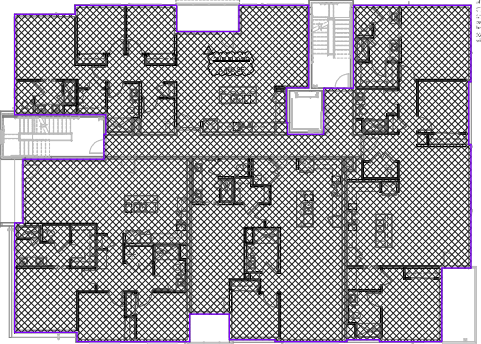
INCLUDED AREA FOR GROSS CALCULATION



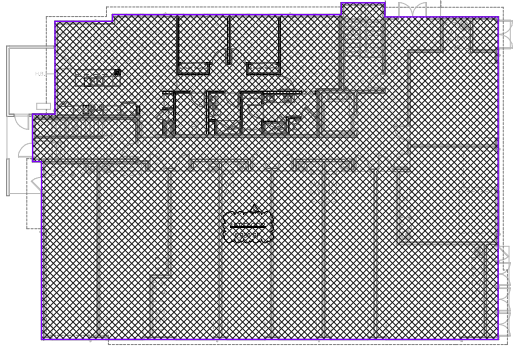
④ FOURTH FLOOR PLAN



③ THIRD FLOOR PLAN



② SECOND FLOOR PLAN



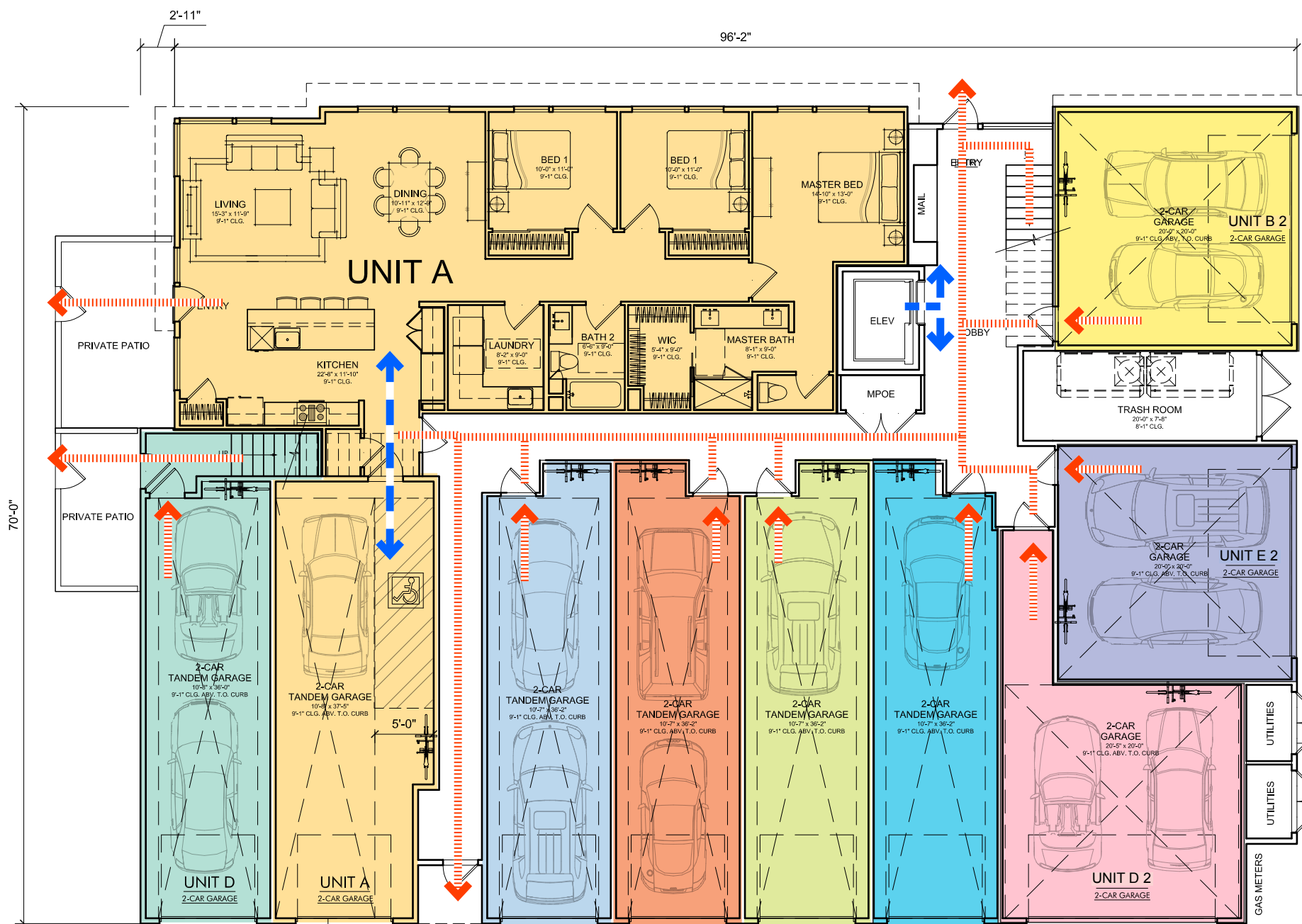
① FIRST FLOOR PLAN

CALCULATED AREA

THESE ARE AREAS FROM SHEET A0.1 PA18-013

	Before	After	Before	After	Before	After	
Building Type	Gross Floor area/building	Gross Floor area per SMMC		Building count/unit count	Total Floor area sf. per building type	Total Floor area sf. per building type	Notes
9 unit - Cobalt (Blocks)	21523	22,189	6 bldgs/ 54 DU	6 bldgs/54 DU	129138	133134	Building was not code compliant in the original planning application. Building footprint was modified to accommodate the enclosed exit stairs, required clearances and fire risers. Original application has an error in their first floor planning area calculation.
First Floor	6699	6,936					
Second Floor	6661	6,460					
Third Floor	6661	6,457					
Fourth Floor	1502	2336					



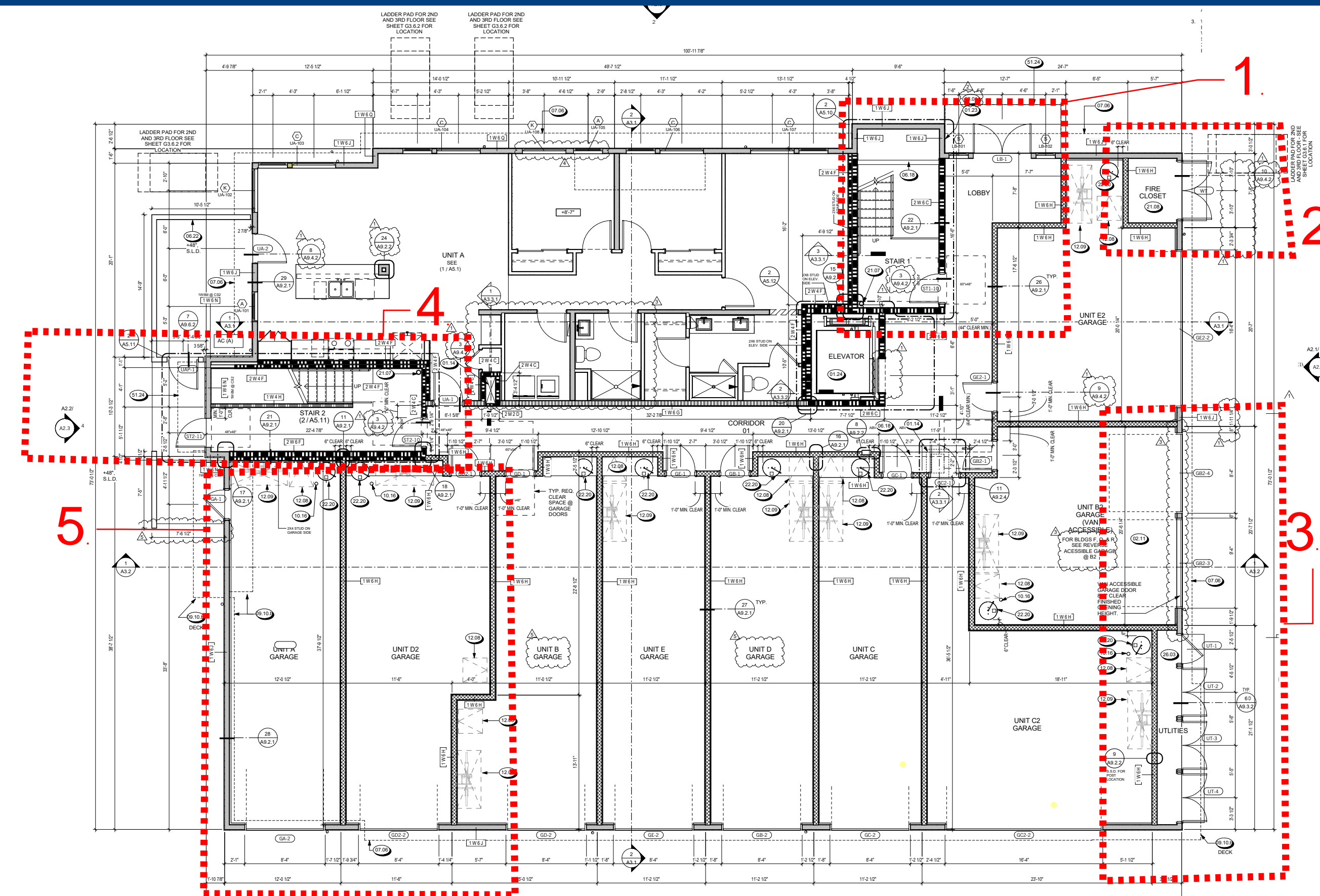


GROUND LEVEL PLAN

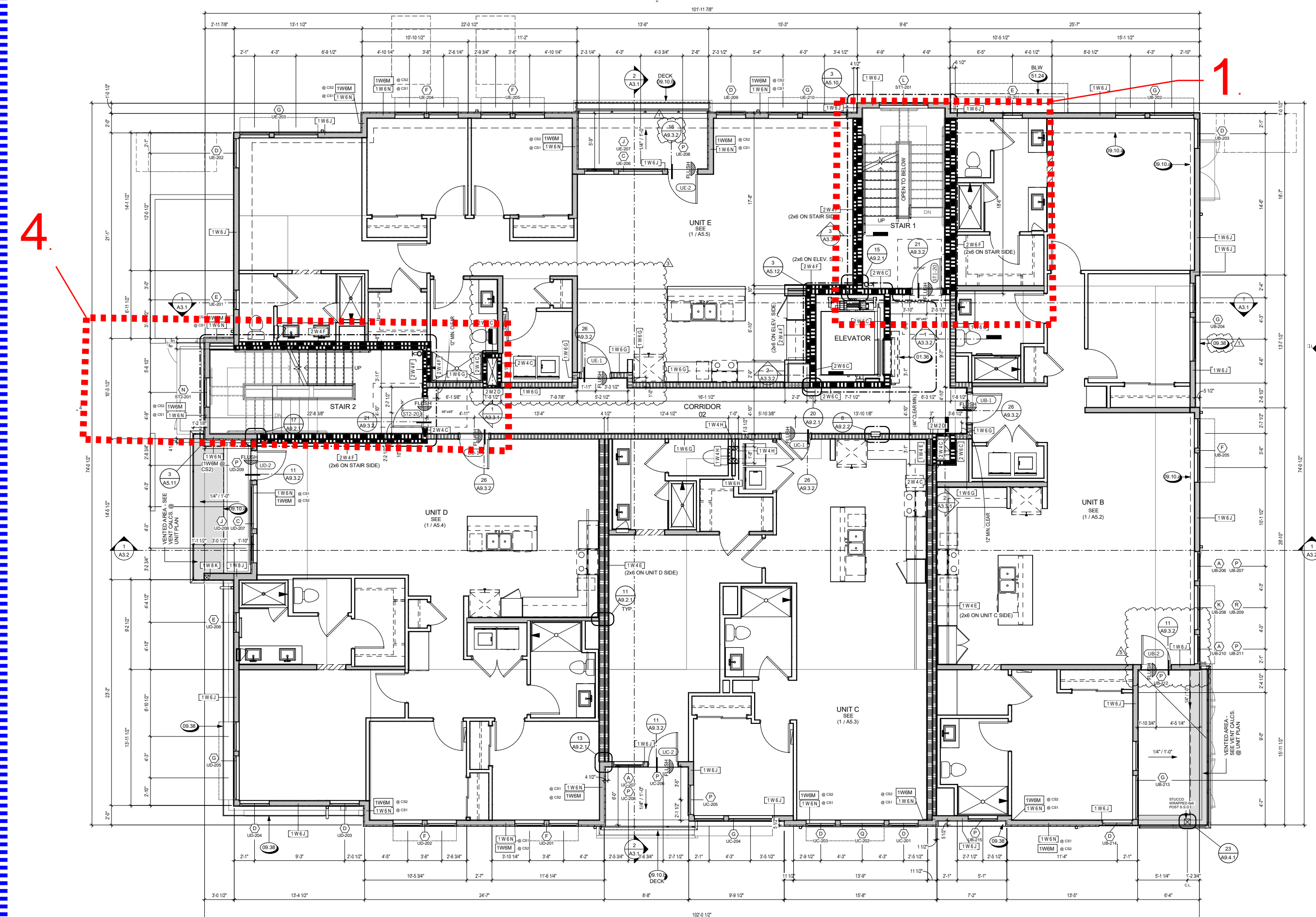


SECOND LEVEL PLAN

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GROUND LEVEL PLAN

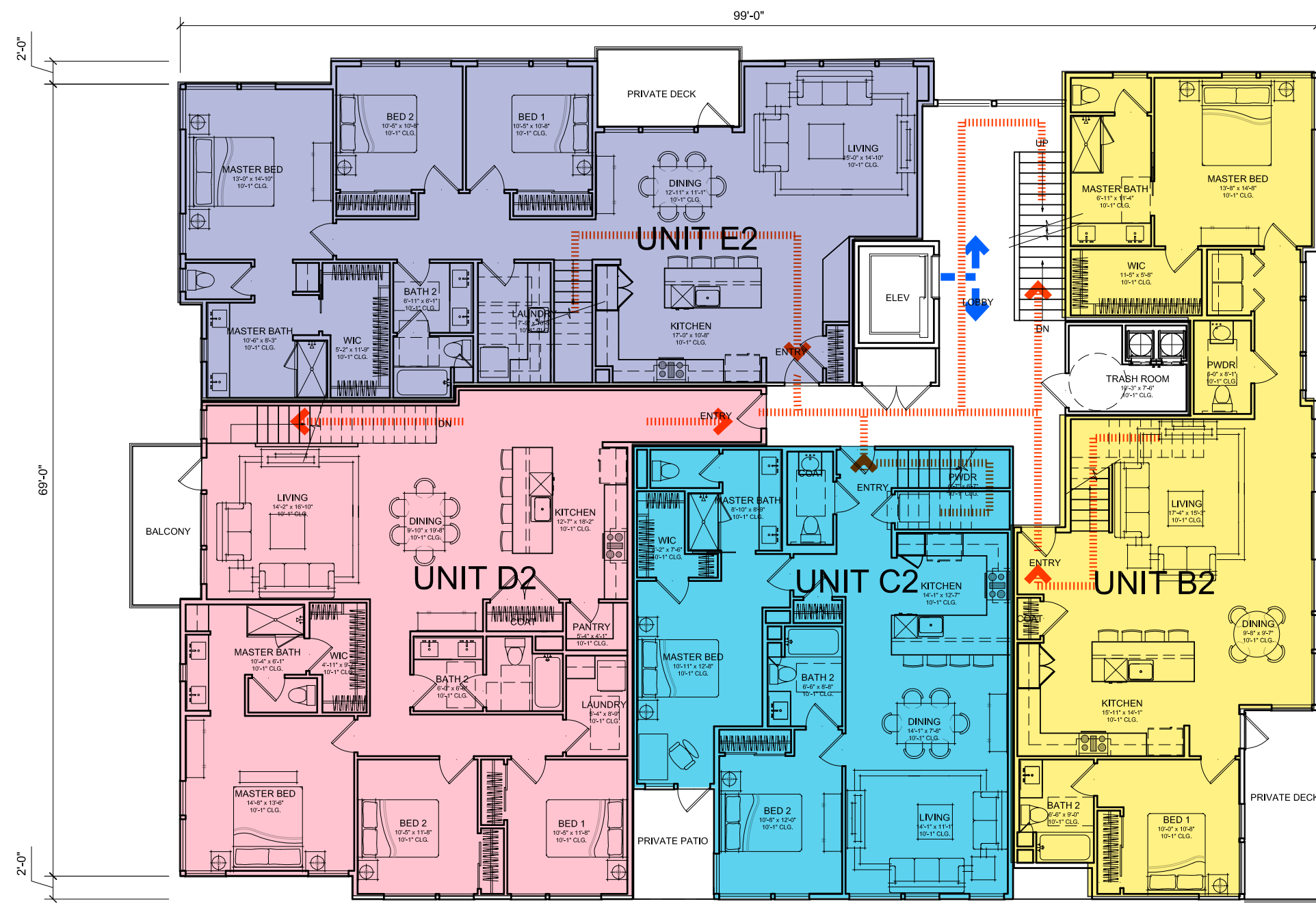


SECOND LEVEL PLAN

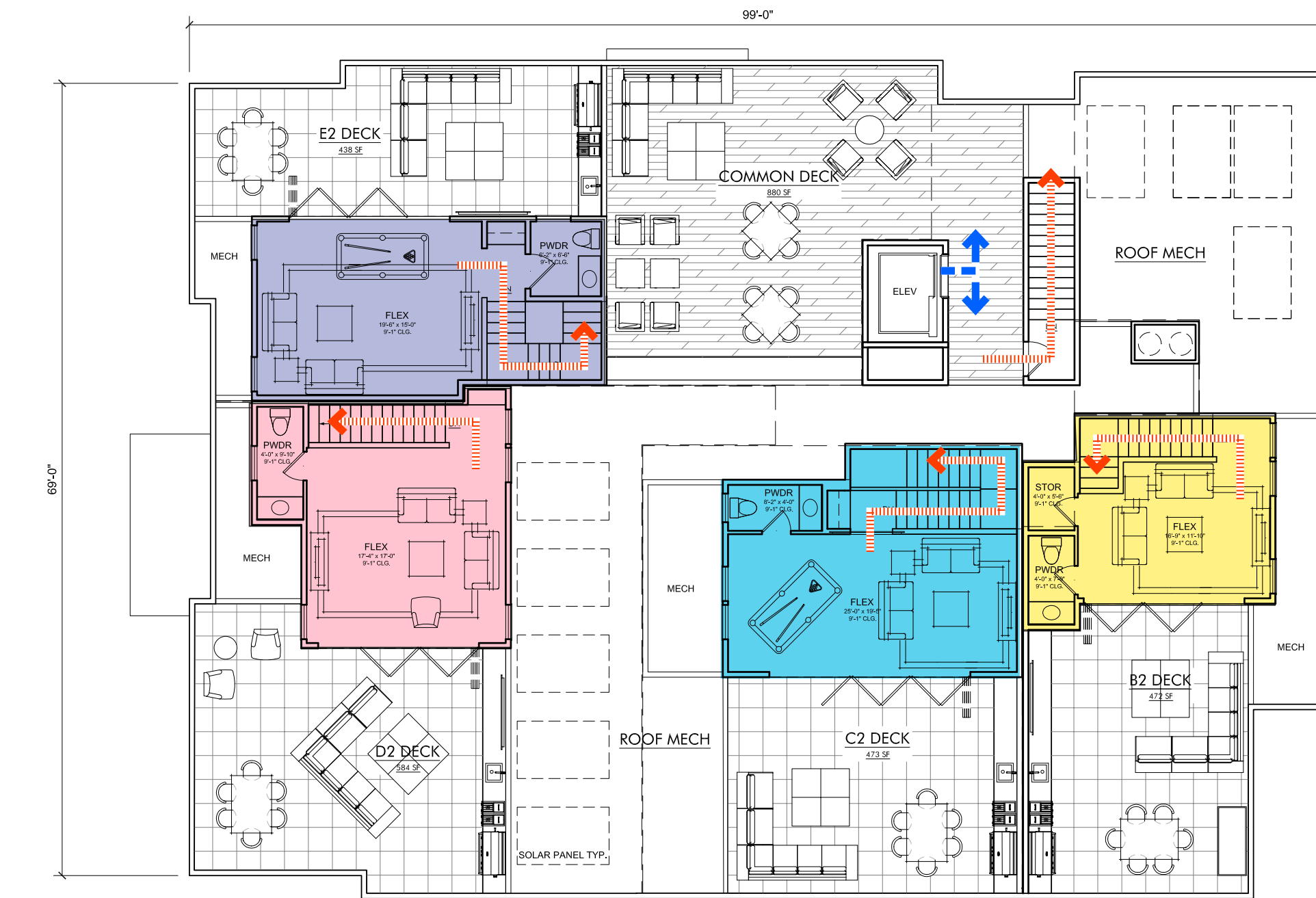
List Of Revisions:

1. First floor common hallway and upper floor hallways were reconfigured to include second exit stair and enclose the lobby exit stair per building code requirements since the building was not code compliant in the previous planning application
2. Fire utility closets were added within current footprint which were missing in the original planning application
3. Electrical utility closets were extended within current footprint.
4. Added second enclosed exit stair as required by building code. This required minor change to the building footprint and exterior wall elevation.
5. Removed non compliant exit hallway. Garages were reconfigured to accommodate van accessible parking in each building per plan check requirements.





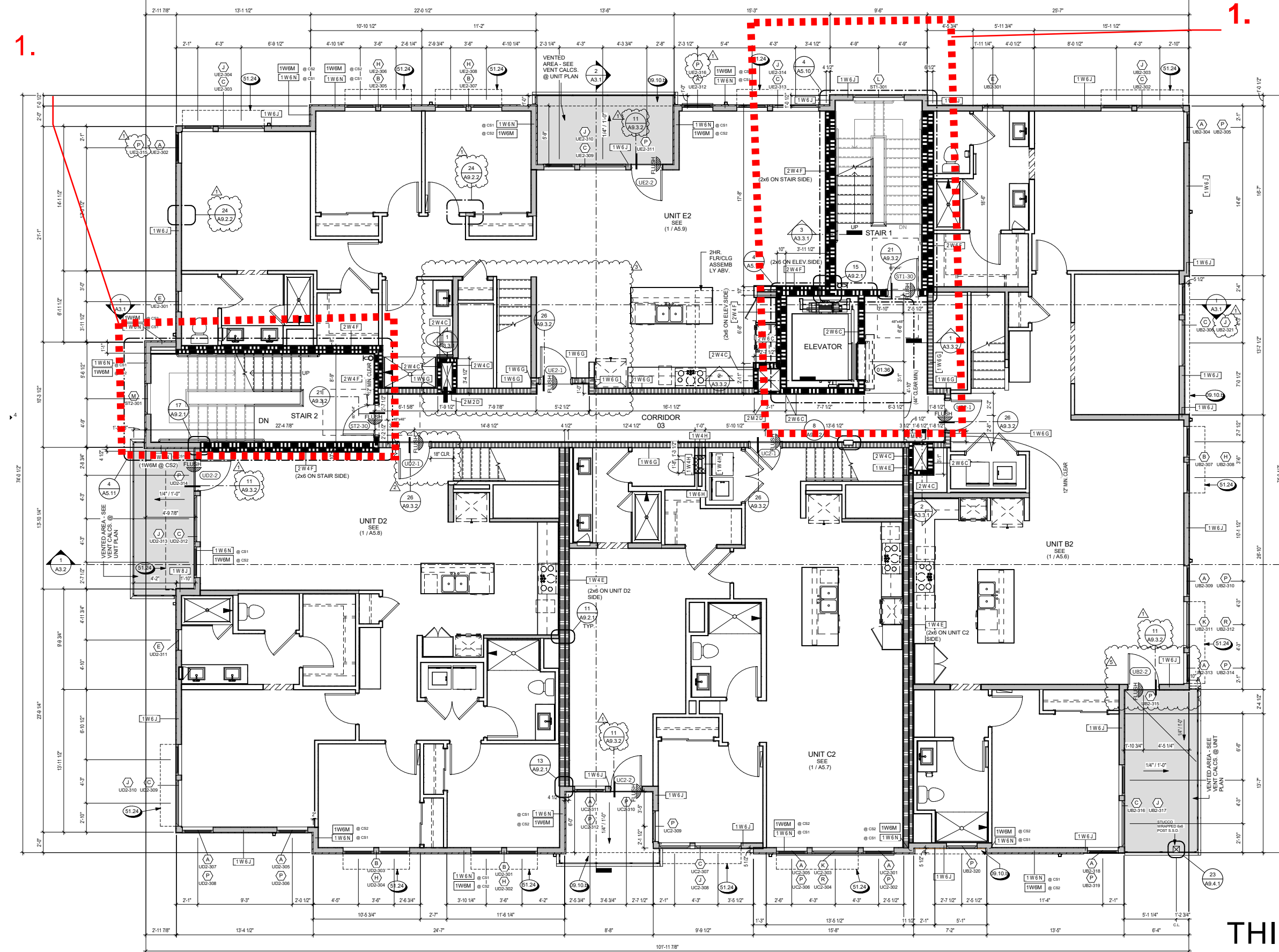
THIRD LEVEL PLAN



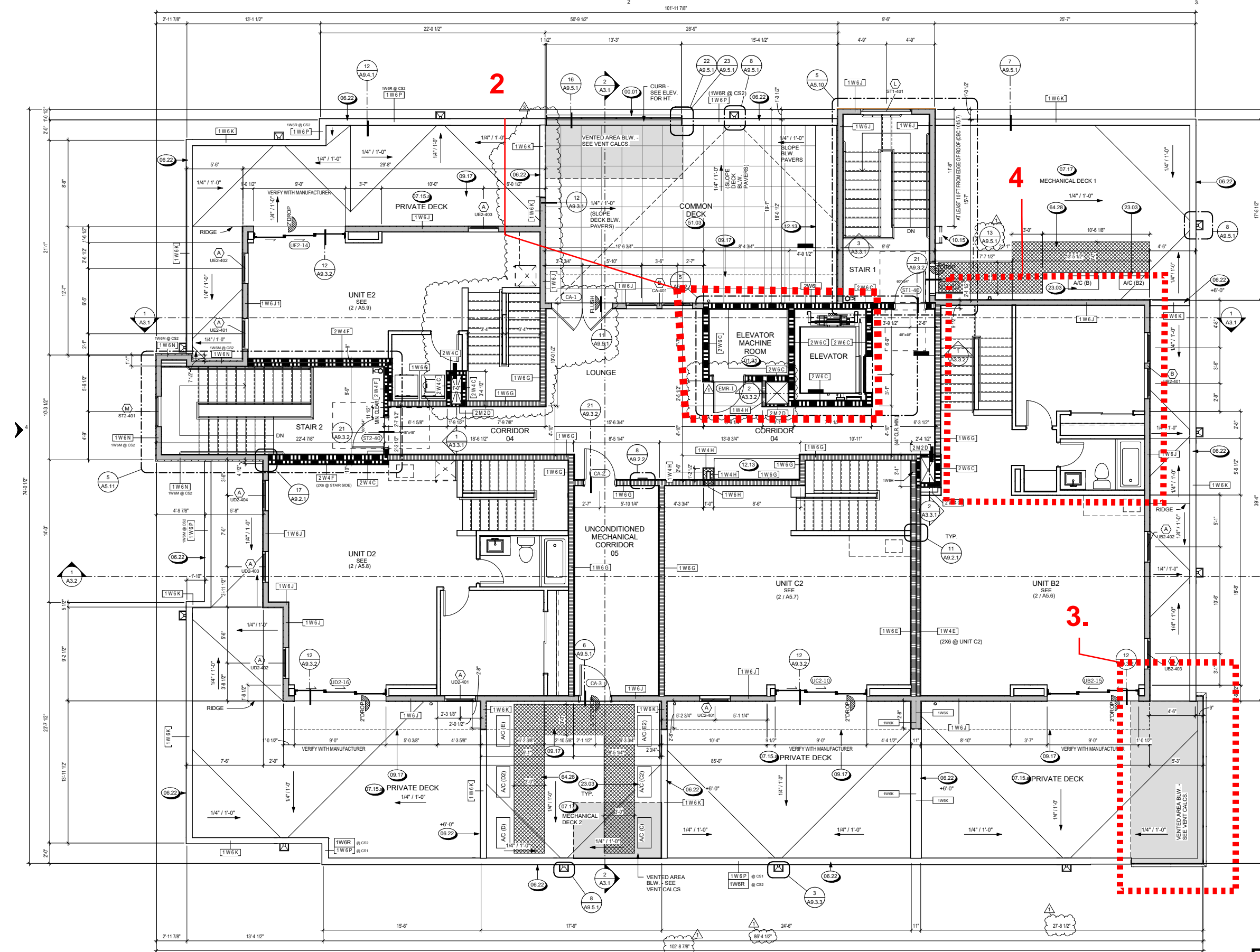
ROOF LEVEL PLAN

Providing alternative to PV system, installing 8'x 5' solar hot water systems on roof.

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THIRD LEVEL PLAN

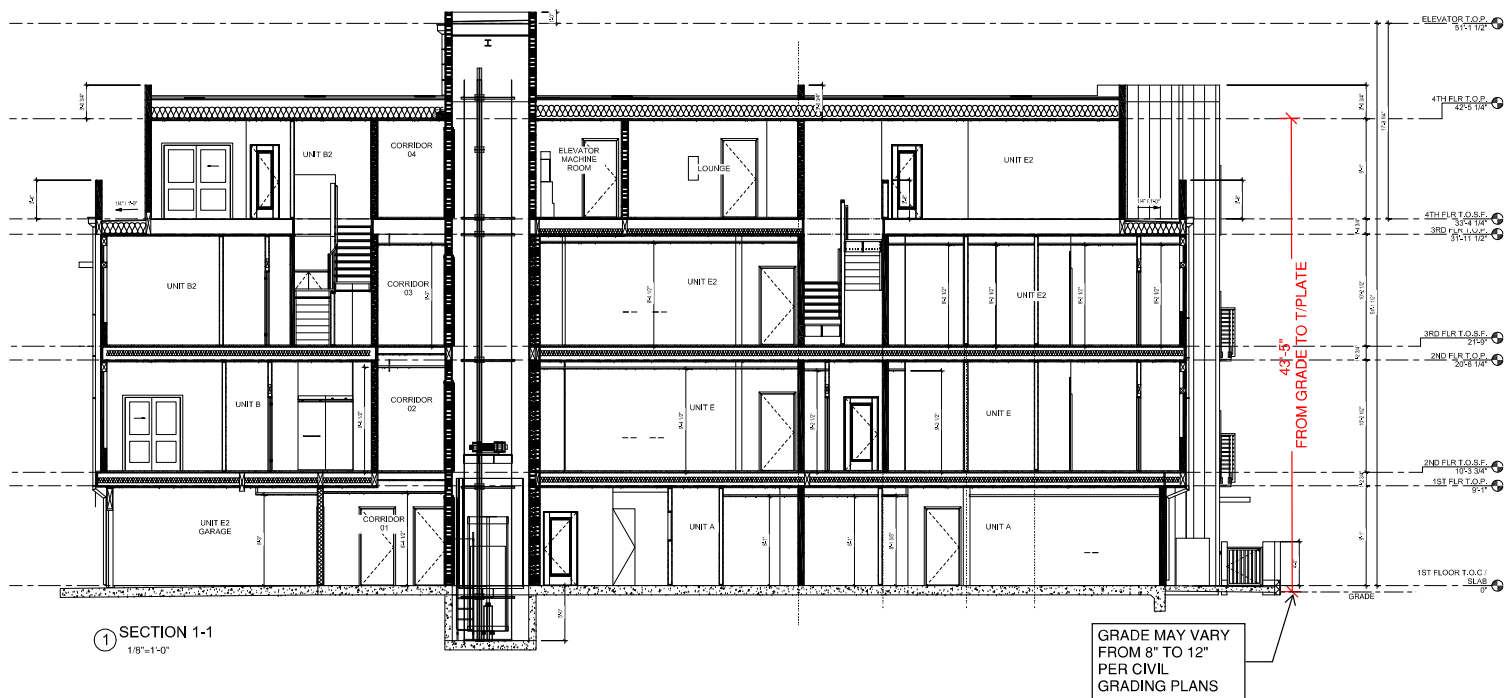
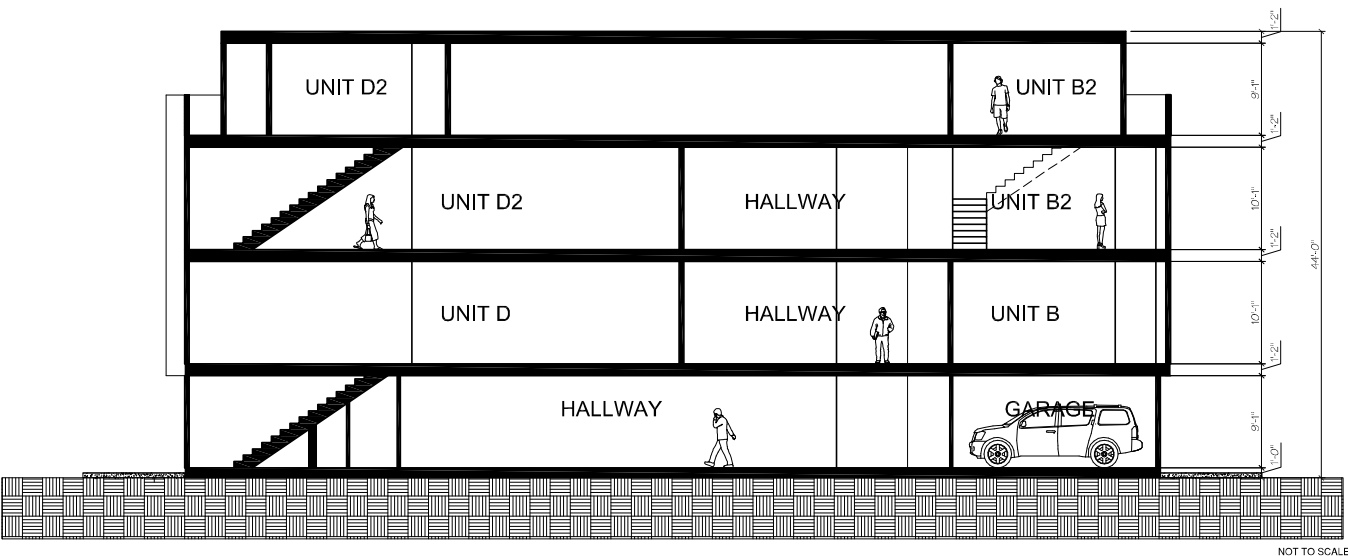


ROOF LEVEL PLAN

#### List Of Revisions:

1. Reconfigured common hallway and exit stair to meet code compliance on all floors.
2. Extending both stairs to roof deck and added elevator mechanical room.
3. Reconfigured private roof deck by relocating the guard rails to the exterior corner for structural constructability
4. Extended living area for unit B2 to accommodate interior stairs. Created an accessible elevator vestibule





Summary Of Revisions applicable to both CS-1 and CS-2 elevations:

1. Current section indicates accurate plate heights as required per floor structural assembly and acoustic layers. The height is shown from T/slab as well as from grade. Please note that grade varies around the building.

PA 18-013 section sheet A 3.2 did not clearly identify building height measured from grade to plate height and it also does not account for floor sheathing, acoustic layers, roof deck framing or elevator pit or elevator shaft,



PA MODIFICATION -COBALT CURRENT BLOCKS ELEVATIONS- CS-1 AND CS-2 SCHEMES





# PA 18-013- BEFORE



# PA MODIFICATION -COBALT ELEVATION REVISIONS



NORTH ELEVATION (CS1-SIDING)



EAST ELEVATION (CS1-SIDING)

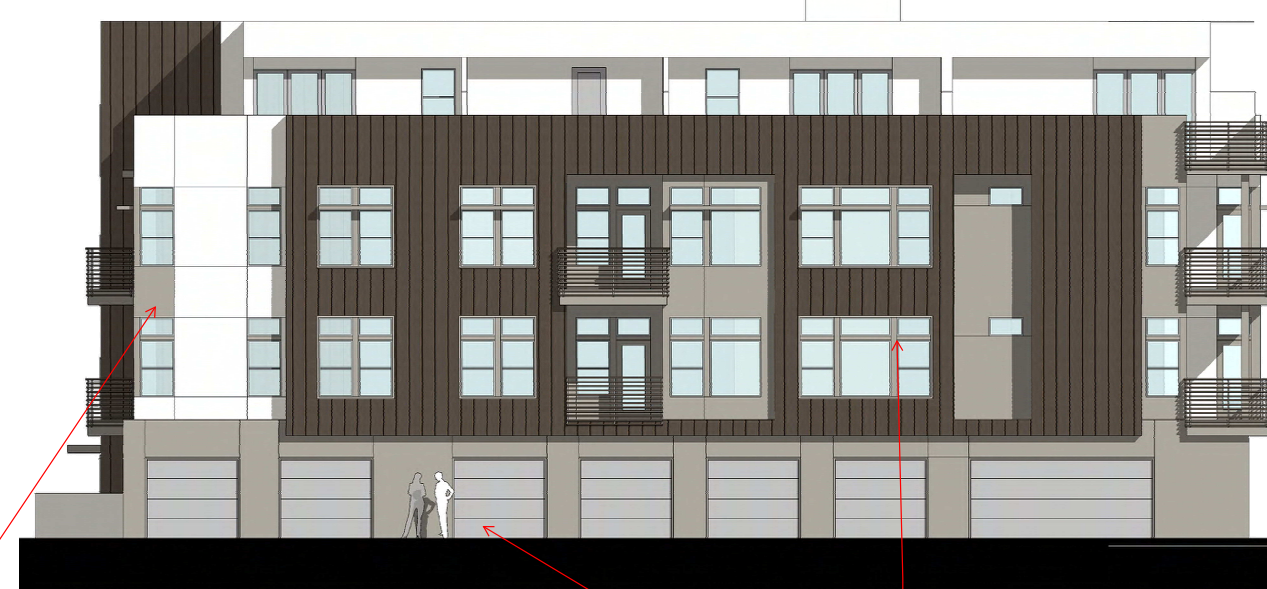
Summary Of Revisions applicable to both CS-1 and CS-2 elevations:

1. Minor massing configuration due to new exit stair and enclosing entry lobby exit stair
2. Garage door shifts due plan configuration and removing hallway
3. Removed Awnings/canopy between window and transoms due to conflicts with fire ladder locations.
4. Removed Bottom transom windows due to floor assembly thickness including acoustic measures required for code compliance which did not allow for adequate clearance between sill and bottom plate.
5. Revise windows and door color to white or tan
6. Previous application elevation heights do not match the sections and they are not code compliant. We cannot have 9'-1" to plate height at first floor from walk. It needs to be 9'-1" from top of slab to accommodate utility soffits and grading

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SOUTH ELEVATION (SC1-SIDING)

3/16" = 1'-0"



WEST ELEVATION (CS1-SIDING)

3/16" = 1'-0"

Summary Of Revisions applicable to both CS-1 and CS-2 elevations:

1. Minor massing configuration due to new exit stair and enclosing entry lobby exit stair
2. Garage door shifts due plan configuration and removing hallway
3. Removal of Awnings/canopy between window and transoms at second floor due to conflicts with fire ladder locations.
4. Removal of Bottom transom windows due to floor assembly thickness including acoustic measures required for code compliance.
5. Revise window color from silver to white or tan

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RIGHT ELEVATION



FRONT ELEVATION



LEFT ELEVATION

FOR BUILDING HEIGHT  
DIMENSIONS PLEASE SEE  
SHEET A-6



REAR ELEVATION







RIGHT ELEVATION



FRONT ELEVATION

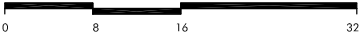
FOR BUILDING HEIGHT  
DIMENSIONS PLEASE SEE  
SHEET A-6



LEFT ELEVATION



REAR ELEVATION





PA MODIFICATION COBALT ELEVATION SHEETS- CS-1- PLAN CHECK 274309 FOR REFERENCE



COBALT AT ONE 90

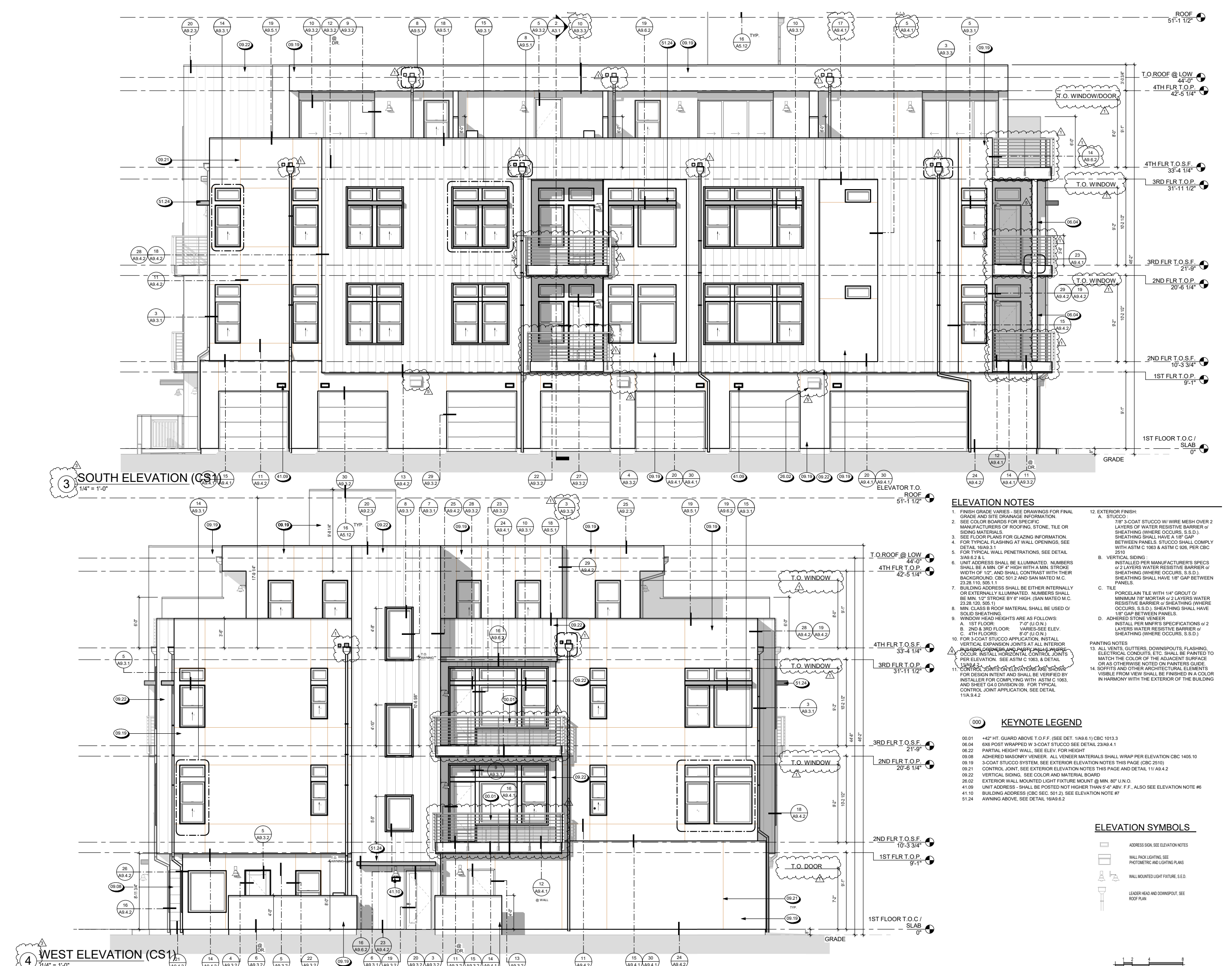
SAN MATEO, CALIFORNIA

1ST BLDG SUBMITTAL	12.09.2015
2ND BLDG SUBMITTAL	06.03.2020
3RD BLDG SUBMITTAL	07.14.2022
<b>REVISIONS</b>	
1 INHOUSE PLANCHECK	01.17.20
2 CITY PLANCHECK 1	01.17.20
3 PULTE REVISIONS	2.10.20
4 CITY PLANCHECK 2	5.15.20
5 PULTE REVISIONS	06.24.20

JOB NO.	395.02
DRAWN	MS/ECG/JL
CHECK	EB

EXTERIOR  
ELEVATIONS - CS1

SHEET  
A2.1



COBALT AT ONE 90

SAN MATEO, CALIFORNIA

1ST BLDG SUBMITTAL	12.09.2019
2ND BLDG SUBMITTAL	06.03.2020
3RD BLDG SUBMITTAL	07.14.2020
<b>REVISIONS</b>	
1 INHOUSE PLANCHHECK	01.17.20
3 PULTE REVISIONS	2.10.20
5 PULTE REVISIONS	06.24.20

DEAL / SIGNATURE	
DOB NO.	396.024
DRAWN	MS/LC/GUL
CHECK	EB

EXTERIOR  
ELEVATIONS - CS1

SHEET  
A2.2

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# ONE 90 - PLANNING MODIFICATION APPLICATION

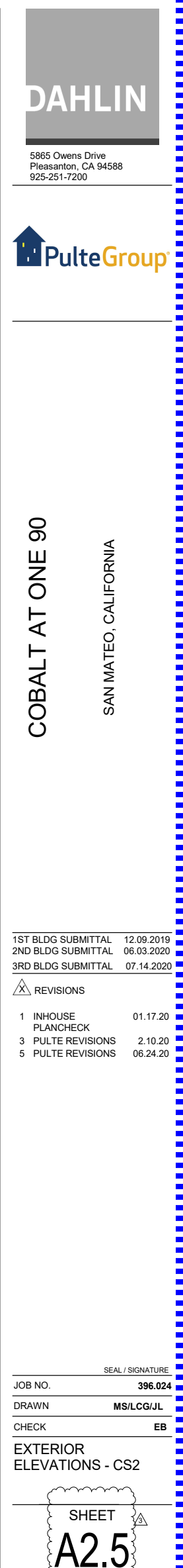
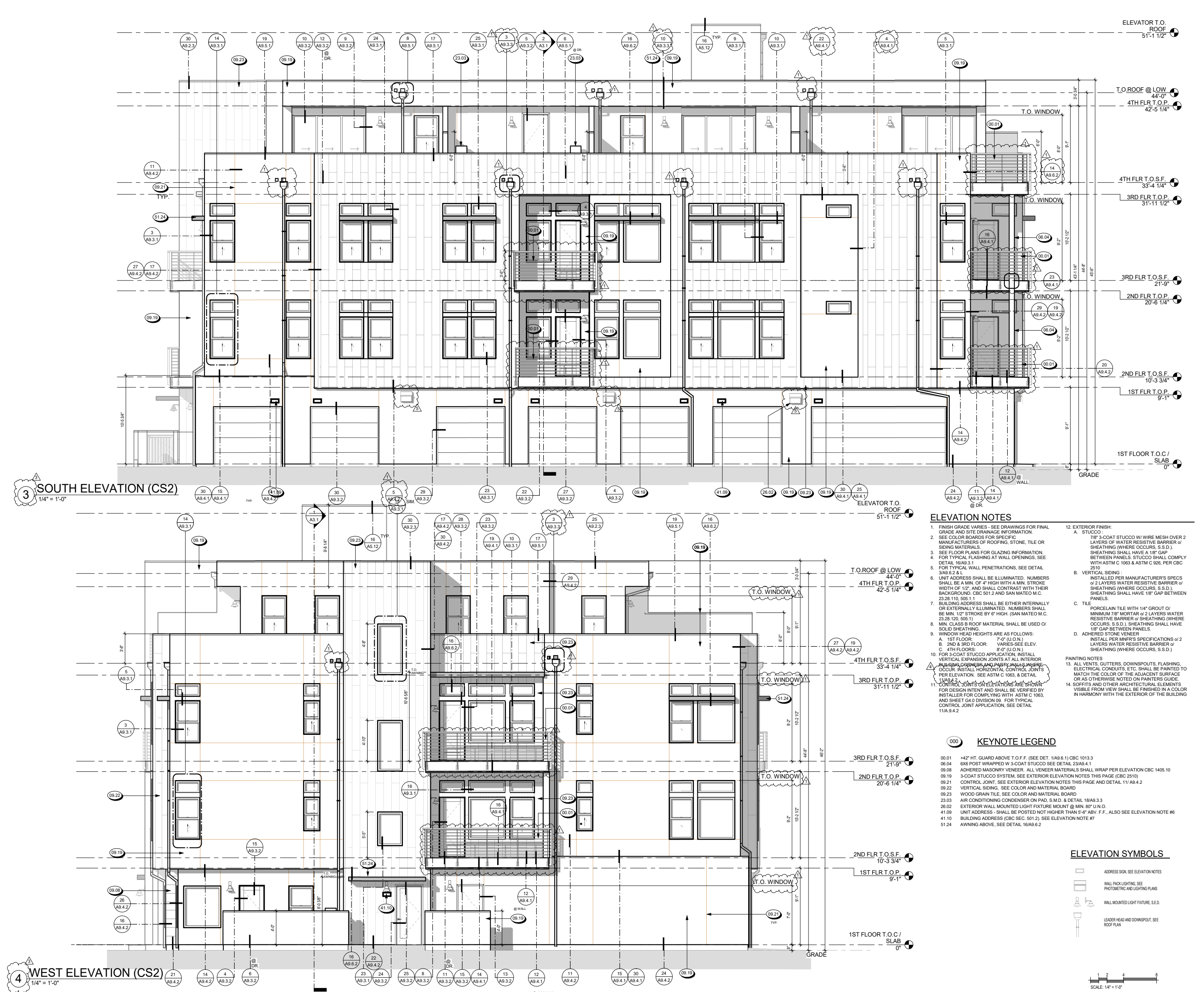
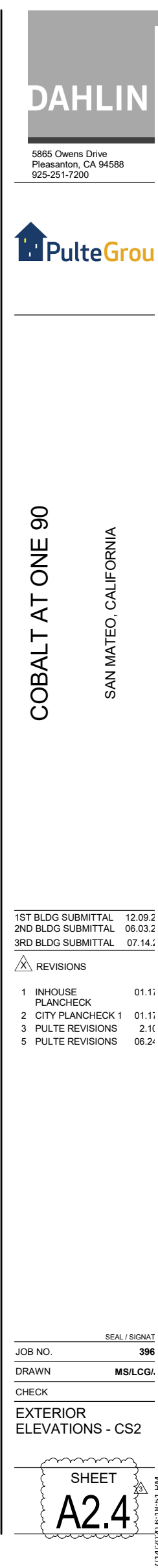
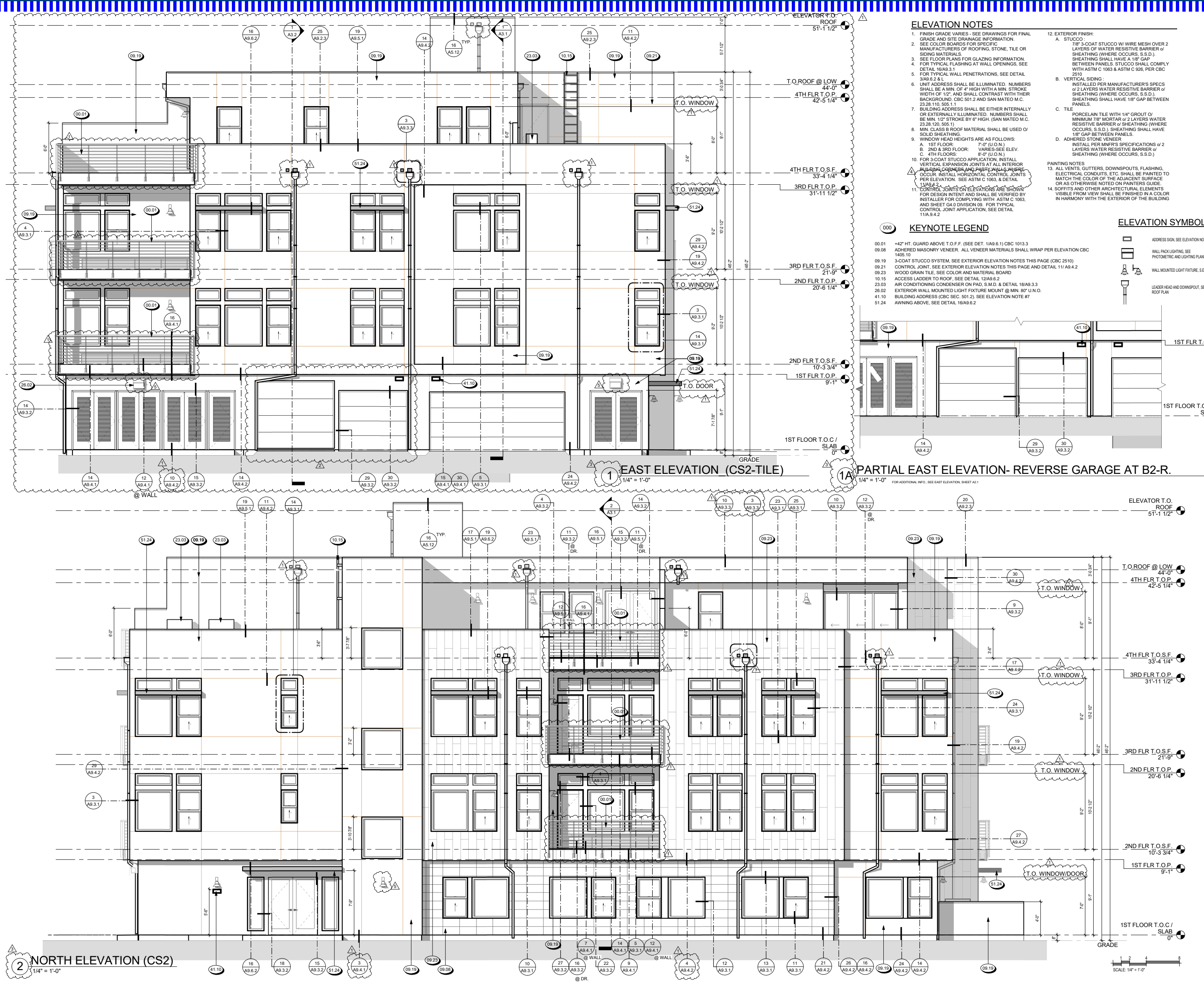
SAN MATEO, CA

NOT TO SCALE

# A-11



# PA MODIFICATION -COBALT ELEVATION SHEETS- CS-2- PLAN CHECK 274309



# ONE 90 - PLANNING MODIFICATION APPLICATION

SAN MATEO, CA

NOT TO SCALE

# A-12



PA MODIFICATION - INDIGO ROWS REVISIONS SUMMARY

Plan Types	Number of units on site	Living Area s.f. (measured to exterior stud)	Garage	#stories within unit	Garage # cars	Balcony	# of bedrooms	# of bathrooms
Flat A	8	1636	500	2	2 car tandem	268	2	2
Flat B	8	1807	512	2	2 car tandem	234	4	2.5
TH A	16	1386	531	2	2 car tandem	61	2	2.5
TH B	8	1449	493	2	2 car tandem	152	2	2.5
TH C	8	1506	488	2	2 Car tandem	91	3	3
total number of units		48						
Total number of Buildings		4 ( 4 ) 12 unit buildings)						

			Before	After	
Area of revision			PA 18-013	PA mod. Application	Summary of revisions and reasoning
Indigo- Rows- 4 story 12 plex building	Height	Bldg Height from grade to fourth floor T/ plate	40'-10" (elevation sheet) 44'-0" ( section sheet)	42'-3 1/4"	PA 18-013 section and elevation heights vary and did not account for accurate floor assembly which requires sheathing and gypcrete layer at second and third floor for acoustic compliance. The original elevation sheet also shows 8'-1"from grade to top of plate at first floor which is not building code compliant as it does not account for slab thickness or utility soffitts.
		Plate height at each floor	9'-1", 10'-1", 10'-1", 9'-1"	9'-1", 10'-2 1/2", 9' 2 1/2" , 9'-1"	PA modification application includes reduction in height at the third floor due to lack space to accommodate the stair length required to travel height of 10'-2 1/2".
	Massing and floor plan revisions	Massing	1. Common stairs serving units located on third floor were not code compliant and require two means of exit.	1. Common stairs have been revised to connect on third floor via a common egress balcony. 2. Common stairs were revised to become open stairs covered but not enclosed . This allowed to meet clearance requirements at the landing and in front of the unit entry. 3. Changed metal seam roof at low pop outs to composite roof. 4. Common exit stair connectivity resulted in loss of private balcony at TH units at third floor. These were relocated to the fourth floor 5. Removed the mech. cave in the middle of the mansard roof 6. Minor wall shifts to align walls for structural constructability	PA 18-013 Rows building was not CBC 2016 compliant regarding exiting requirements. The original concept did not account for location of AC units and possible solar panel placements.
	Window and Awnings	Windows and Awnings		Window assembly includes single hung and fixed windows in white or tan color. Removed Awnings to avoid conflict with fire ladder placement. Added private balcony at fourth floor. Removed bottom transoms Removed upper transoms at third floor due reduction in floor plate height All windows from the common stair have been removed	Removed Bottom window transoms due to limited height and increase in floor assembly thickness.
	Planning area per SMC 27.04.200	Planning area per SMC 27.04.200	N/A - Refer to Sht A0.1 and A4.4- both sheets have different data.	Please see side by side comparison in PA modification application sheet B-2	
	Building Footprint	width and depth at first floor	143'-4" x 52'-6" - ( does not include closets on each side and the stair popouts. )	149'-5"x 54'-6" includes 3'-0" deep closets at both sides of the building and 1'-0" depth at common stair popout	In PA 18-013 first floor dimensions did not include closets and stair popouts.





INDIGO - CS-1 FRONT  
ELEVATION



PA 18-013- BEFORE

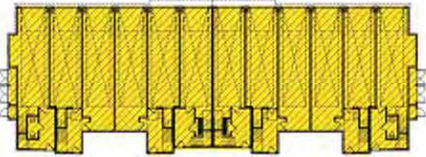
CBC BUILDING AREA CALCULATIONS  
LEVEL 1: 7,646  
LEVEL 2: 7,157  
LEVEL 3: 7,095  
LEVEL 4: 5,116  
TOTAL: 27,014

CBC TABLE 506.2  
R2 TYPE VA (without height increase)  
506.2.3 Single-Occupancy, Multistory  
Buildings  
Equation:  $A_n = [A_v + (NS \times I)] \times S_n$   
 $A_n = [36,000 + (12,000 \times 0)] \times 2$   
 $A_n = 72,000$   
Proposed SF: 27,014

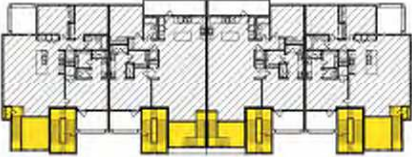
PLEASE NOTE THAT THESE VALUES  
ON SHT A 2.3 DO NOT MATCH AREA  
CALCS ON SHEET A0.1 IN ORIGINAL  
PLANNING APPLICATION

GROSS FLOOR AREA (GROSS BUILDING AREA)  
LEVEL 1: 7,424 (7,424)  
LEVEL 2: 5,490 (6,822)  
LEVEL 3: 6,094 (6,884)  
LEVEL 4: 4,950 (5,599)

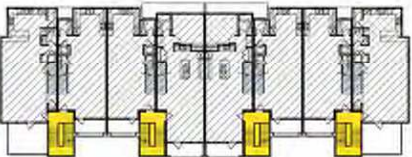
LEGEND  
GROSS FLOOR AREA  
INCLUDED AREA FOR GROSS CALCULATION



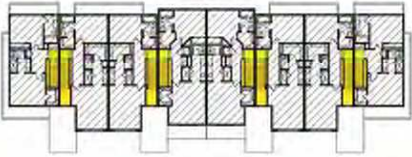
FIRST LEVEL PLAN



SECOND LEVEL PLAN



THIRD LEVEL PLAN

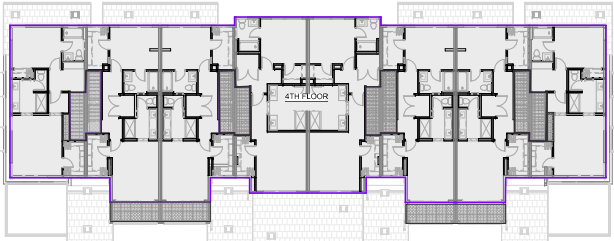


FOURTH LEVEL PLAN

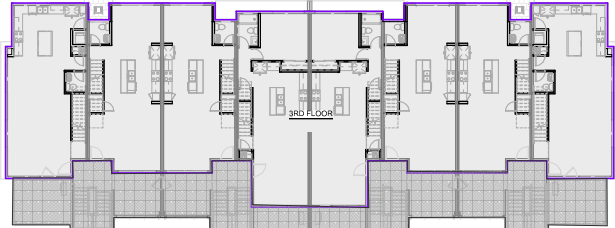
THESE VALUES  
ARE FROM A 0.1  
SHEET IN THE  
ORIGINAL  
PLANNING  
APPLICATION

	Before	After	Before	After	Before	After	
Building Type	Gross Floor area/building Sht A0.1-PA 18-013	Gross Floor area per SMMC 27. 04.200		Building count/unit count	Total Floor area sf. per building type	Total Floor area sf. per building type	Notes
12 unit - Indigo ( Rows)	23916	23903	4 Bldgs/48 DU	4 bldgs/ 48 DU	95664	95612	Building was not code compliant in original planning application. Enclosed common stairs changed to covered open stairs.
First Floor	7420	7151					
Second Floor	5538	5472					
Third Floor	6022	6047					
Fourth Floor	4936	5233					

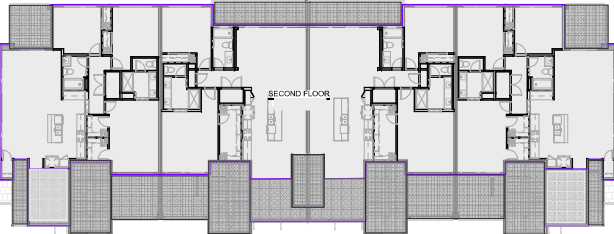
PA MODIFICATION - INDIGO PLANNING AREA



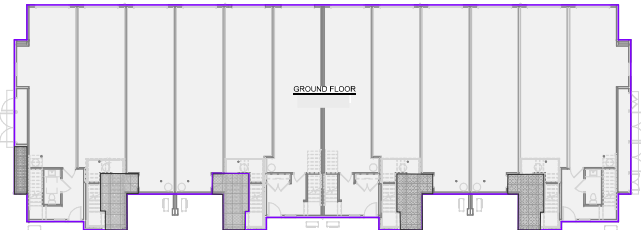
④ FOURTH FLOOR PLAN  
3/32" = 1'-0"



③ THIRD FLOOR PLAN  
3/32" = 1'-0"



② SECOND FLOOR PLAN  
3/32" = 1'-0"

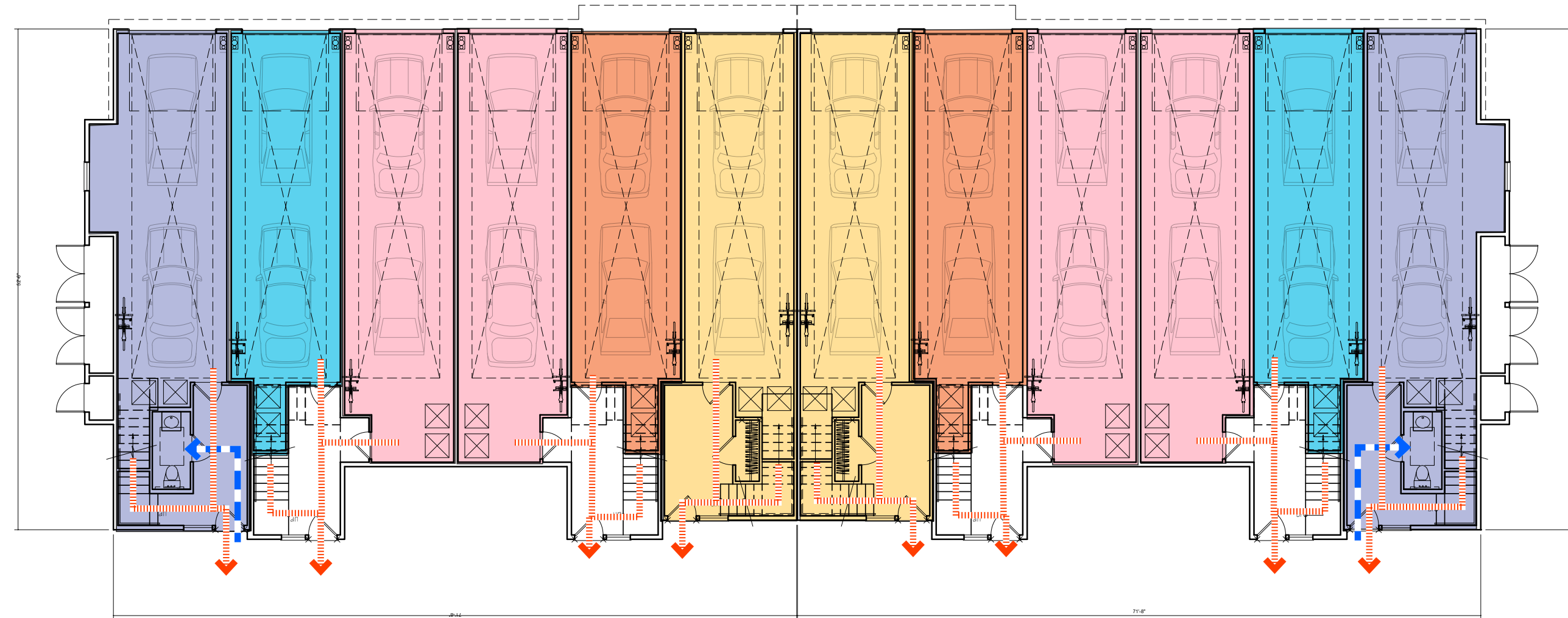


① GROUND FLOOR PLAN  
3/32" = 1'-0"

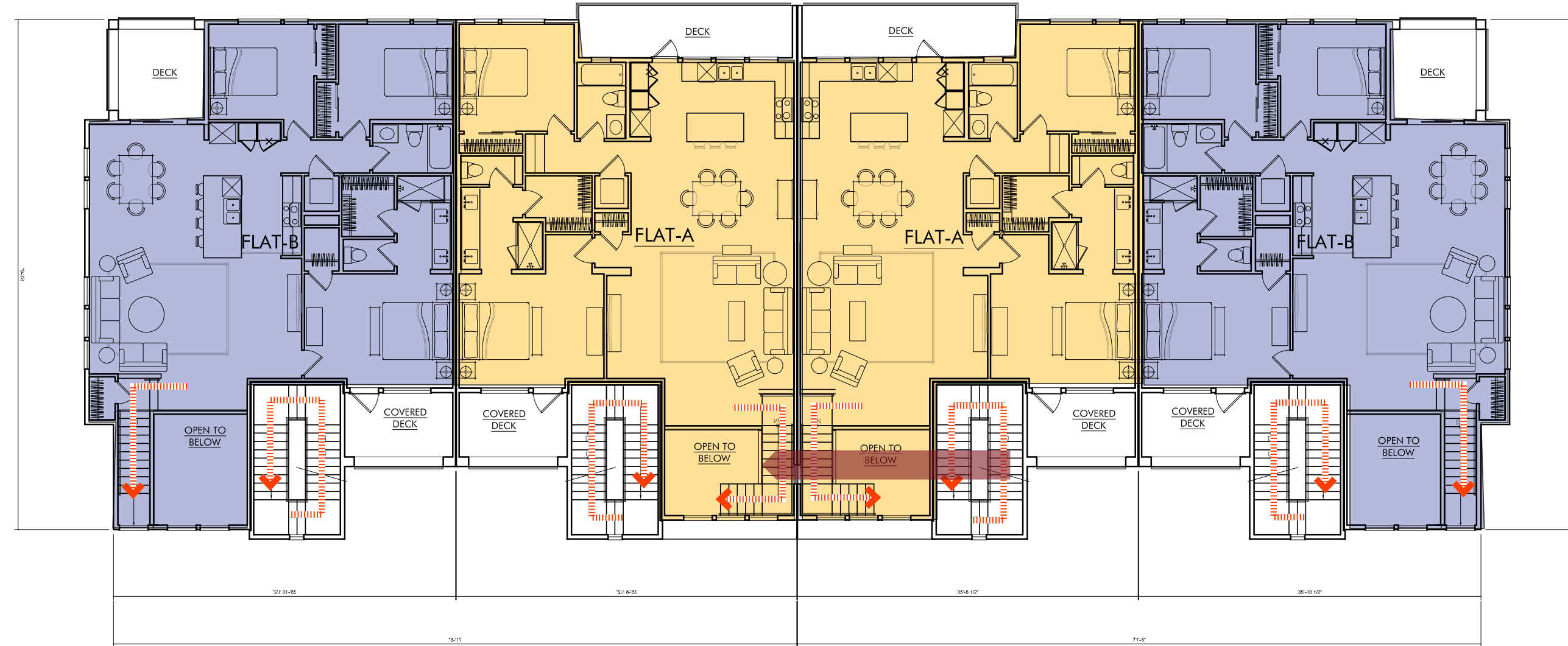
AREA INCLUDED IN PLANNING AREA  
CALCS





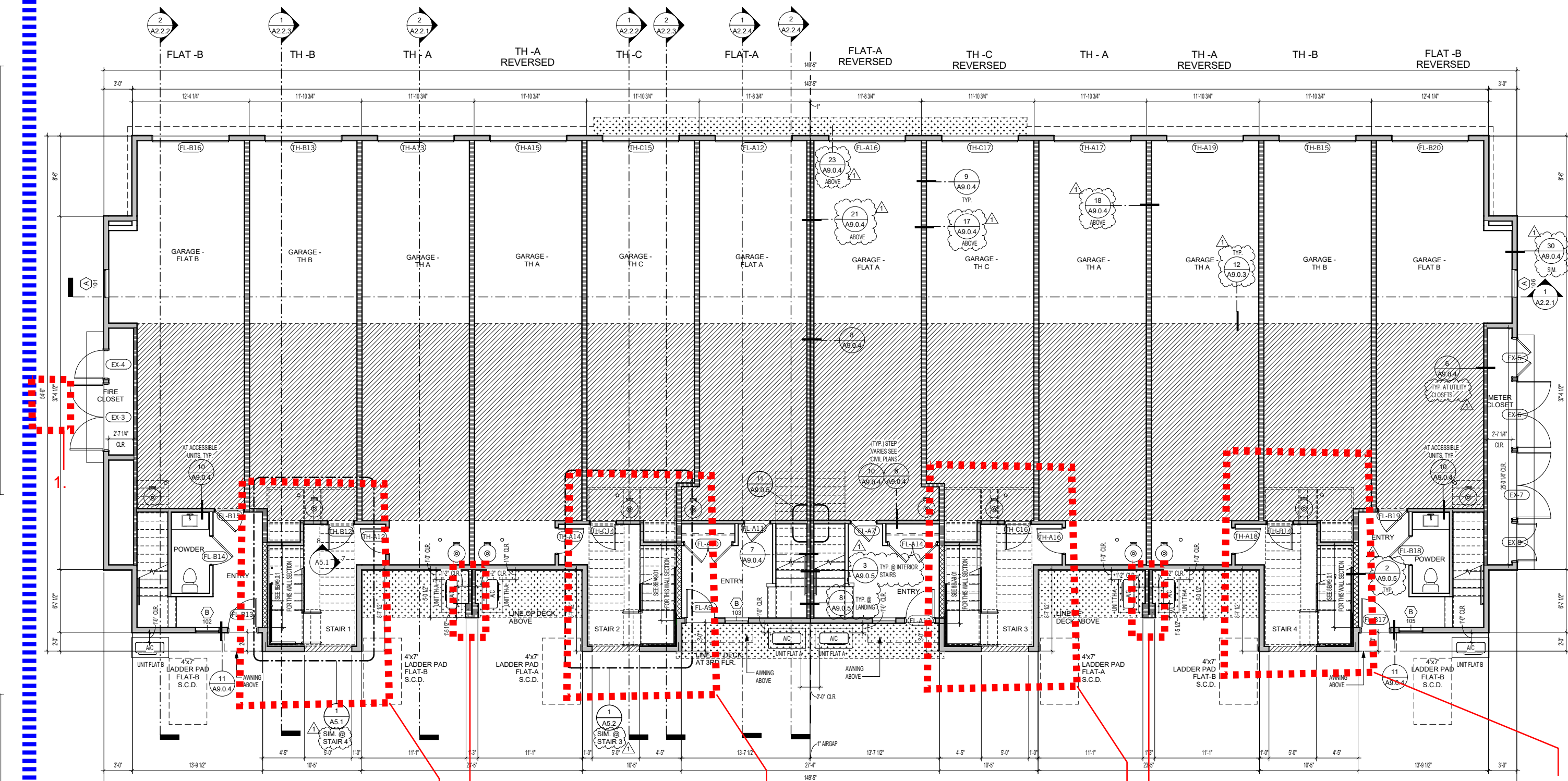


GROUND LEVEL PLAN

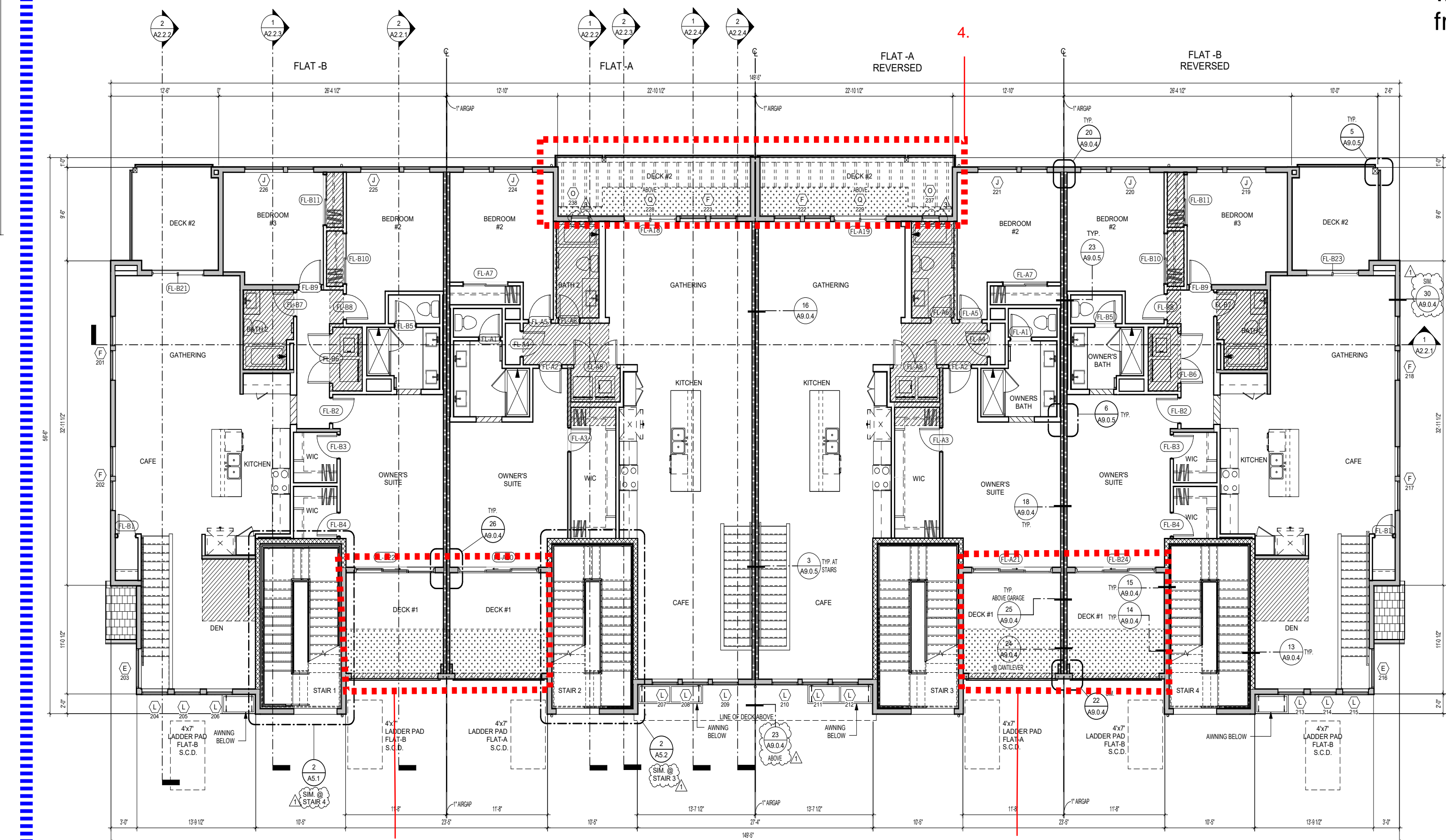


SECOND LEVEL PLAN

DAHLIN



GROUND LEVEL PLAN

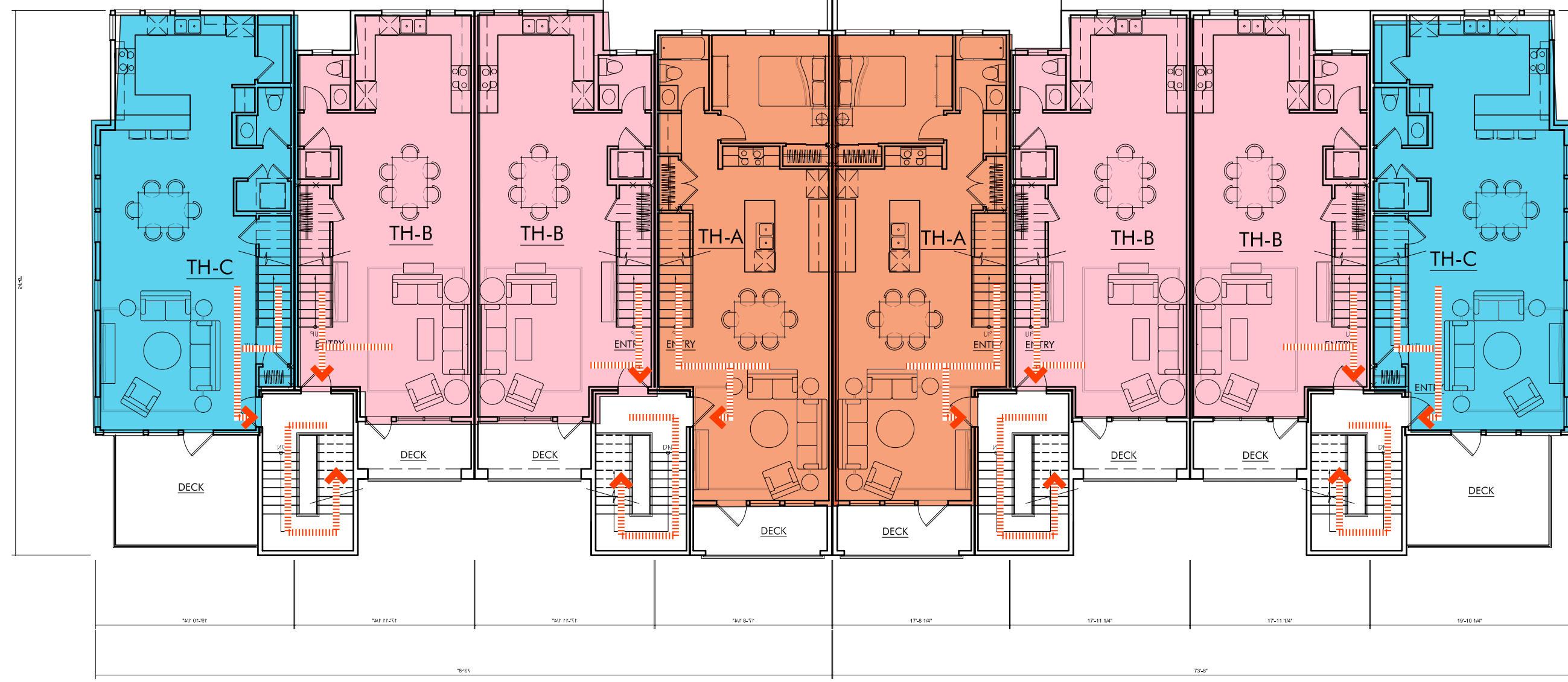


SECOND LEVEL PLAN

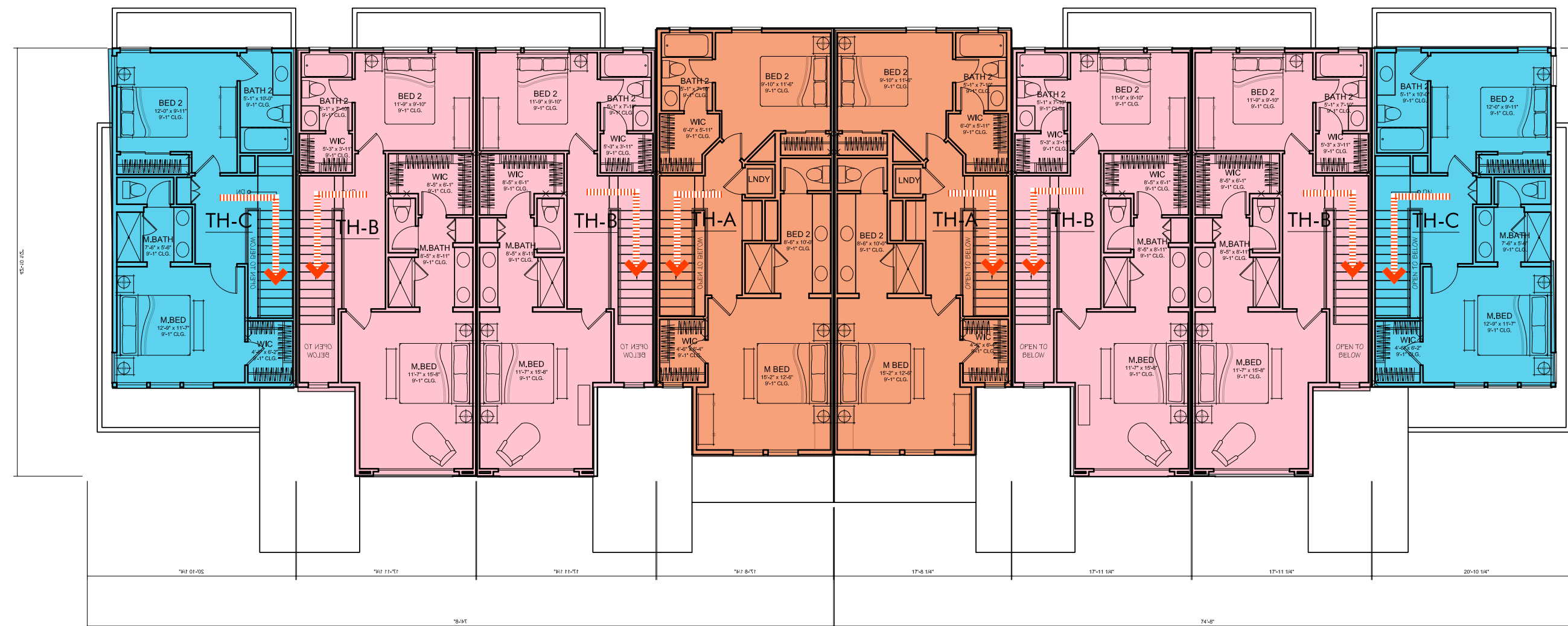
### List Of Revisions:

1. All common stairs within each building have been revised from enclosed stairs to covered open stairs to meet exiting requirement for TH units located on third floor. This revision allows stairs to be connected via egress balcony at third floor. The open stair required stair footprint to increase in depth by 1'-0".
2. Added framed structural wall to support balcony/decks on upper levels
3. Revised all patio/balcony unit doors from swing door to sliding door to maximize space in balcony and within the unit. Deck/balcony was extended to align with the egress balcony above. This does not impact the planning area calcs.
4. Revised metal trellis to structural weather treated wood and composite framing members.

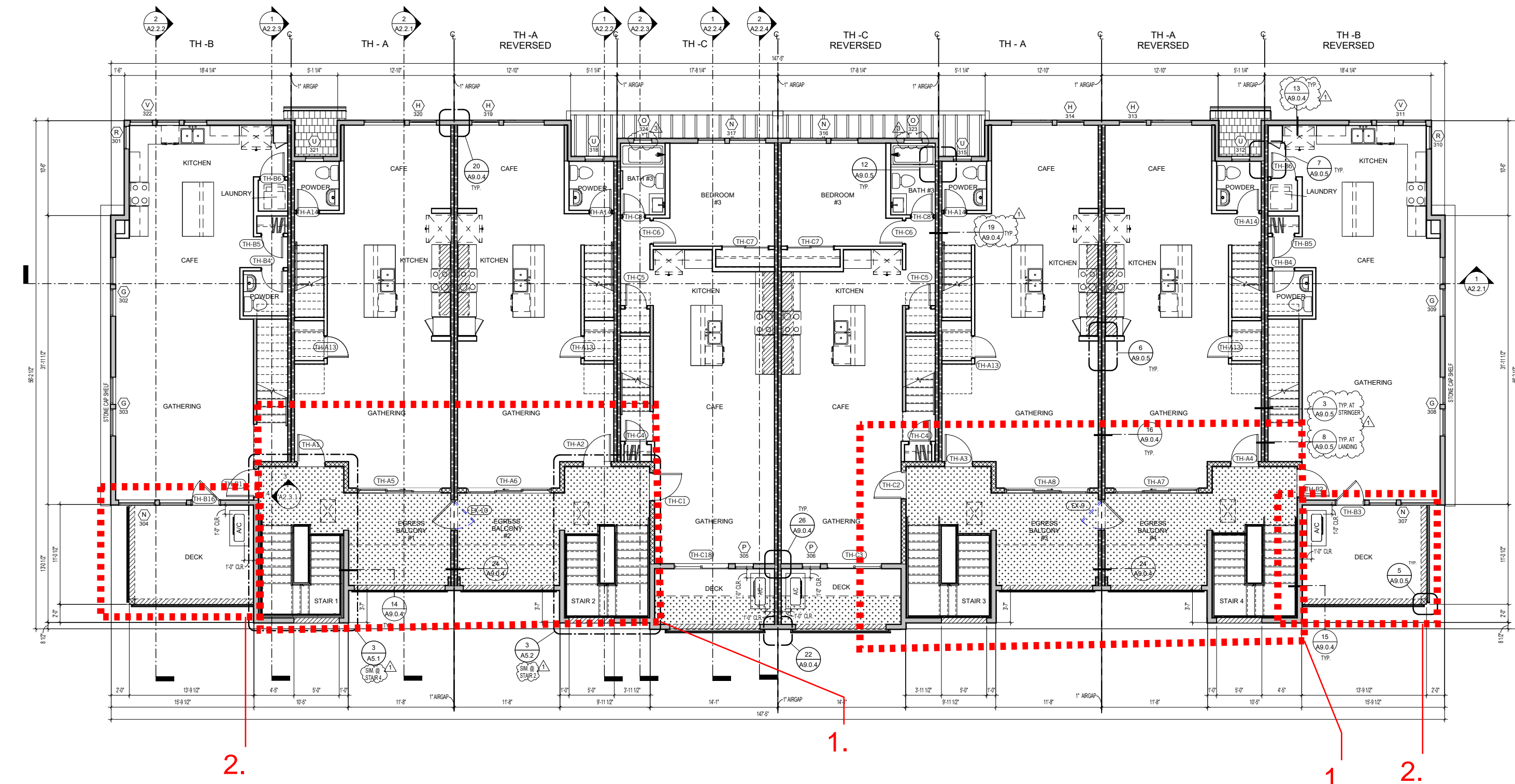




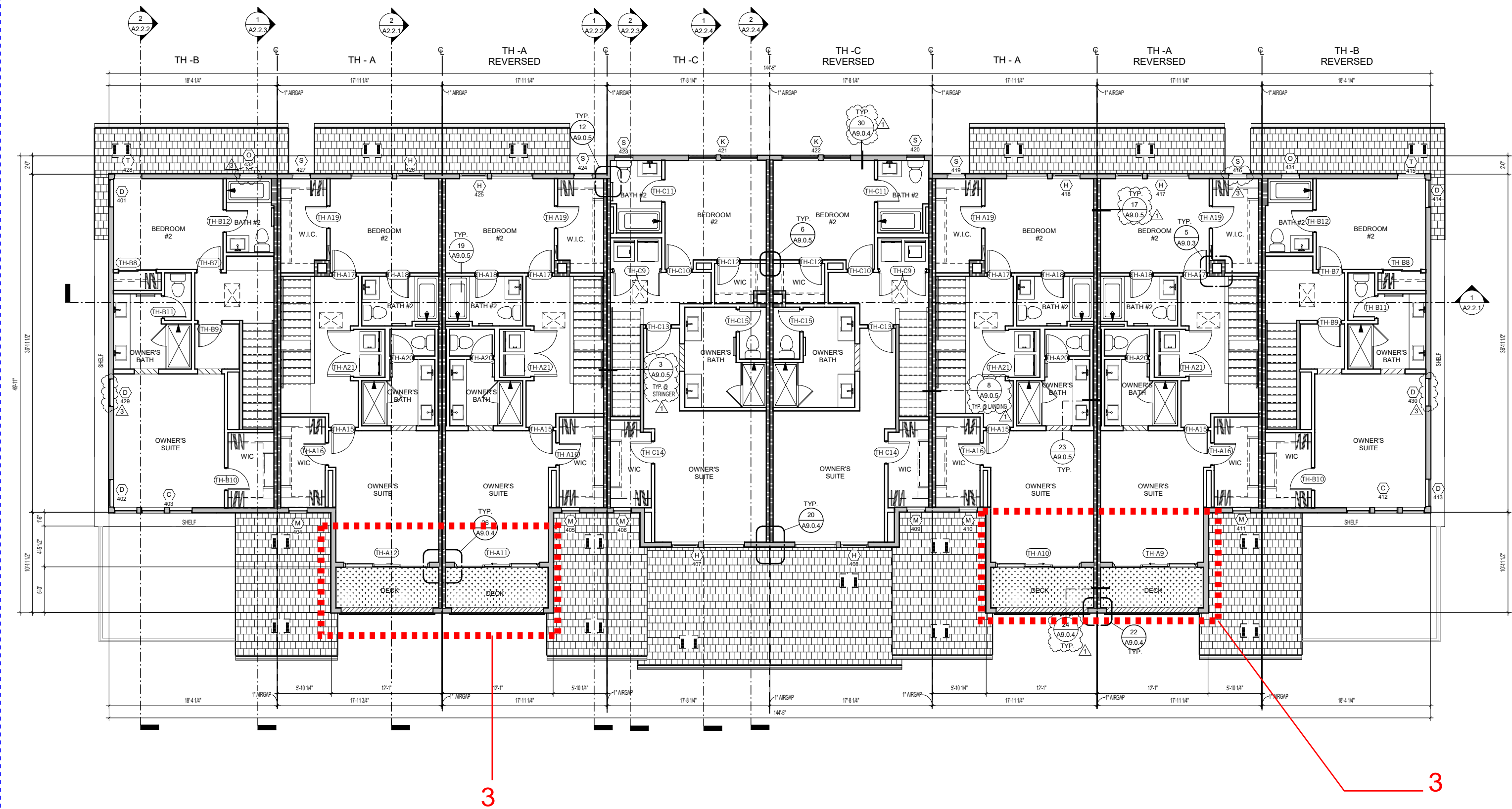
THIRD LEVEL PLAN



FOURTH LEVEL PLAN



THIRD LEVEL PLAN



FOURTH LEVEL PLAN

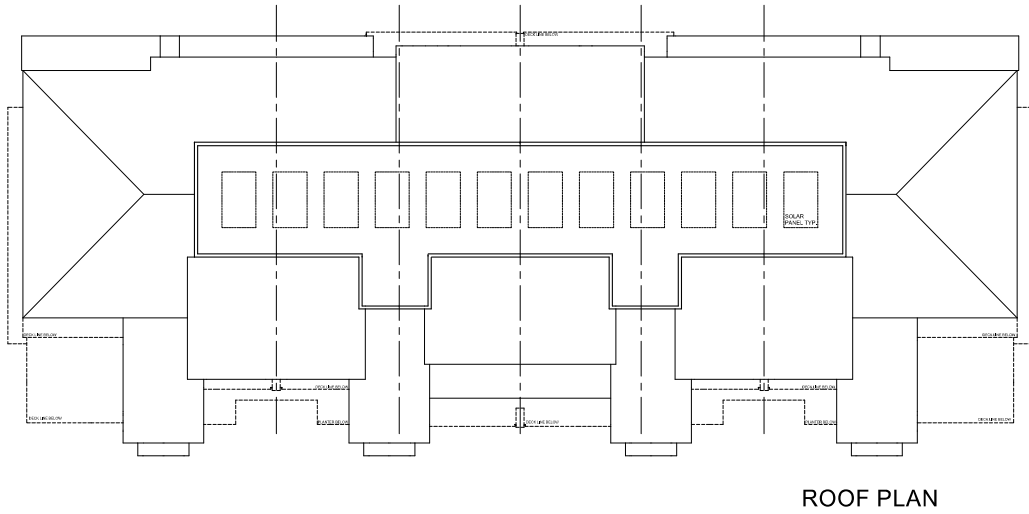
List Of Revisions:

1. Egress balcony at third floor connecting two exit stairs.
2. Enclosed balcony with Flat roof ILO trellis to prevent water intrusion in unit below.
3. Added private balcony on fourth floor for TH units since these units lost their private balcony on third floor to Egress balcony

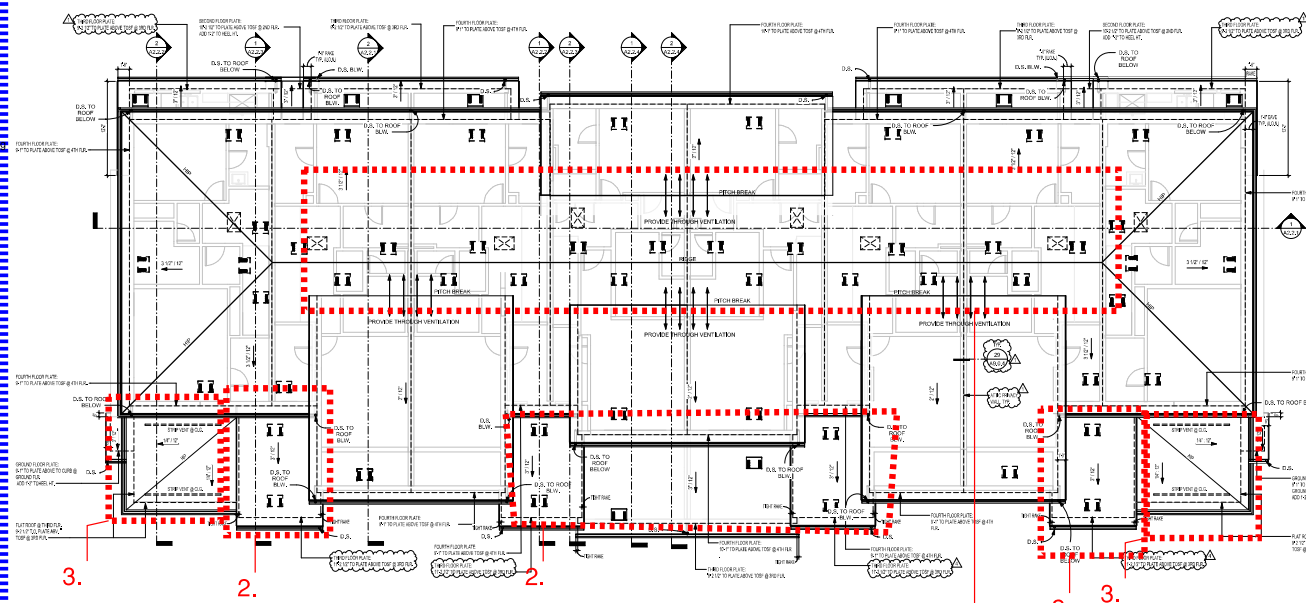
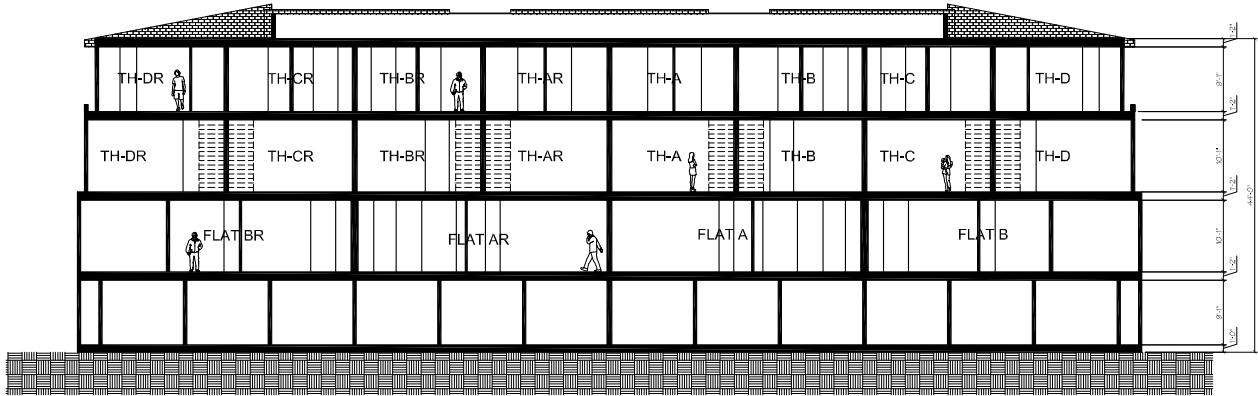
DAHLIN







Providing alternative to PV system, install 8x5 solar hot water systems on roof.



- List Of Revisions:
1. Revised roof from Mansard to Hip roof to aid in providing required solar area per T-24.
  2. Lower roofs have been revised from metal seam to cool roof Asphalt Shingles to match the main building roof. These revisions were required to meet SMC reach code plan check comments and T-24.
  3. Added flat TPO roof in lieu of trellis over balcony to prevent water intrusion in unit below.
  4. First floor plate height is revised to 9'-1", second floor plate height is revised to 10'-2 1/2", third floor plate height is revised to 9'-2 1/2" to accommodate floor sheathing and acoustic layer. Decrease in overall plate height since third floor changed from 10'-1" to 9'-2 1/2" height.



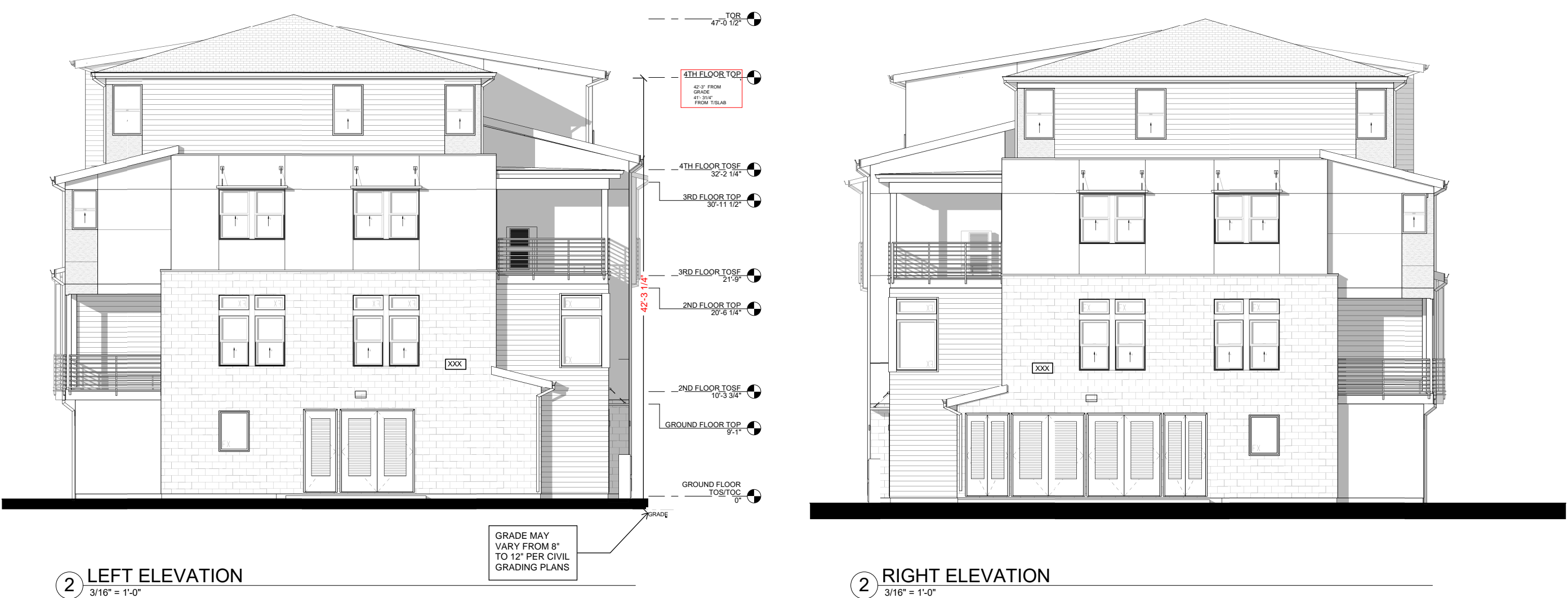
GRADE MAY VARY FROM 8" TO 12" PER CIVIL GRADING PLANS

4.





# PA MODIFICATION - INDIGO ROWS ELEVATIONS







**STRADA** **WATERS TECHNOLOGY PARK**  
INVESTMENT GROUP SAN MATEO, CALIFORNIA

12 UNIT ELEVATIONS CS-1

**DAHLIN**  
01-31-2019



List Of Revisions:

1. Revised roof from Mansard to Hip roof to aid in providing required solar area per T-24.
2. Lower roofs at front and rear have been revised from metal seam to cool roof Asphalt Shingles to match the main building roof. These revisions were required to meet SMC reach code plan check comments and T-24.
3. Added flat TPO roof in lieu if trellis over balcony to prevent water intrusion in unit below.
4. Common stairs revised to have wall openings without any windows or doors to meet open stair requirement per building code.
5. Planter walls were removed to comply with updated site development plans and bio-swale locations. AC units are located in this area and will be screened with planting per landscape plans.
6. Canopy from second and third floor windows have been removed to avoid conflicts with ladder pad locations.
7. Added private balcony at fourth floor above egress balcony per direction from planning
8. Electrical closets were extended to meet PGE clearances.
9. Metal trellis has been changed to wood composite trellis framing members.
10. All Windows color has been revised to Tan color. Bottom transom windows from all floors have been removed due to height limitations and floor assembly. Upper transom windows have been removed from third floor due to height limitations. All windows have been revised to show single hung operation, fixed or slider to meet adequate egress requirements.
11. Please note the stucco panels will have expansion joints and reveals that may vary from how it is shown in these renderings. We do not have any cementitious panels or trim on this building type since it is not a rated material. We have stucco and tile cladding.







LEFT ELEVATION



FOR BUILDING HEIGHT  
DIMENSIONS PLEASE  
SEE SHEET B-6

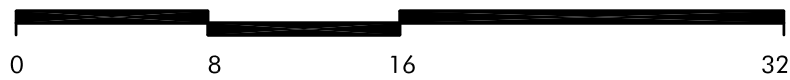
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION





PA MODIFICATION -INDIGO CURRENT ELEVATION PLAN CHECK SHEETS # 274201 FOR REFERENCE



EXTERIOR ELEVATION KEYNOTES	
Material Tag	Description
06-01	FERROGLASS FRONT ENTRY DOORSS, TYP.
06-02	GLASS DOORS
06-03	UTILITY DOORSS
06-04	PORCELAIN TILE TYP.
06-05	2-COAT PAINT SYSTEM (SAND FINISH) - SEE ELEVATION NOTES
06-06	3-COAT STUCCO SYSTEM (SMOOTH FINISH) - SEE ELEVATION NOTES
06-07	METAL STEEL AIRRAIL
06-08	COMPOSITION VINYL ROOFING - SEE ROOF PLAN
06-09	FLAT ROOF WITH TPO ROOFING
06-10	MAINTAINED LIMESTONE TILE VENUE, TYP.
06-11	TYP. BRICKS
06-12	PRECASTED CONCRETE - SEE STRUCTURAL DRAWINGS

**LEGEND**

### ELEVATION NOTES

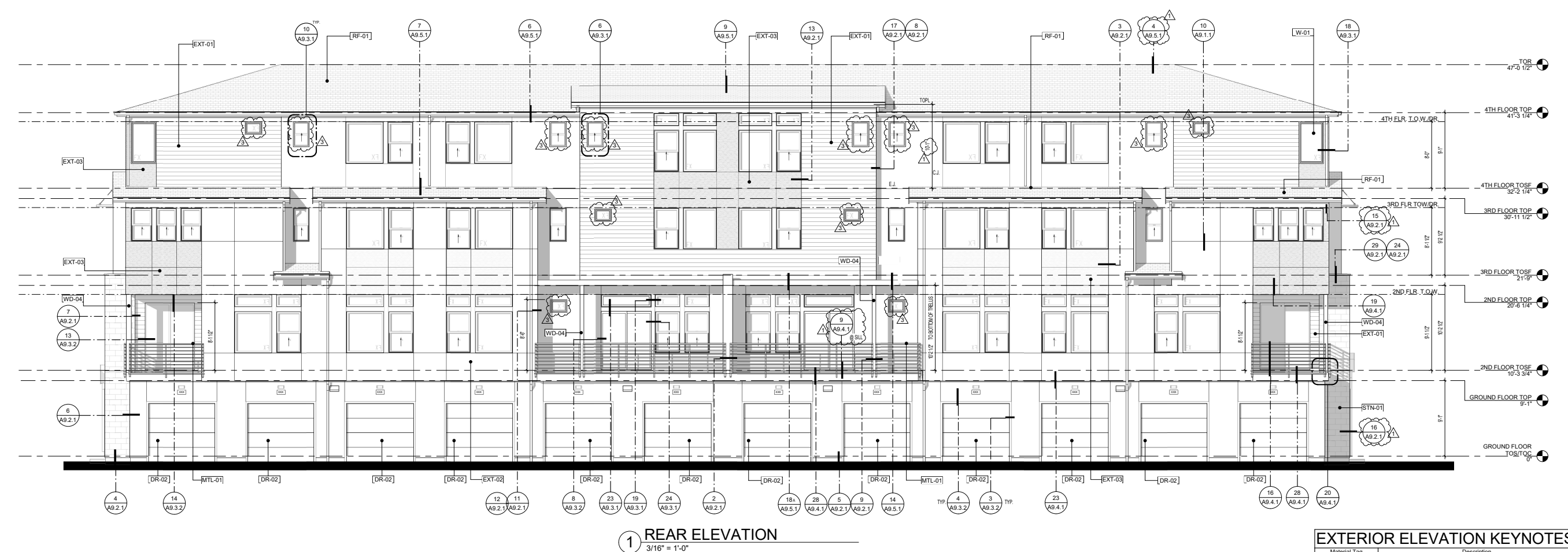
- [illegible]

INDIGO AT ONE 90  
(PREVIOUSLY WATERSTECH PARK - ROWS)  
SAN MATEO, CA

1ST BLDG. SUBMITTAL	12.02.1
2ND BLDG. SUBMITTAL	03.06.2
<b>REVISIONS</b>	
1 In-house PC	01.03.2
3 Pulte Revisions #1	02.10.2
4 City Plan Check #2	07.01.2
5 Pulte Revisions #2	07.09.2

JOB NO.		396.02
DRAWN		RC/YZ/A
CHECK		E
EXTERIOR ELEVATIONS		

SHEET  
A2.3.1



EXTERIOR ELEVATION KEYNOTES		
Material Tag	Description	
LC01	FIELD GLASS FROM ENTRY DOORS: TYP.	
WG02	WARMED GLASS	
DL03	3/4" ITY GLASS	
PL11	POCKLE TILE	
FL01	FLOOR TILE SYSTEM (SAND FINISH - SEE ELEVATION NOTES)	
FL13	LOCOT STUCCO SYSTEM (SMOOTH FINISH - SEE ELEVATION NOTES)	
ME13	METAL STEEL ANCHOR	
RF02	COMPOSITION SINGLE ROOFING - SEE ROOF PLAN	
RF02	FLAT ROOF WITH TYPICAL ROOFING	
ST01	STAINLESS STEEL TIE ANCHOR TYP.	
WG01	WARM WINDOW TYP.	
WG04	WARM GLASS TYP. - SEE EXTERIOR GLASS ANCHORS	

**LEGEND**

 ELEVATED  
SEE ELEVATION

## ELEVATION NOTES

- [illegible]

INDIGO AT ONE 90  
(PREVIOUSLY WATERTECH PARK - ROWS)  
SAN MATEO, CA

1ST BLDG. SUBMITTAL	12.02.11
2ND BLDG. SUBMITTAL	03.06.20
<b>REVISIONS</b>	
1 In-house PC	01.03.20
3 Public Revisions #1	02.10.20
5 Public Revisions #2	07.09.20

SEAL / SIGNATURE	
JOB NO.	395.021
DRAWN	RC/YZ/AC
CHECK	EE
EXTERIOR ELEVATIONS	

SHEET  
A2.3.2



10-7-20

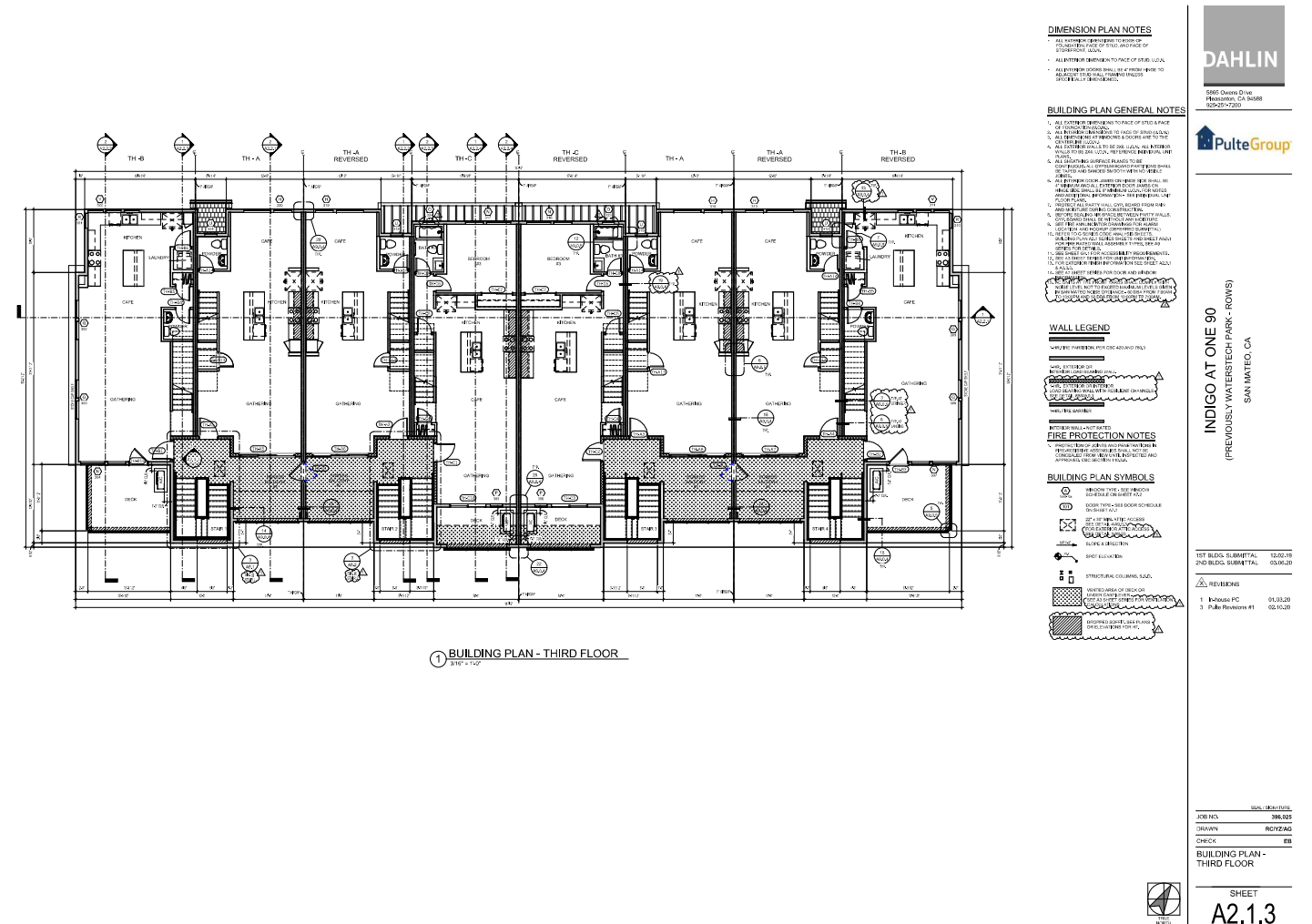
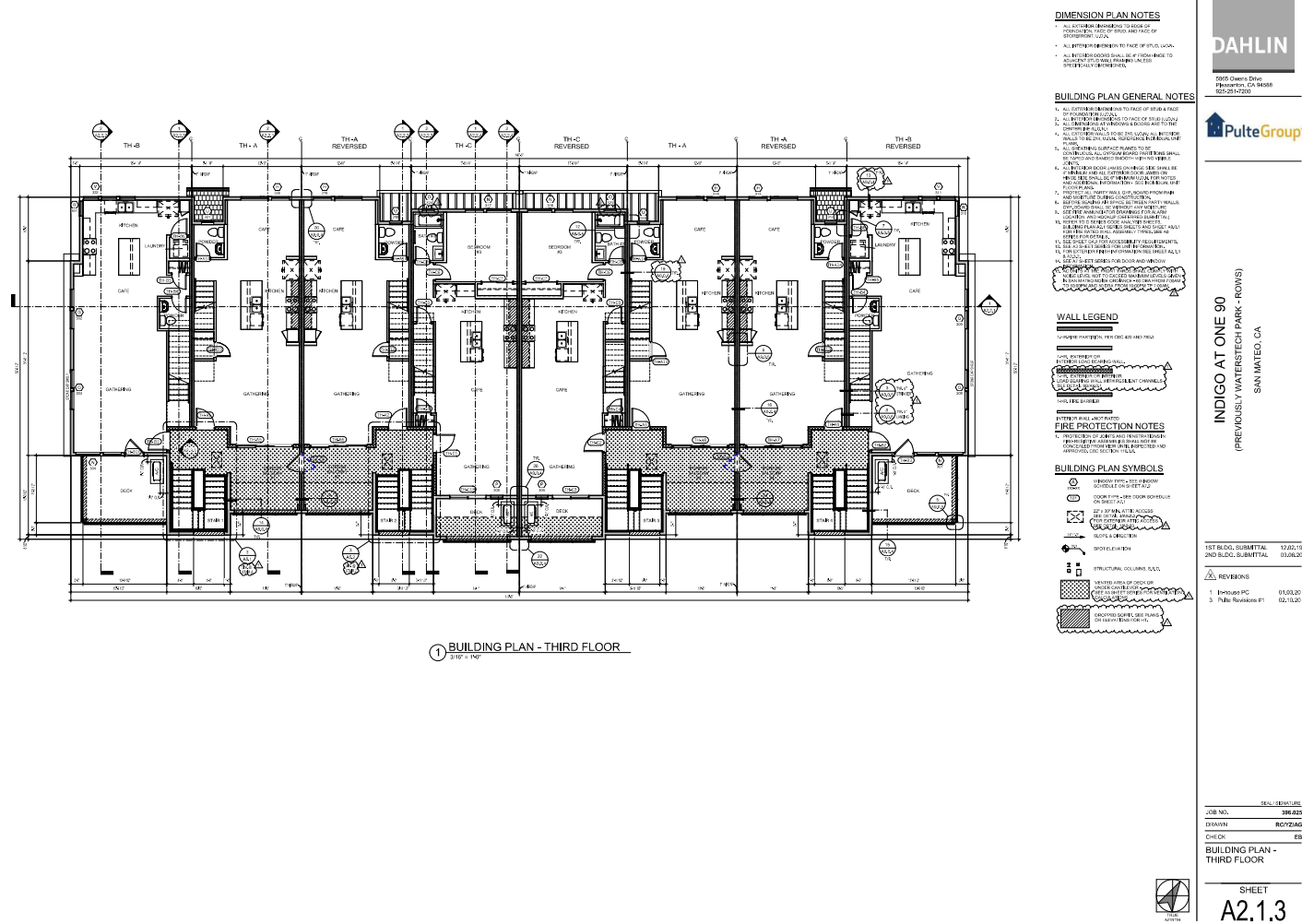
# B-9

# ONE 90 - PLANNING MODIFICATION APPLICATION

SAN MATEO, CA



PA MODIFICATION -INDIGO THIRD AND FOURTH FLOOR PLAN CHECK SHEETS # 274201 FOR REFERENCE

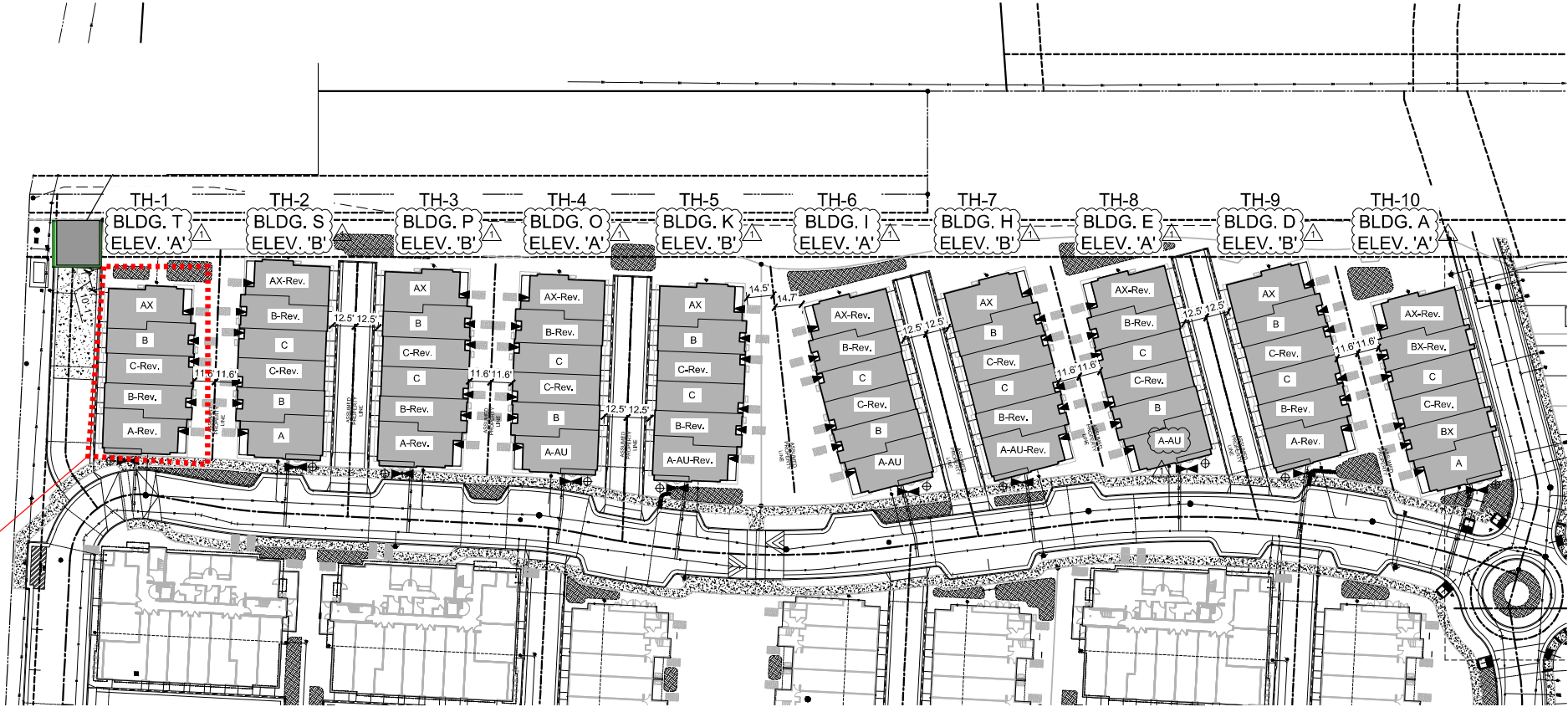




PA MODIFICATION - SLATE TOWNHOMES REVISIONS SUMMARY

Plan Types	Number of units on site	Living Area s.f. (measured to exterior stud)	Garage	#stories	Garage # cars	Balcony	# of bedrooms	# of bathrooms
Unit A	10	2065	473	3	2 Car side by side	157	3	2.75
Unit AX	10	2088	429	3	2 car tandem	157	4	3.5
Unit B	18	1602	428	3	2 car tandem	155	2	2.5
Unit B in TH 10	2	1568	477	3	2 car tandem	200	2	2.5
Unit C	19	1546	429	3	2 Car tandem	97	2	2.5
Total number of units	59							
Total number of Buildings	10	(1) 5 unit building and (9) 6 unit building)						

Area of revision			Before	After	Summary of revisions and reasoning
			PA 18-013	PA mod. Application	
Slate -3 story Townhomes- 5 and 6 plex building	Height	Bldg Height from grade to third floor T/ plate	29'-7" (elevation sheet) 31'-9" (section sheet)	30'-7" -with 14 3/4" floor assembly including 3/4" sheathing at each floor per standard construction practice.	PA 18-013 section and elevation heights vary and did not account for accurate floor assembly. The original elevation sheet also shows 8'-1" from grade to top of plate at first floor which is not building code compliant as it does not account for slab thickness or utility soffits.
			Plate height at each floor	8'-1", 10'-1", 9'-1"	
	Massing and floor plan revisions	Massing	N/A	N/A	Window assembly includes single hung and fixed windows in white or tan color. Removed Awnings at rear elevation on second floor to avoid conflict with fire ladder placement. Minor window configuration revisions to accommodate livability, egress or structural shear alignment. These revisions apply to both elevation styles.
	Window and Awnings	Windows and Awnings			
	Planning area per SMC 27.04.200	Planning area per SMC 27.04.200	N/A - Refer to Sht A0.1 and A2.3 - both sheets have different data.	Please see side by side comparison in PA modification application sheet C-2	
	Building Footprint- 6 plex	width and depth at first floor	not available	107'-4"x 47'-10	In PA 18-013 first floor dimensions were not included. Dimensions that were included did not measure to exterior projections.



5 PLEX SLATE TOWNHOME BUILDING





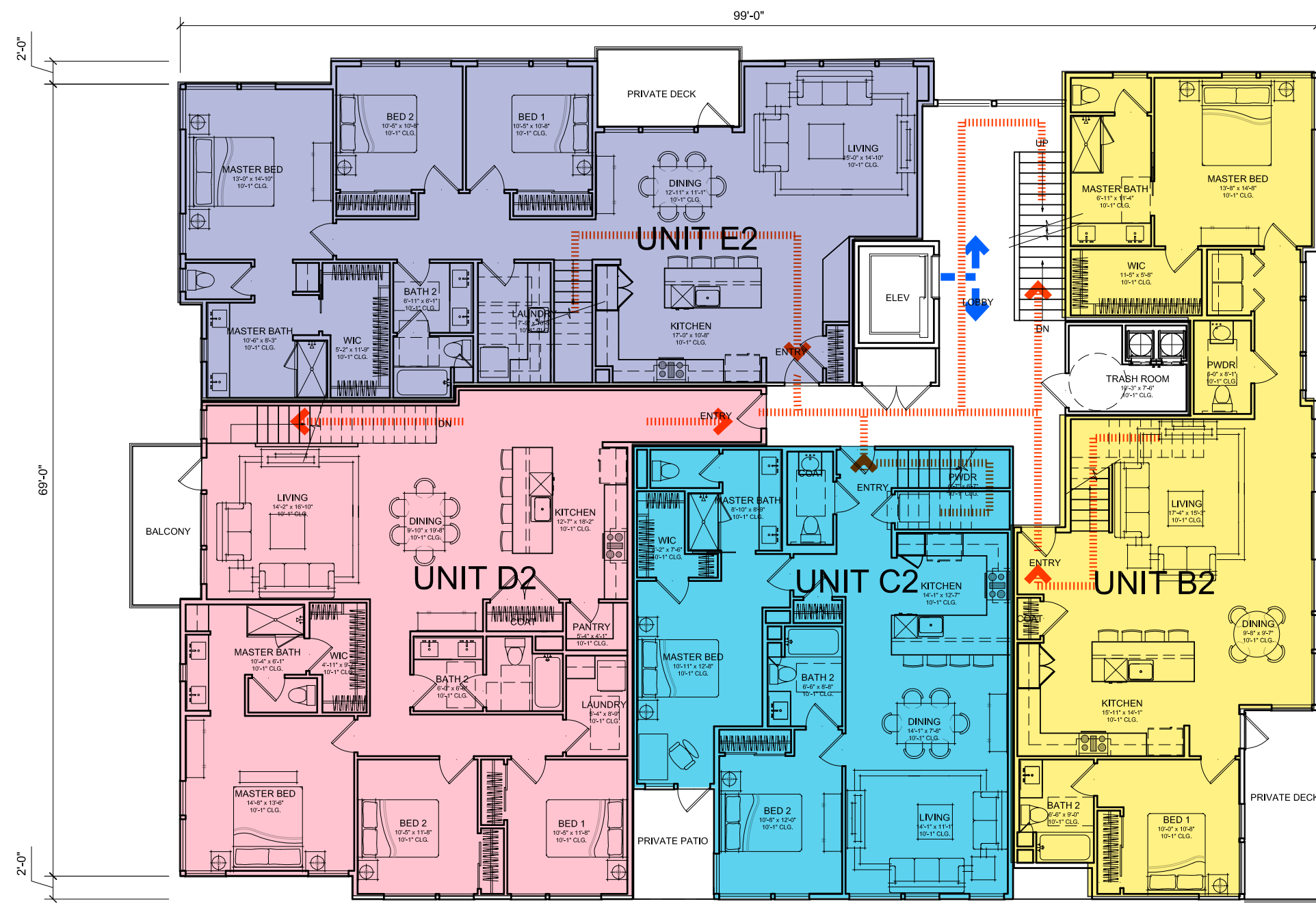


SLATE - ELEVATION  
STYLE A - 6 PLEX  
FRONT ELEVATION

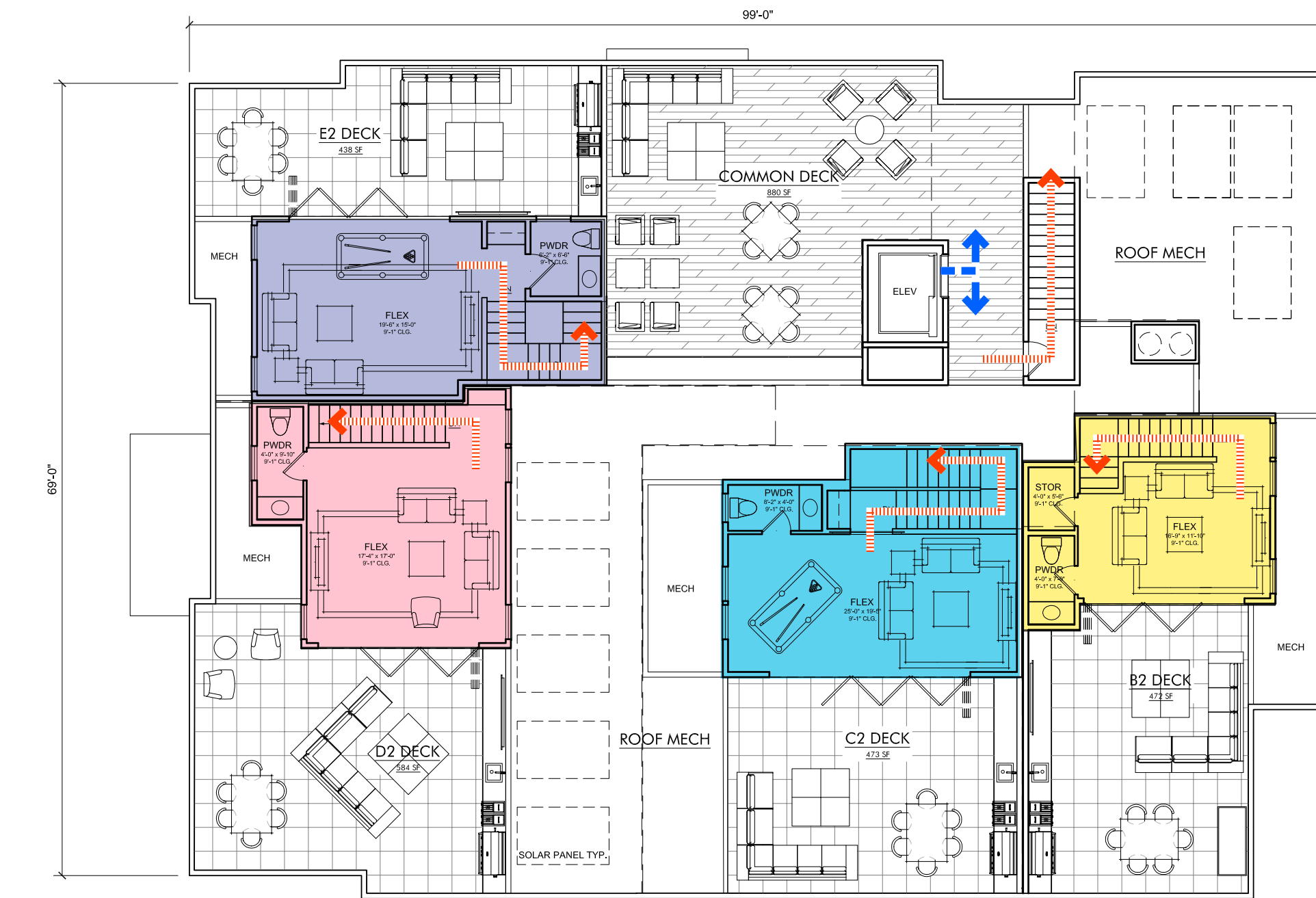


SLATE - ELEVATION  
STYLE B- 6 PLEX  
FRONT ELEVATION





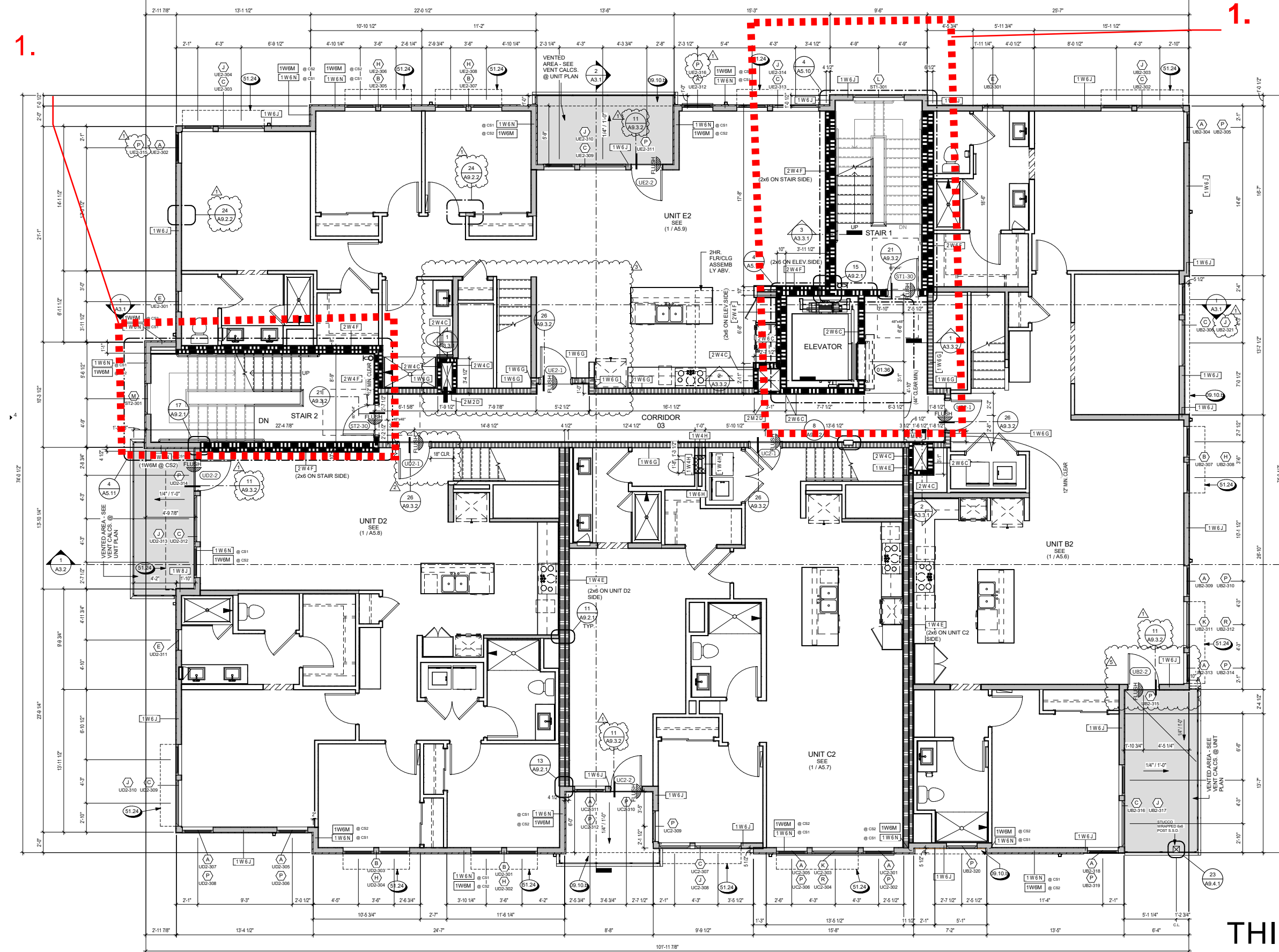
THIRD LEVEL PLAN



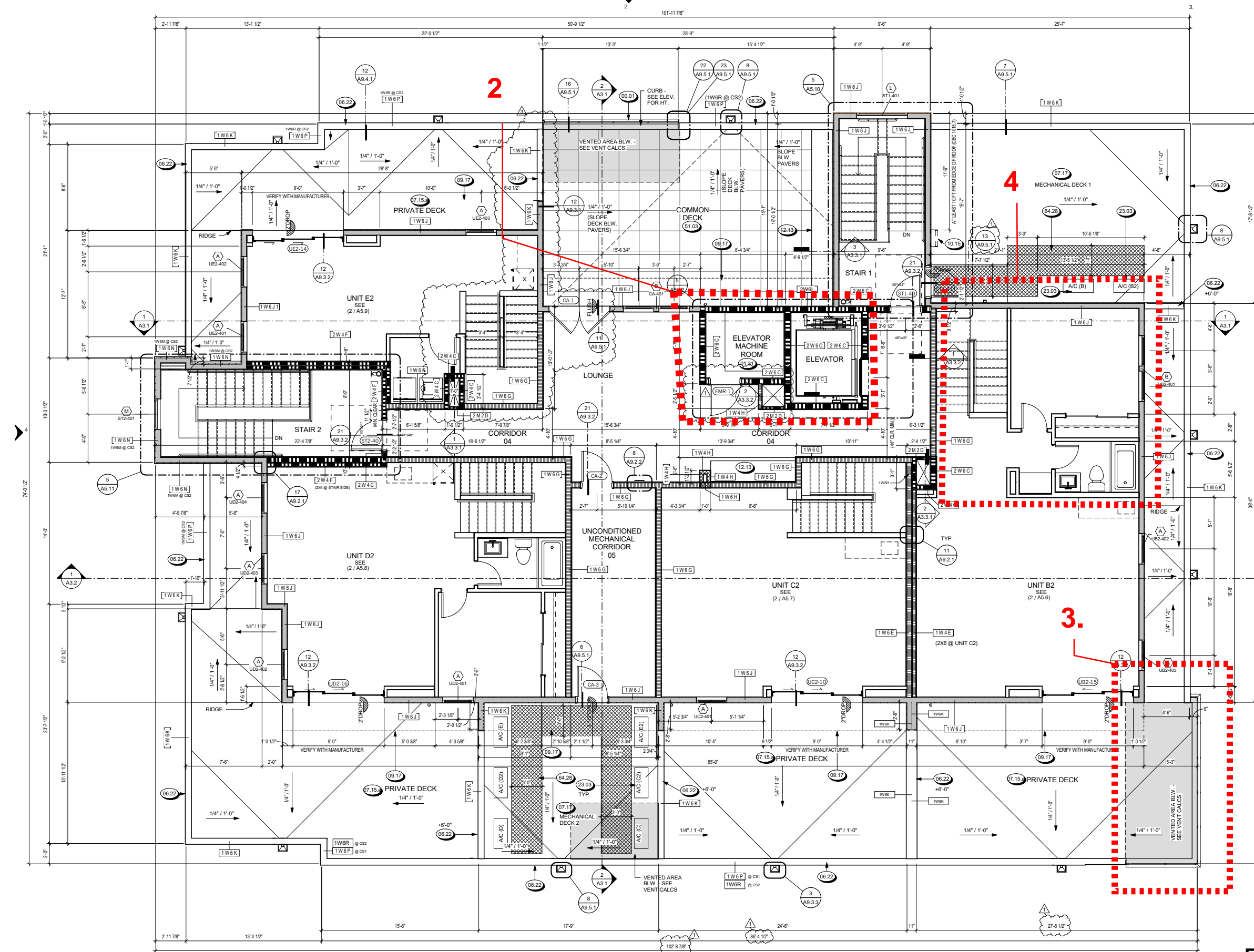
ROOF LEVEL PLAN

Providing alternative to PV system, installing 8'x 5' solar hot water systems on roof.

DAHLIN



THIRD LEVEL PLAN



ROOF LEVEL PLAN

List Of Revisions:


1. Reconfigured common hallway and exit stair to meet code compliance on all floors.
2. Extending both stairs to roof deck and added elevator mechanical room.
3. Reconfigured private roof deck by relocating the guard rails to the exterior corner for structural constructability
4. Extended living area for unit B2 to accommodate interior stairs. Created an accessible elevator vestibule

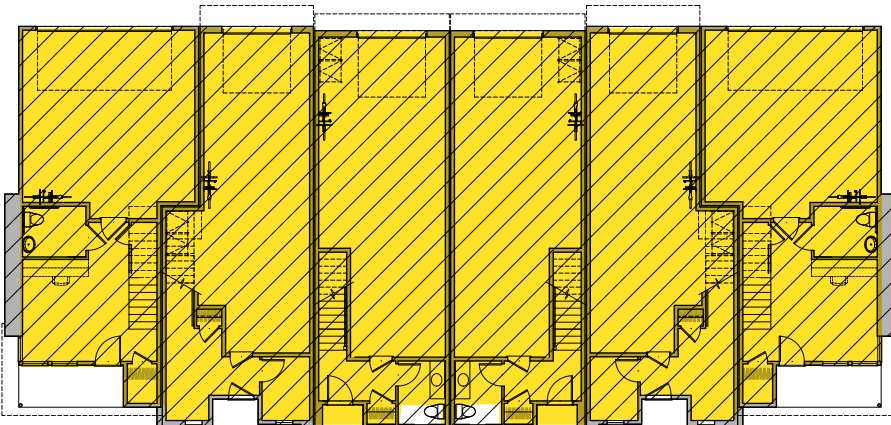


CBC BUILDING AREA CALCUATIONS

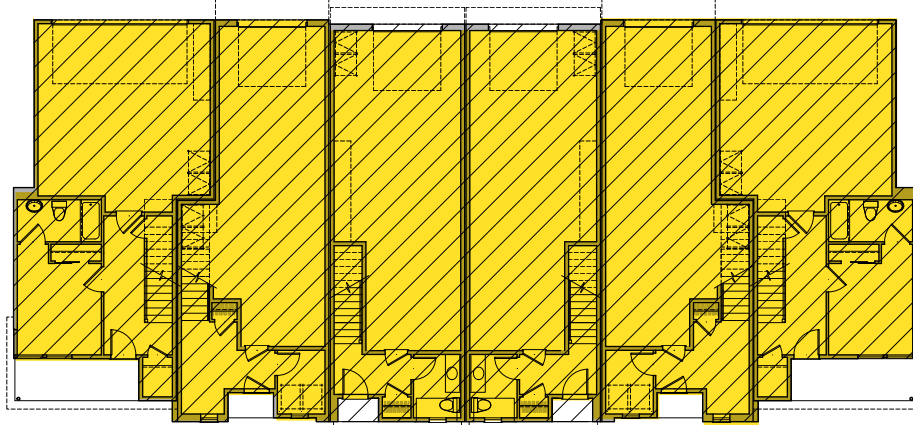
LEVEL 1: 4,935
LEVEL 1 TH-10: 5,054
LEVEL 2: 4,960
LEVEL 3: 4,409

PLEASE NOTE THAT THESE VALUES ON SHT A 2.3 DO NOT MATCH AREA CALCS ON SHEET A0.1 IN ORIGINAL PLANNING APPLICATION

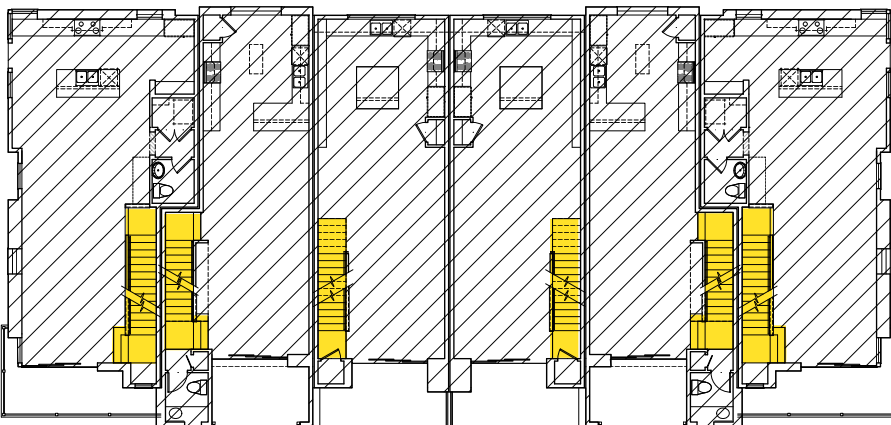
GROSS FLOOR AREA (GROSS BUILDING AREA)	
LEVEL 1: 4,674 (4,674)	
LEVEL 1 TH-10: 4,716 (4,716)	
LEVEL 2: 4,181 (4,569)	
LEVEL 3: 4,242 (4,559)	
 GROSS FLOOR AREA	



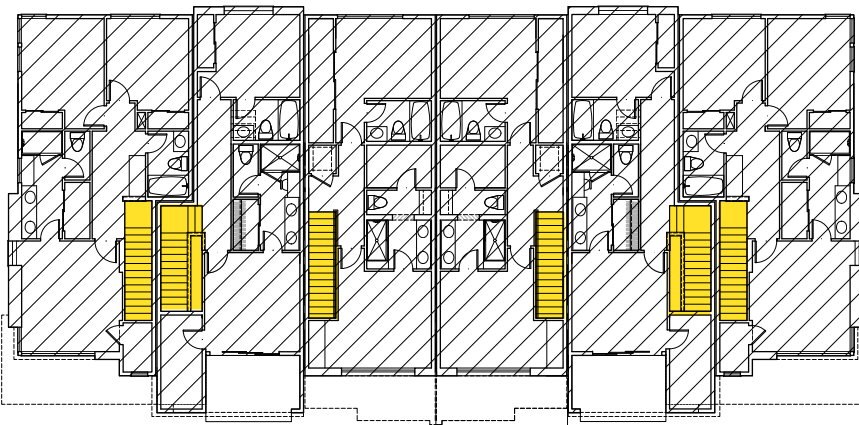
FIRST LEVEL PLAN



TH-10 FIRST LEVEL PLAN



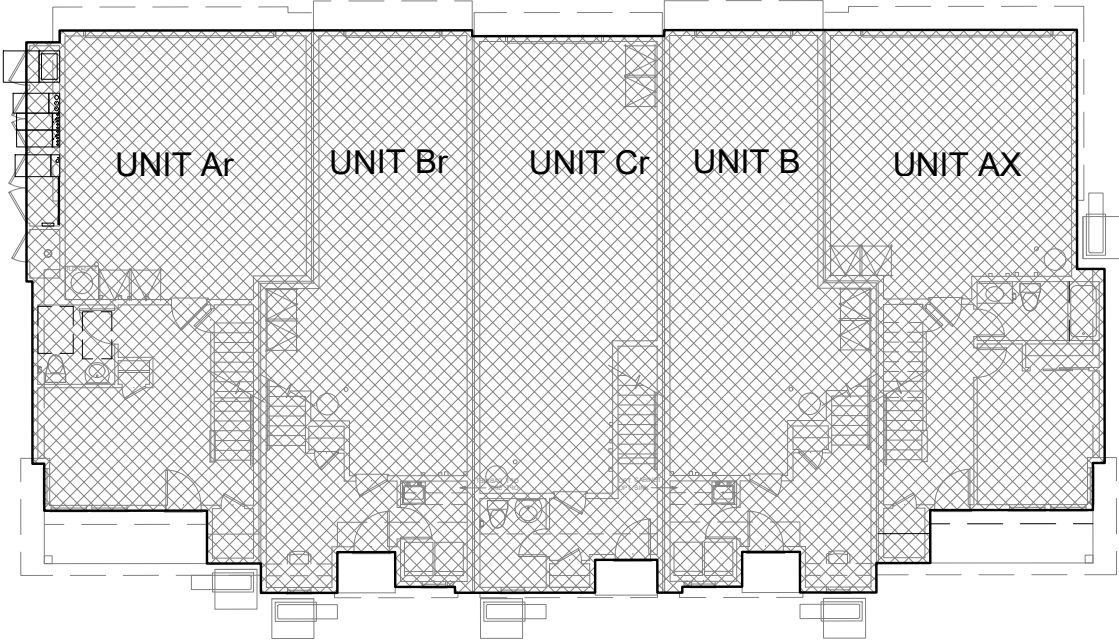
SECOND LEVEL PLAN



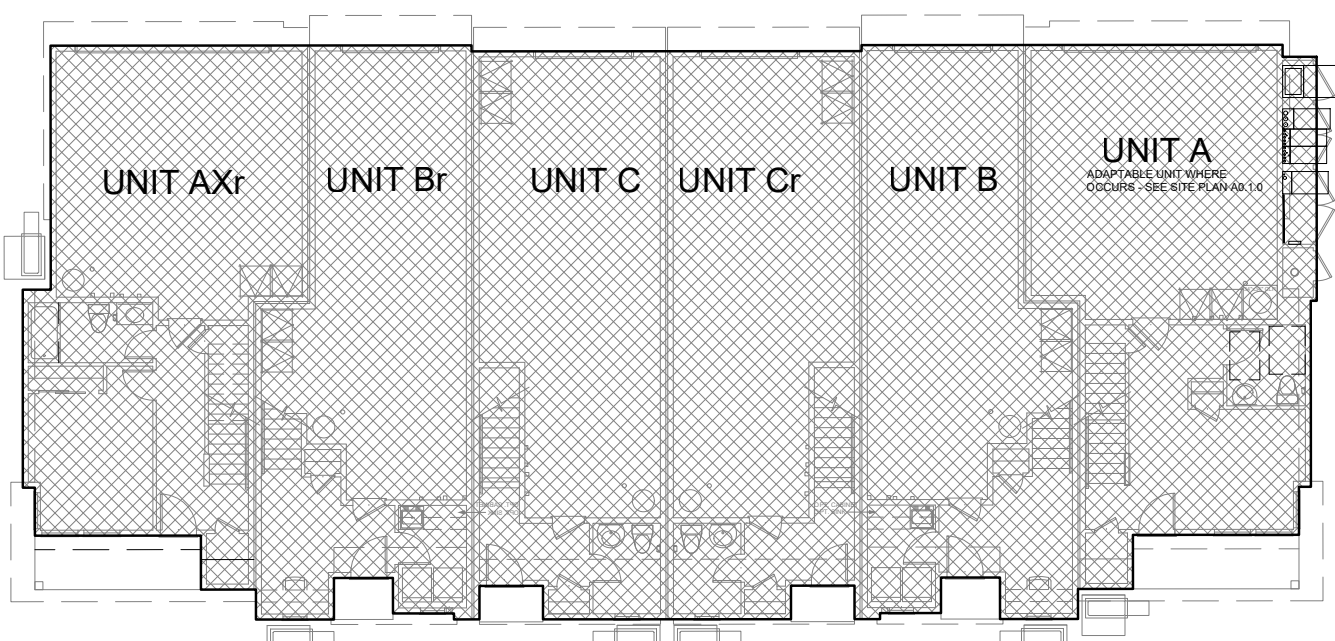
THIRD LEVEL PLAN

THESE ARE AREAS FROM SHEET A0.1 PA18-013

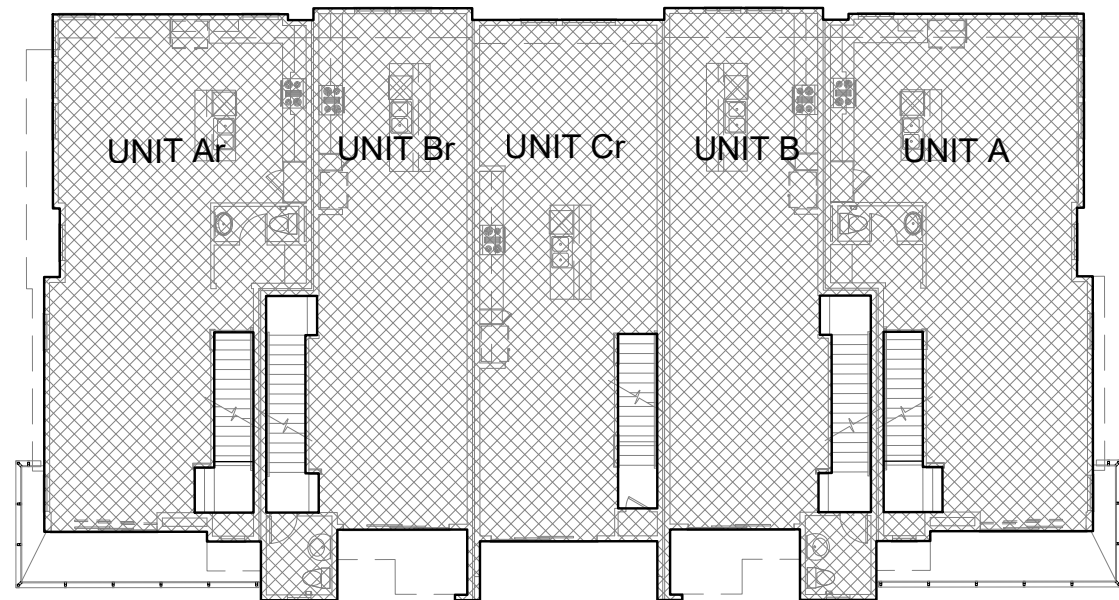
	Before	After	Before	After	Before	After	Notes
Building Type	Gross Floor area/building Sht A0.1- PA 18-013 (S.F.)	Gross Floor area per SMMC 27. 04.200 (S.F.)	Building count/unit count		Total Floor area sf. per building type	Total Floor area (S.F.). per building type	
6 unit- Slate 6 plex/ 6 plex alt(TH10) / 5 plex	13436/13587	13455/13412/11349	10 Bldgs/ 60 DU (9) 6 plex (1) 6 plex alt(TH 10)	10 bldgs/ 59 DU (8) 6 plex buildings (1) 6 plex alt( TH 10) (1) 5 plex	134511	132401	
First Floor	4562/4713	4723/4723/3965					Original planning application has a significant error in area calculation of first floor between 6 plex and 6 plex alt TH 10
Second Floor	4454/4454	4363/4320/3691					
Third Floor	4420/4420	4369/4369/3693					



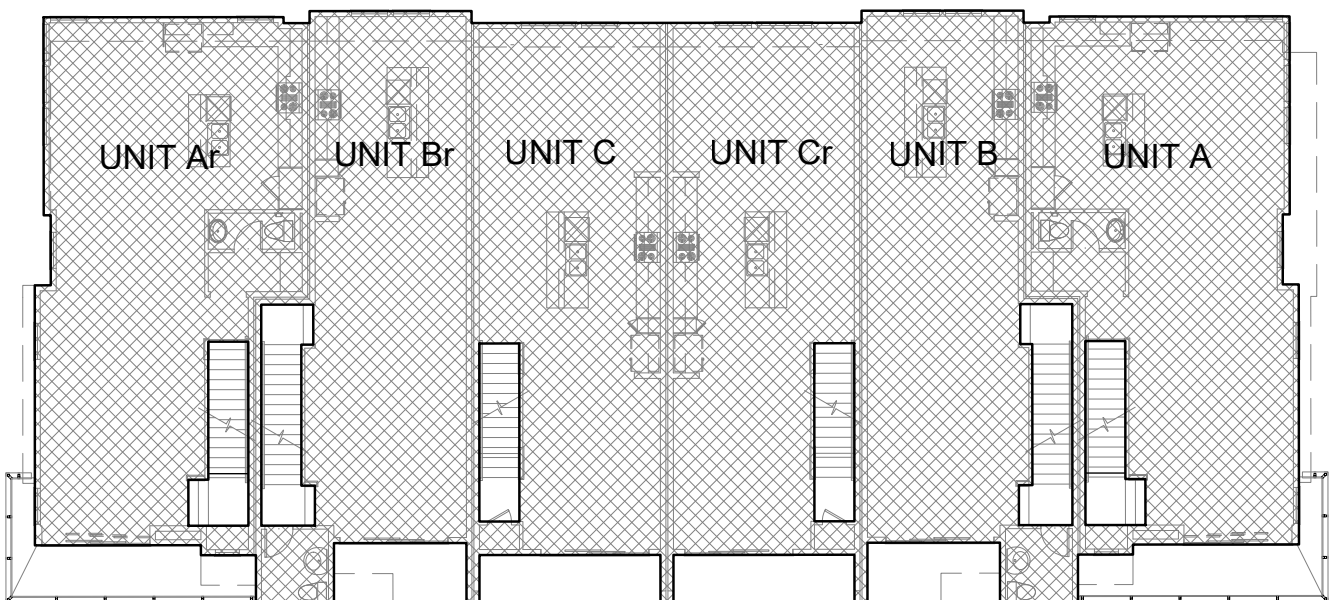
5-PLEX FIRST FLOOR



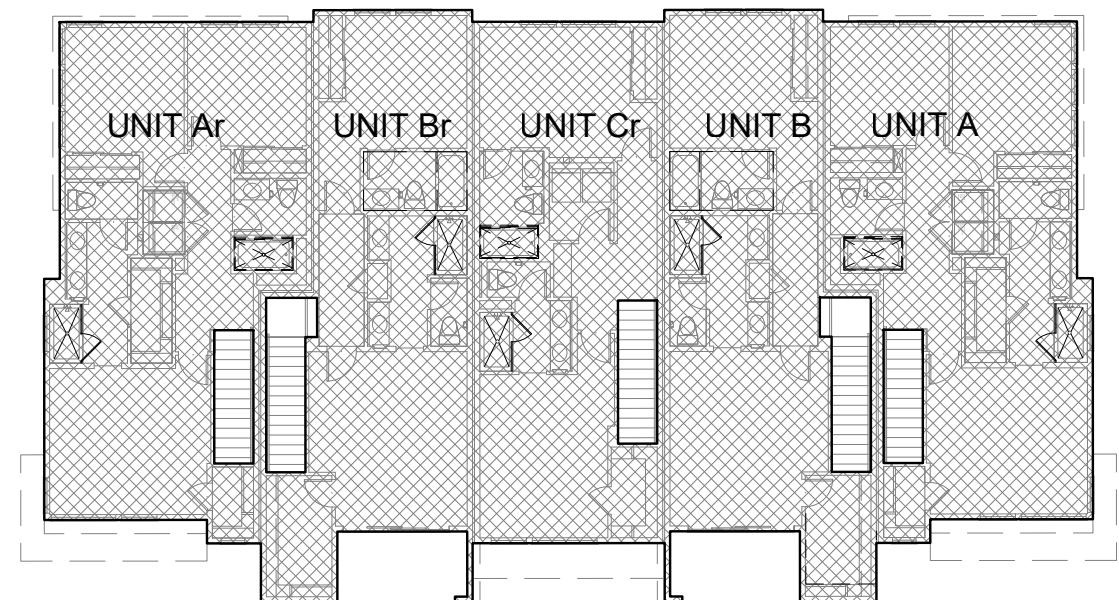
6-PLEX FIRST FLOOR



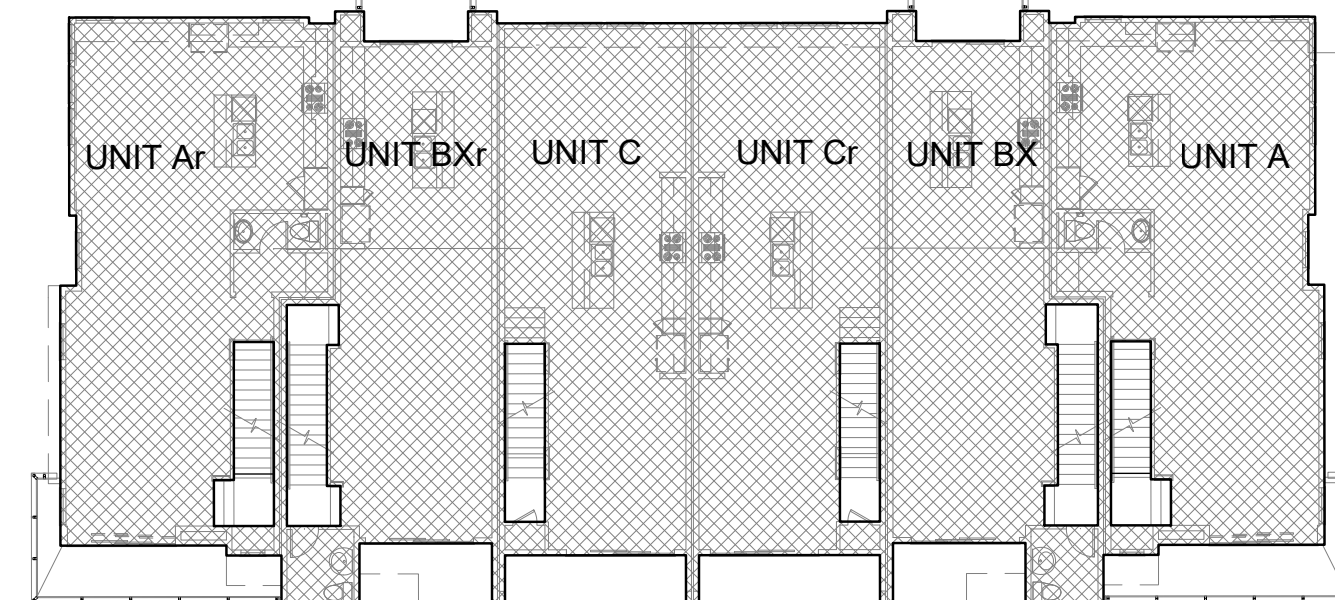
5-PLEX SECOND FLOOR



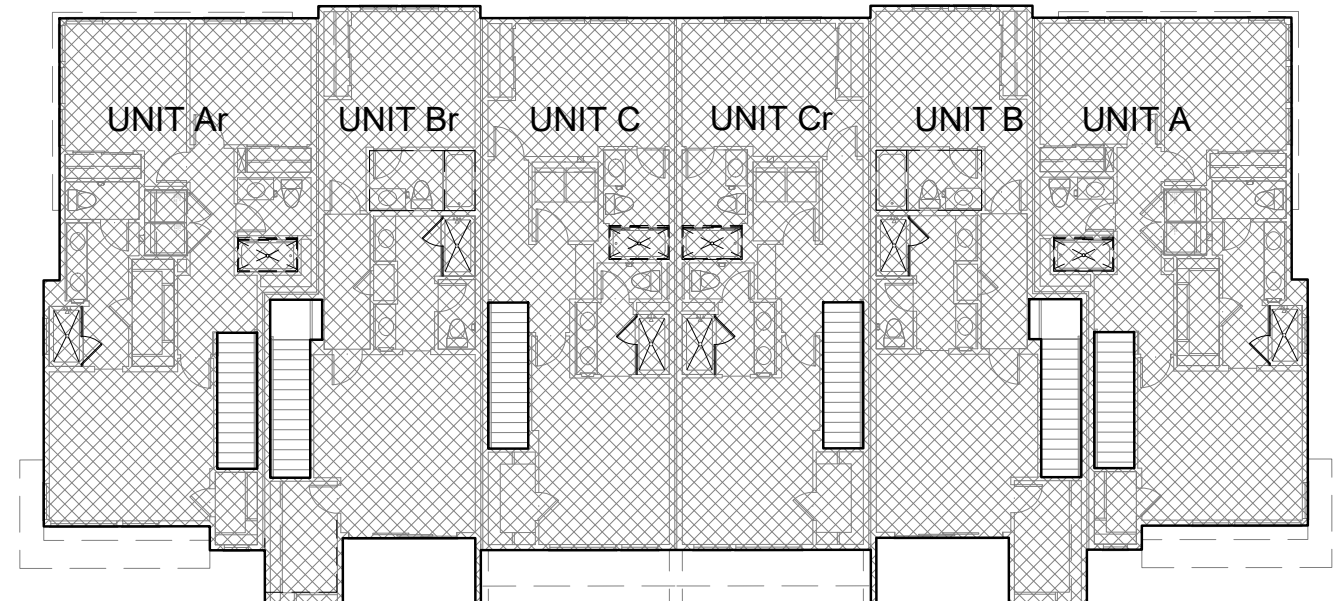
6-PLEX SECOND FLOOR



5-PLEX THIRD FLOOR



6-PLEX TH-10 SECOND FLOOR

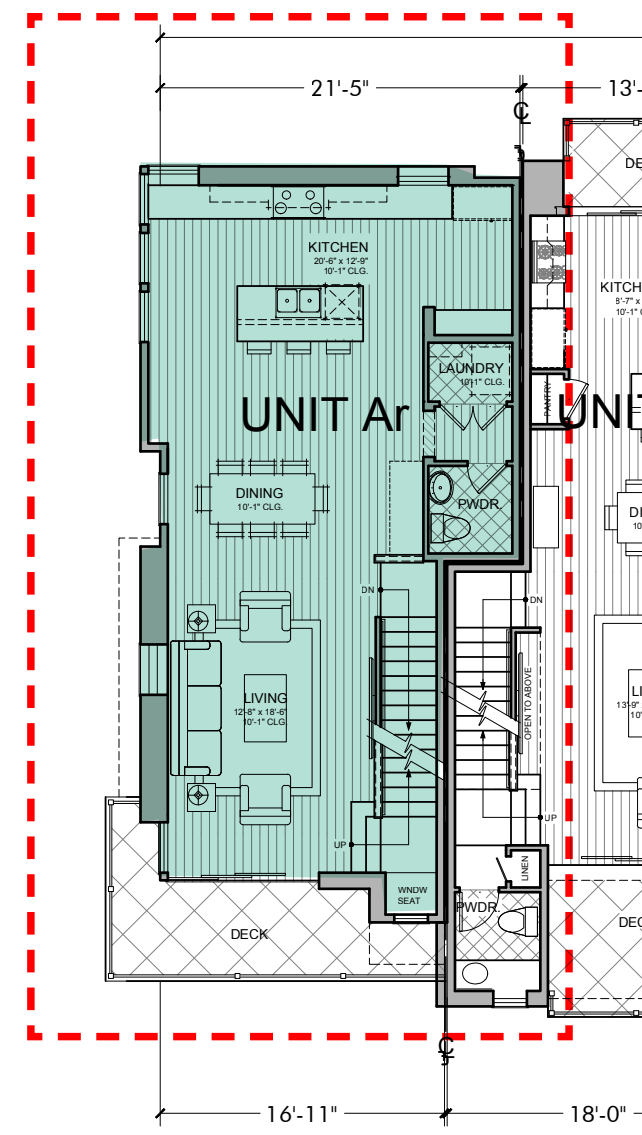


6-PLEX THIRD FLOOR

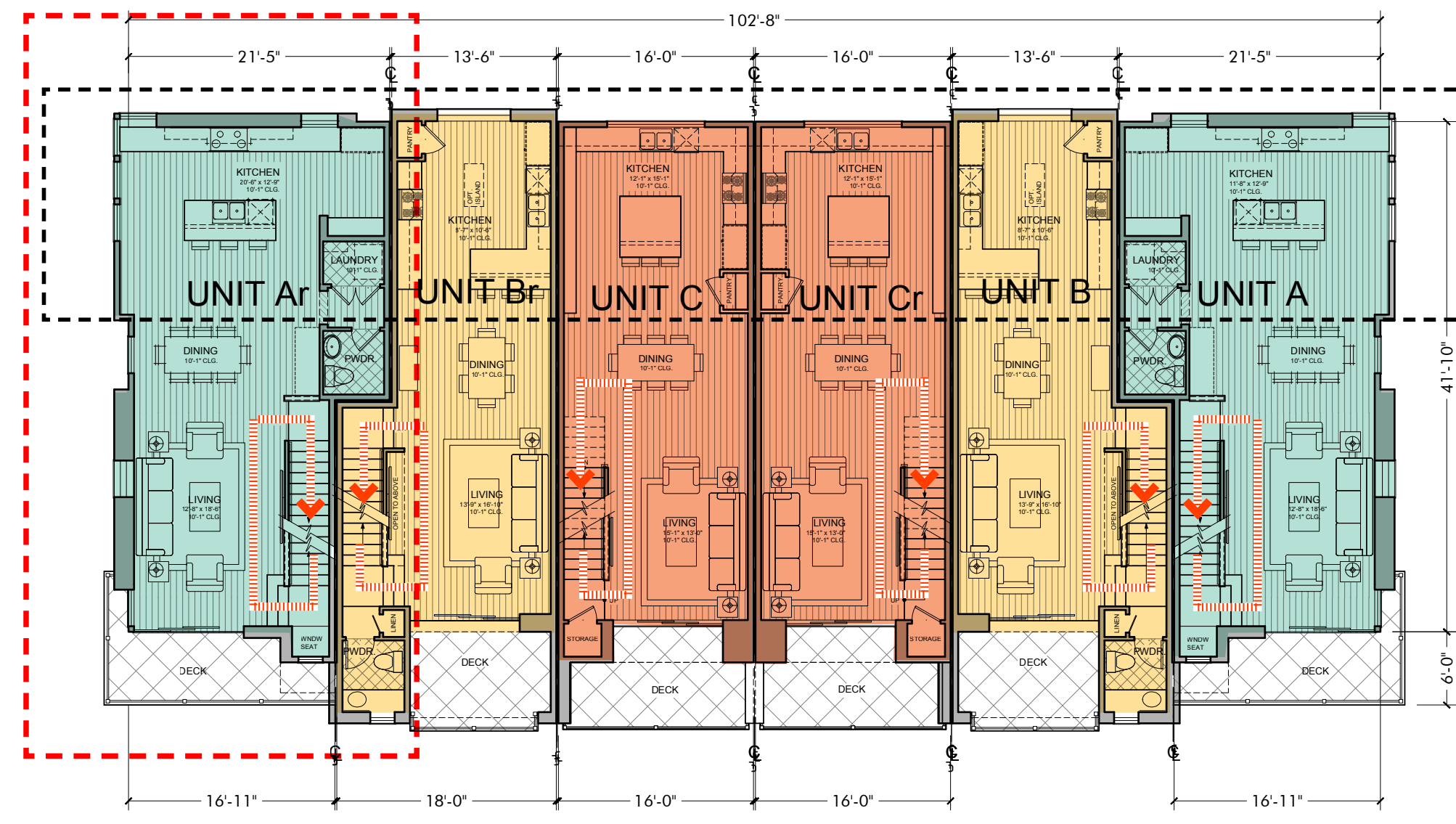
 INCLUDED AREAS



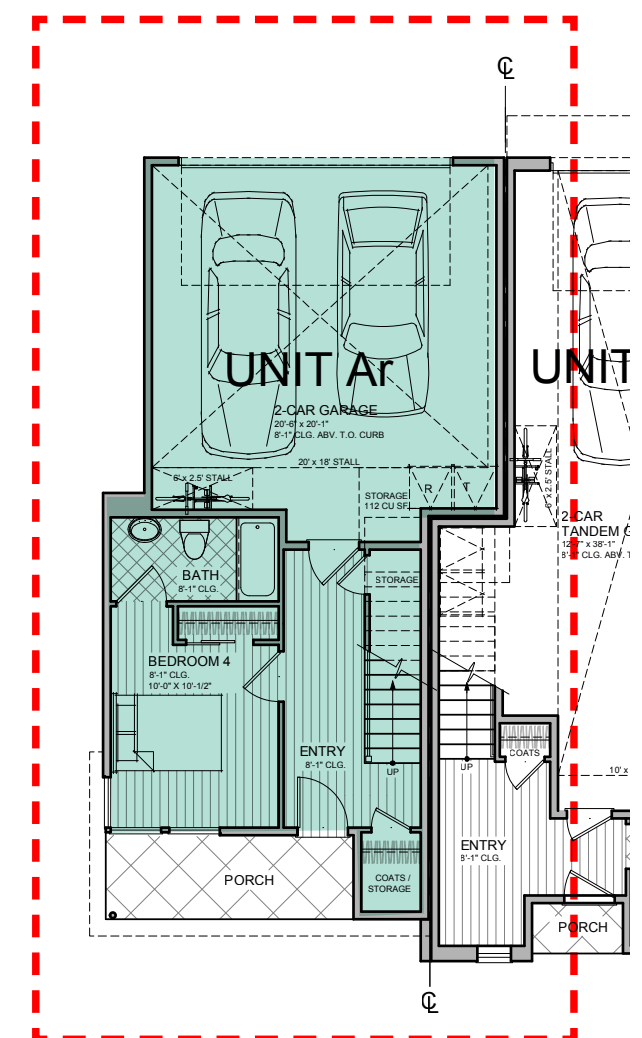




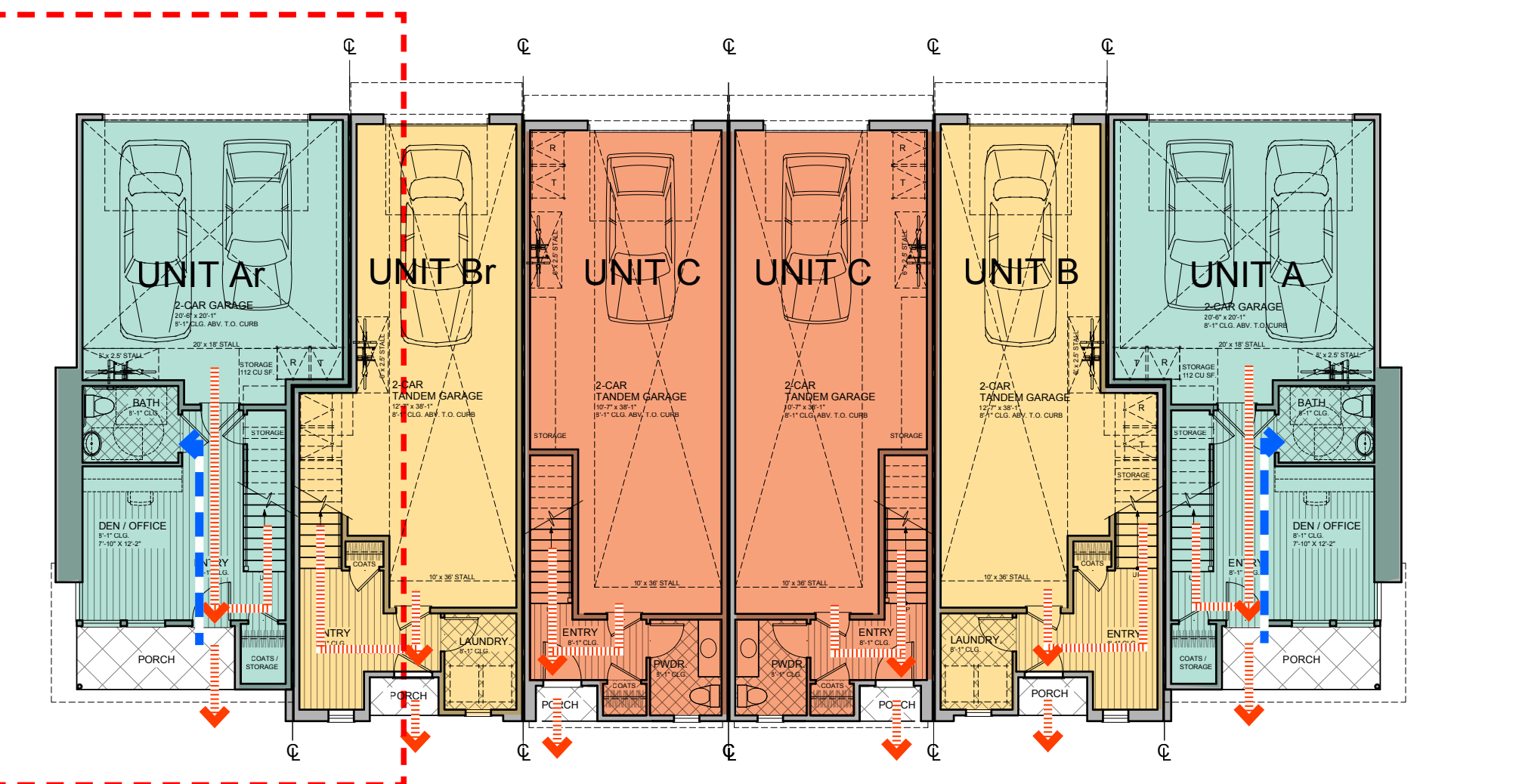
SECOND LEVEL PLAN TH10



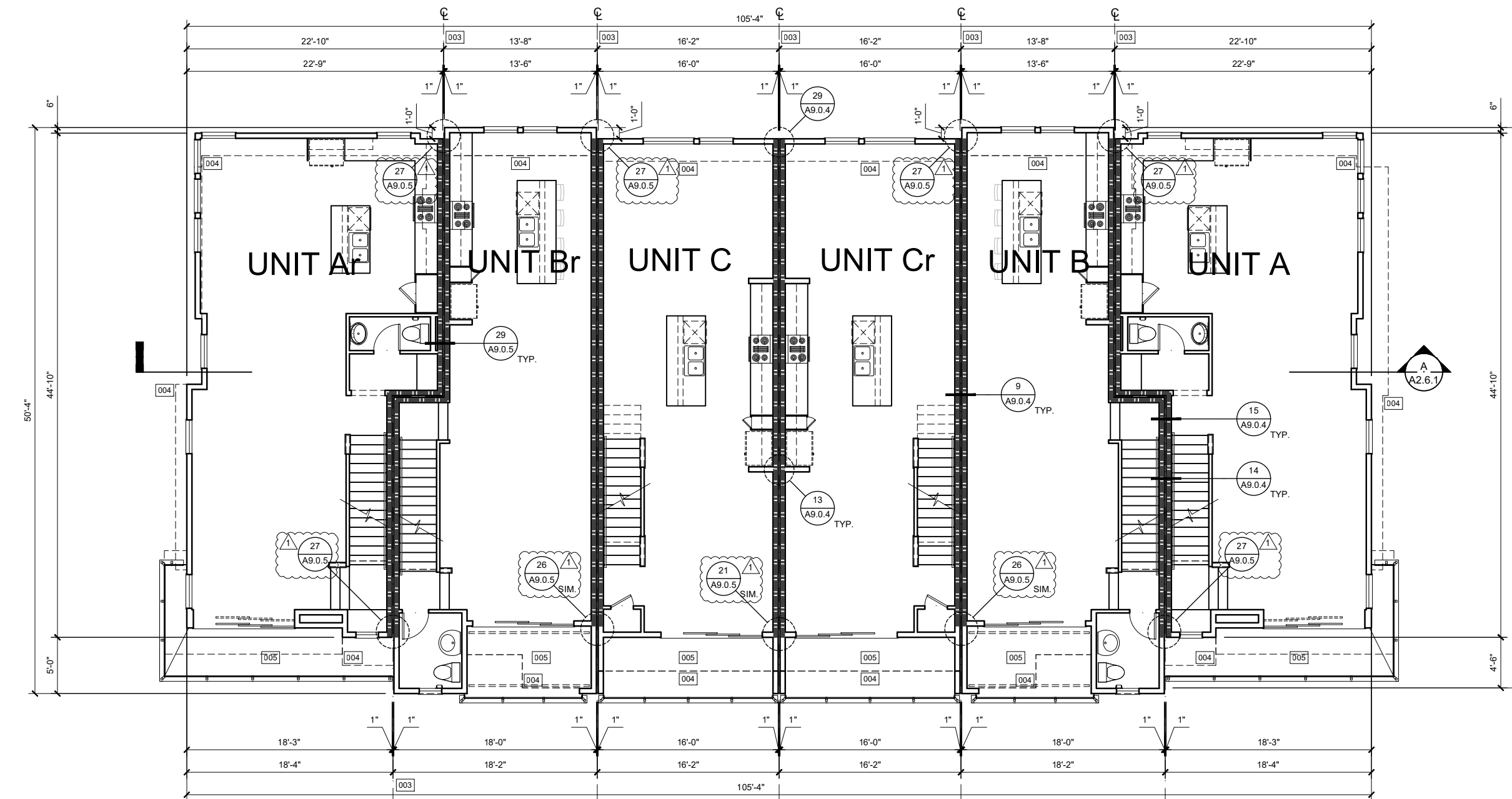
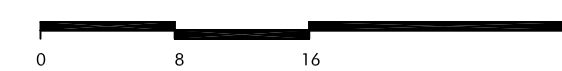
SECOND LEVEL PLAN



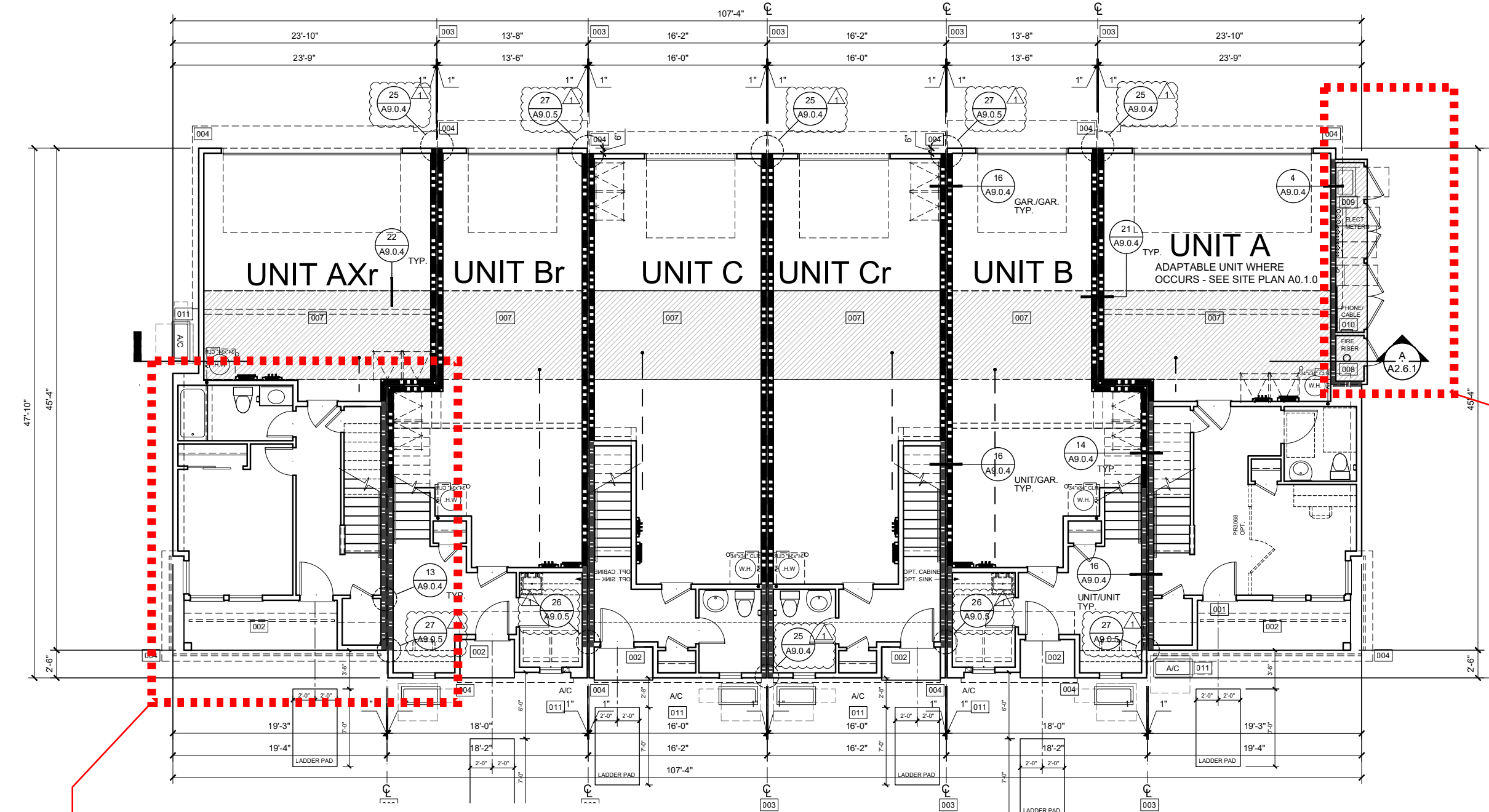
GROUND LEVEL PLAN TH10



GROUND LEVEL PLAN



SECOND LEVEL PLAN



GROUND LEVEL PLAN

List of Revisions:

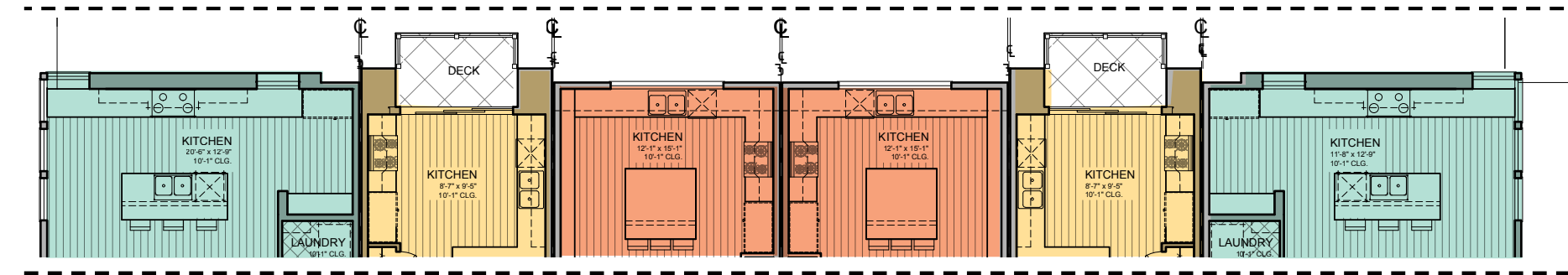
1. Added fire and electrical utility closets
2. Unit AX is revised to accommodate Bedroom 4 and Bath 3 in 5 plex and all 6 plex buildings per PA 18-013 vignette for TH 10

Please note that PA 18-013 plans did not include dimension and the second floor dimensions were measured to interior of the walls and did not include any dimensions to exterior pop out walls.

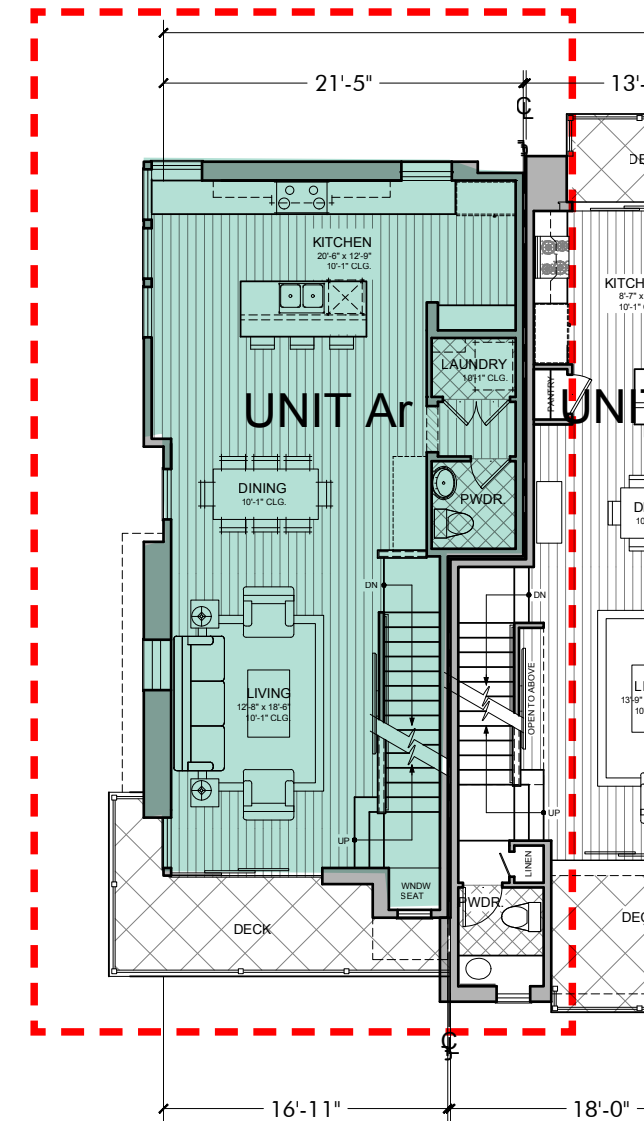
DAHLIN



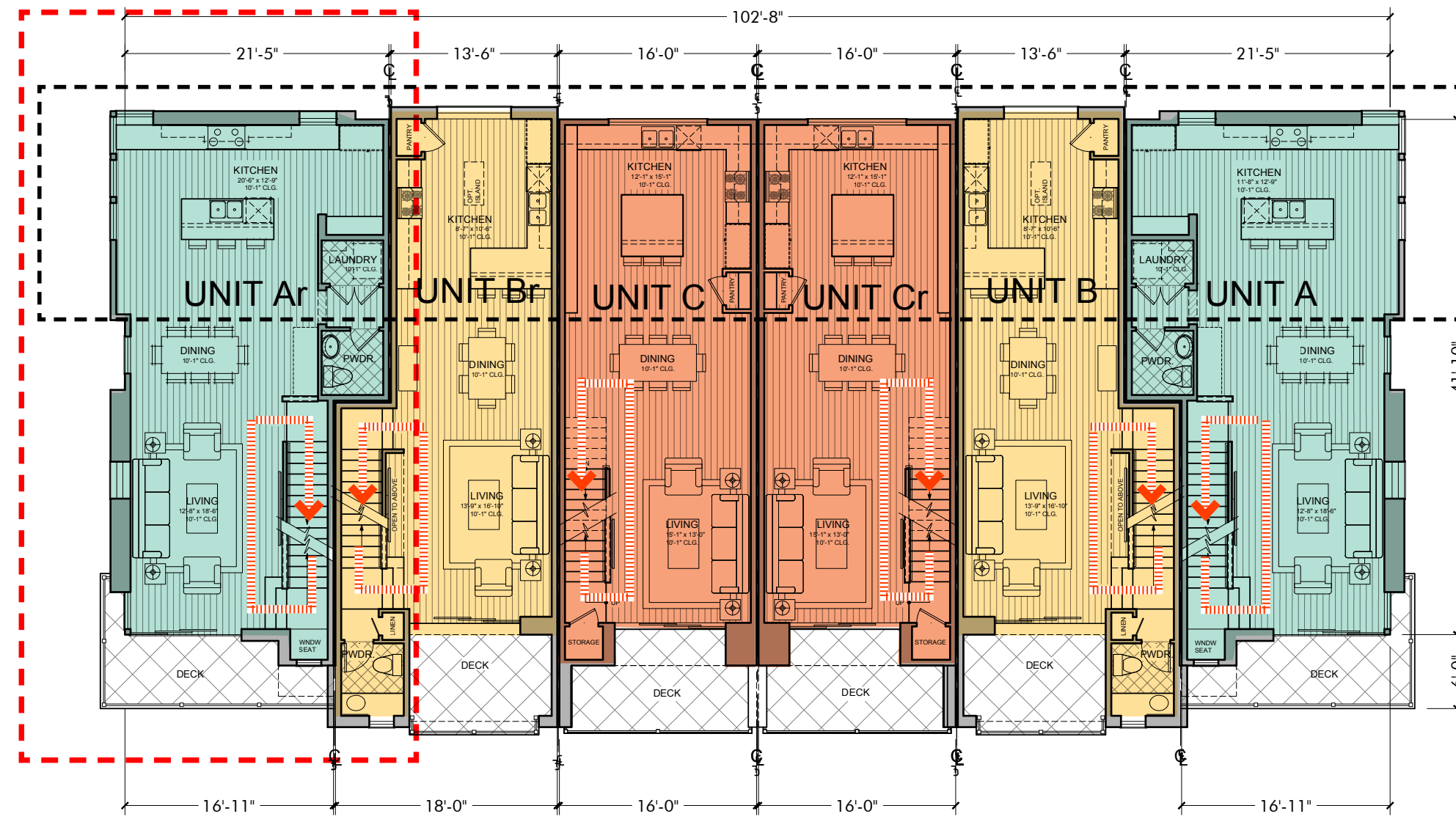




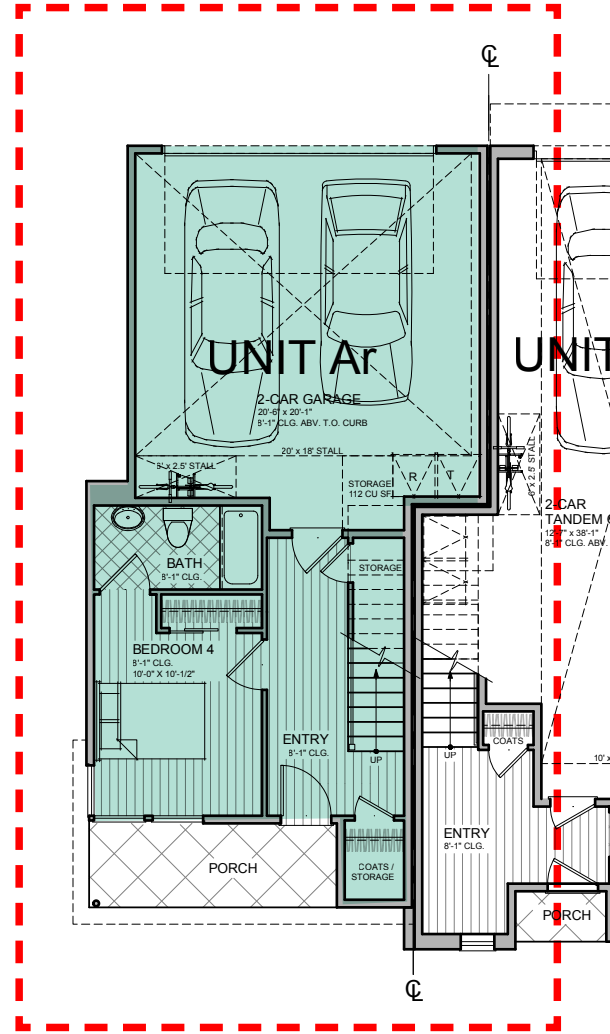
SECOND LEVEL PLAN TH10



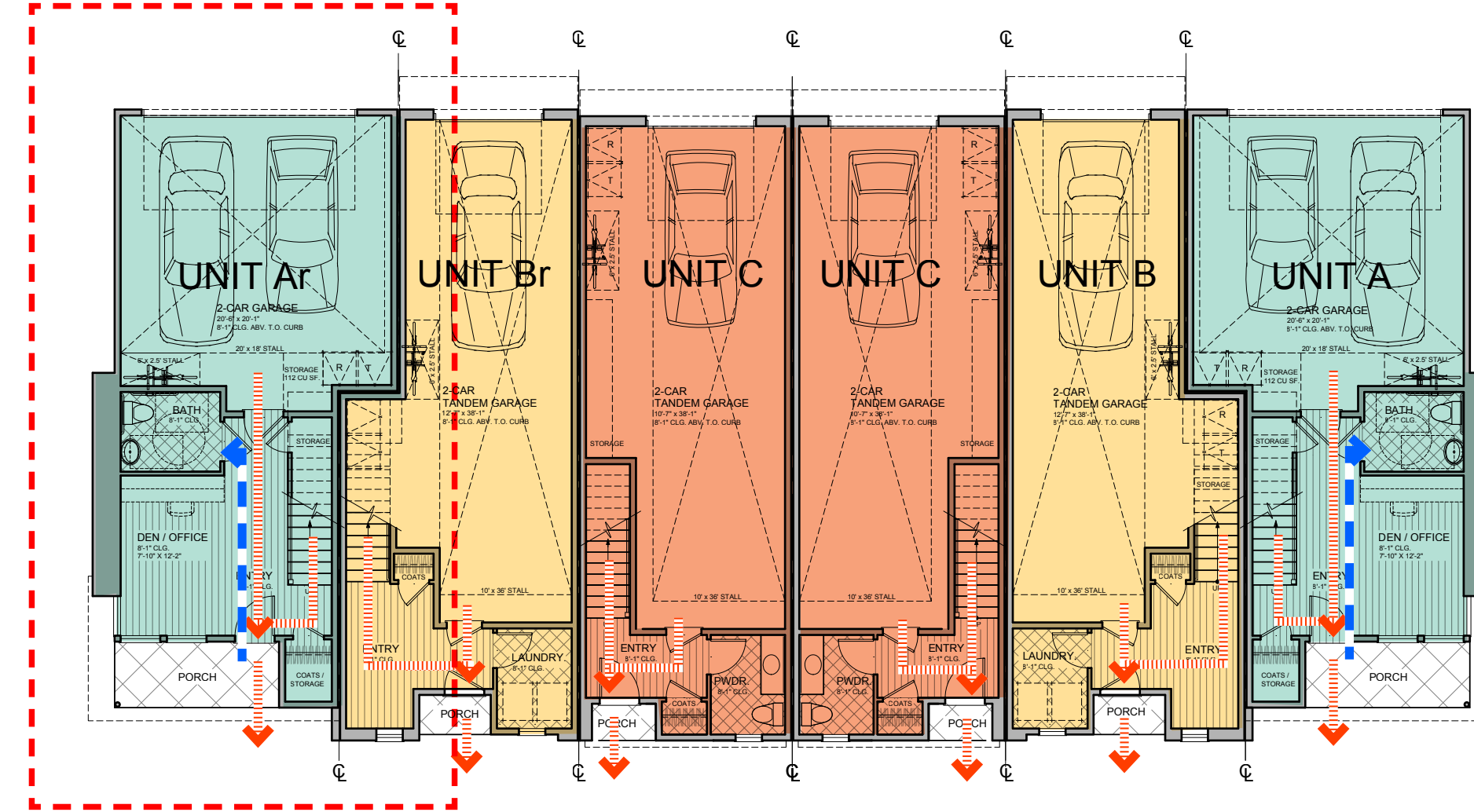
SECOND LEVEL PLAN TH10



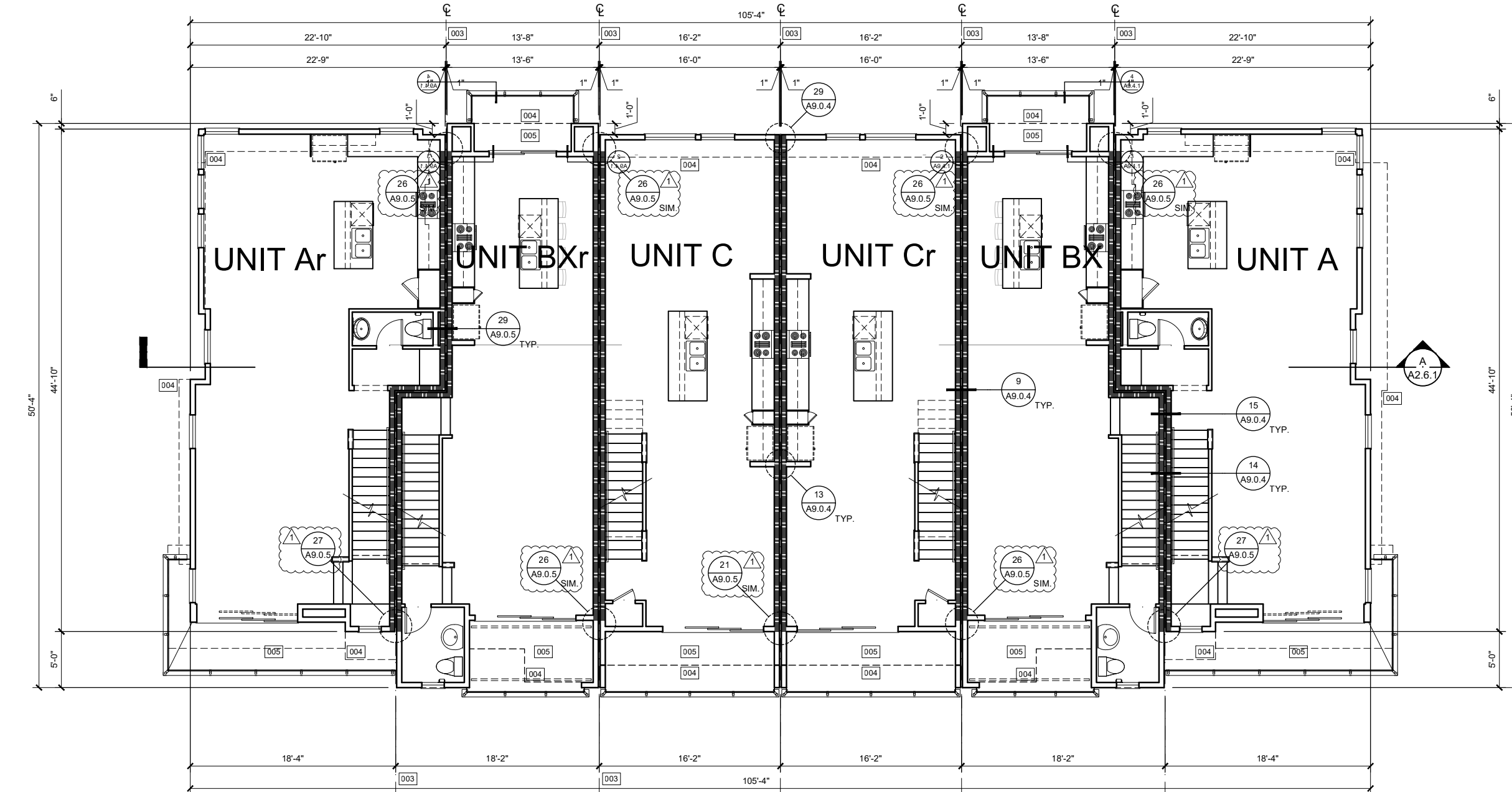
SECOND LEVEL PLAN



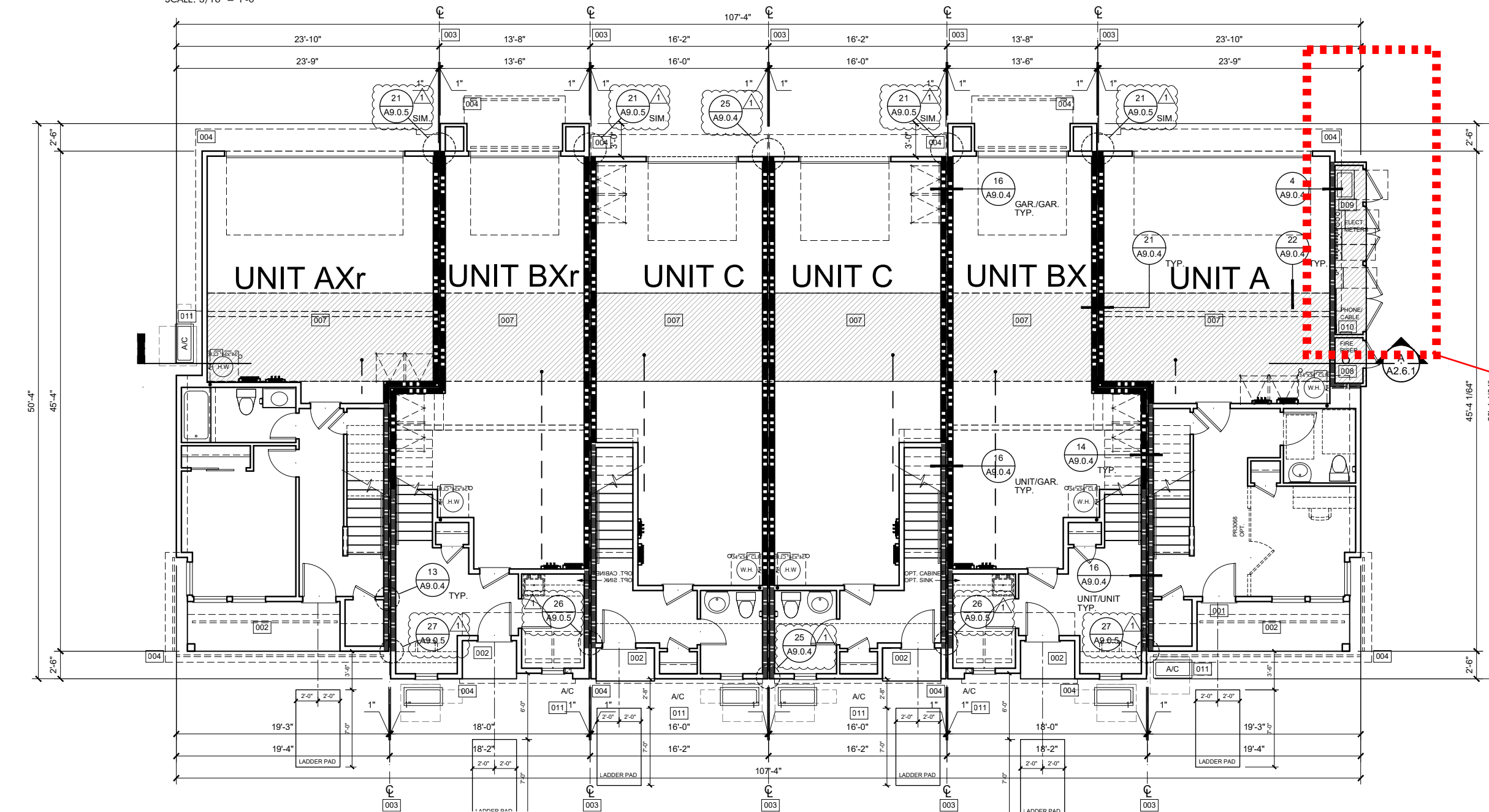
GROUND LEVEL PLAN TH10



GROUND LEVEL PLAN



SECOND LEVEL PLAN TH10



GROUND LEVEL PLAN TH10

List of Revisions:

1. Added fire and electrical utility closets  
Townhome 10 is currently renamed as Building A on the revised siteplan.

Please note that PA 18-013 plans did not include dimension and the second floor dimensions were measured to interior of the walls and did not include any dimensions to exterior pop out walls.







THIS DIMENSION IS MEASURED TO T/SLAB AND NOT TO GRADE. WE CANNOT HAVE 8'-1" TO GRADE AS THAT WILL RESULT IN LESS THAN 7'-10" INTERIOR DIMENSION AND IT IS NOT CODE COMPLIANT AND ALSO DOES NOT MATCH THE SECTION SHOWN ON SHT A 2.2



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

- List of Minor Revisions:
- 1. Minor window configuration to meet egress and interior livability.
  - 2. Removed canopy/overhangs at rear elevation to avoid conflict with ladder pads.
  - 3. Added utility closets.
  - 4. Window and sliding door color changed to white or tan.









FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

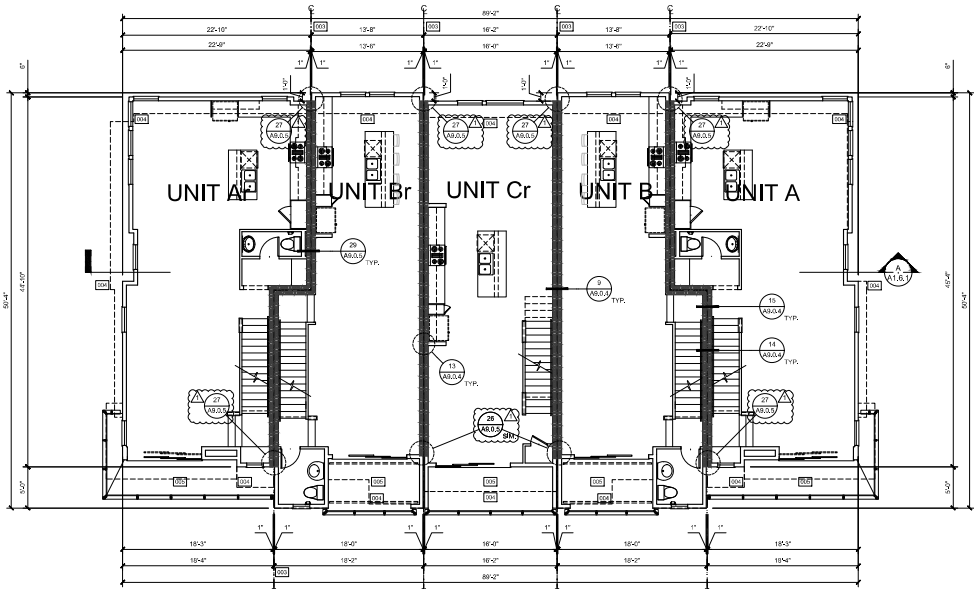


LEFT ELEVATION

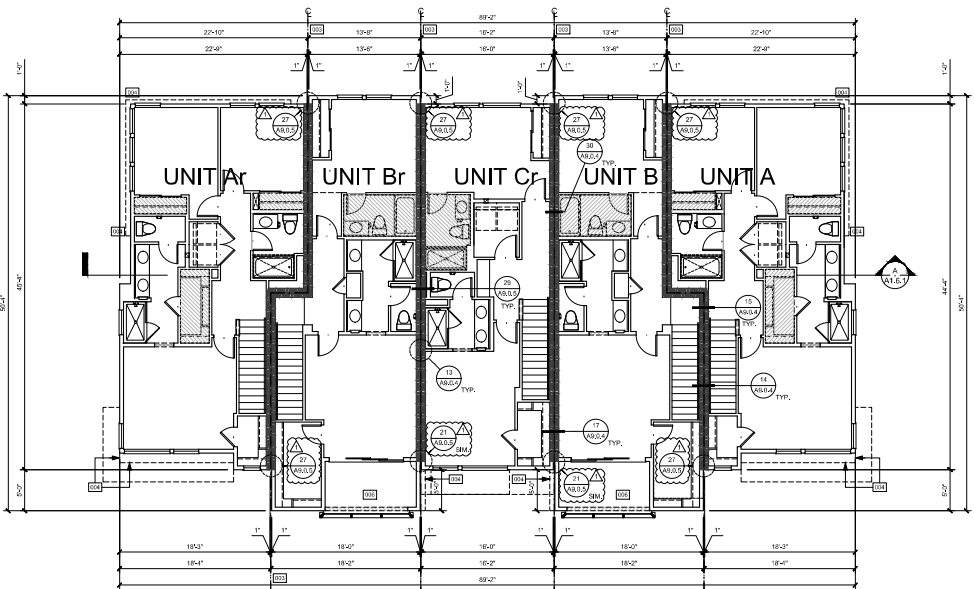
- List of Revisions:
1. Minor window configuration to meet egress and interior livability.
  2. Removed canopy/overhangs at rear elevation to avoid conflict with ladder pads.
  3. Added utility closets.
  4. Window and sliding door color changed to white or tan.

GRADE MAY VARY FROM 8"-12" PER CIVIL GRADING PLANS

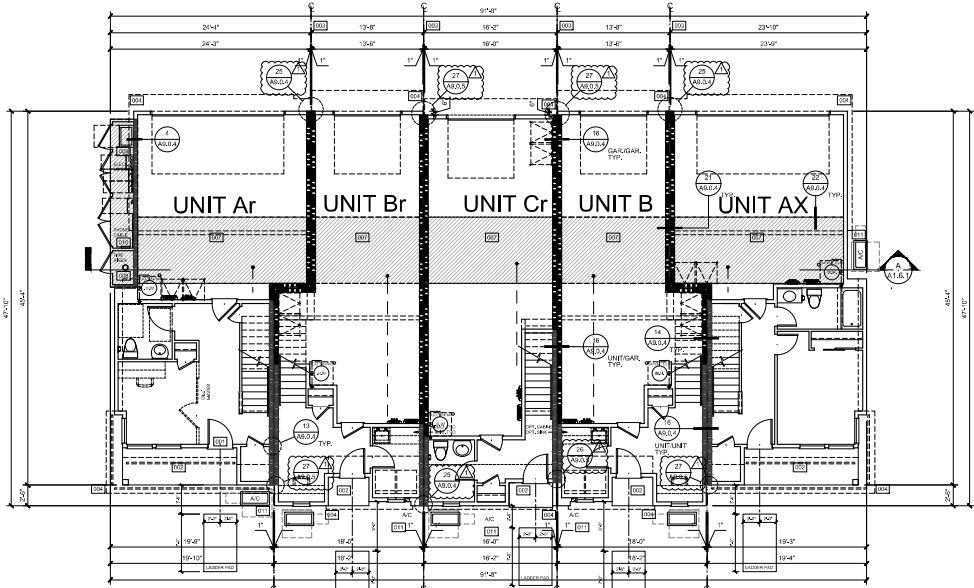




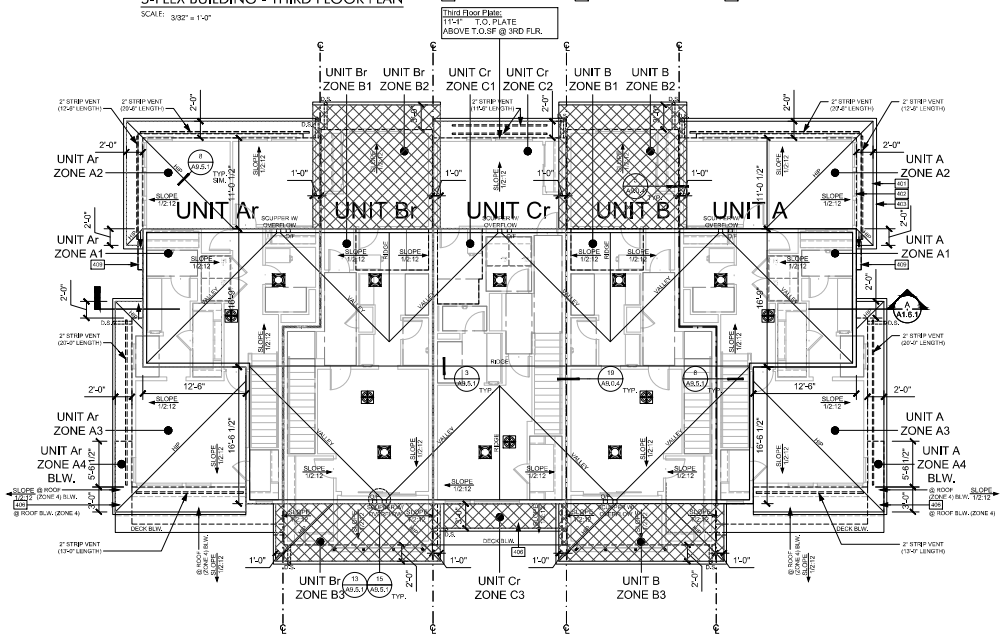
5-PLEX BUILDING - SECOND FLOOR PLAN  
SCALE: 3/32" = 1'-0"



5-PLEX BUILDING - THIRD FLOOR PLAN  
SCALE: 3/32" = 1'-0"



5-PLEX BUILDING - FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0"



5-PLEX BUILDING - ROOF PLAN  
SCALE: 3/32" = 1'-0"






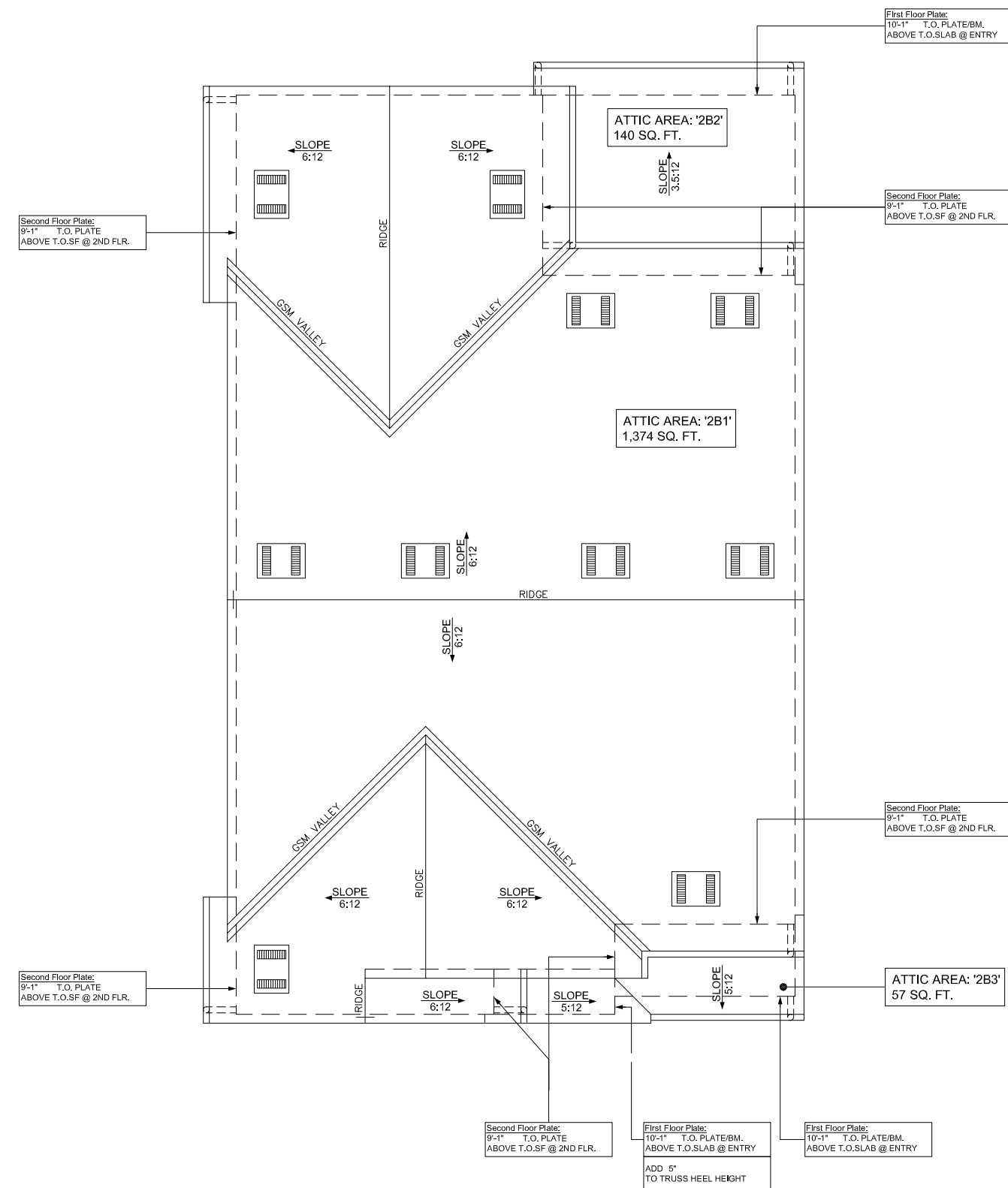




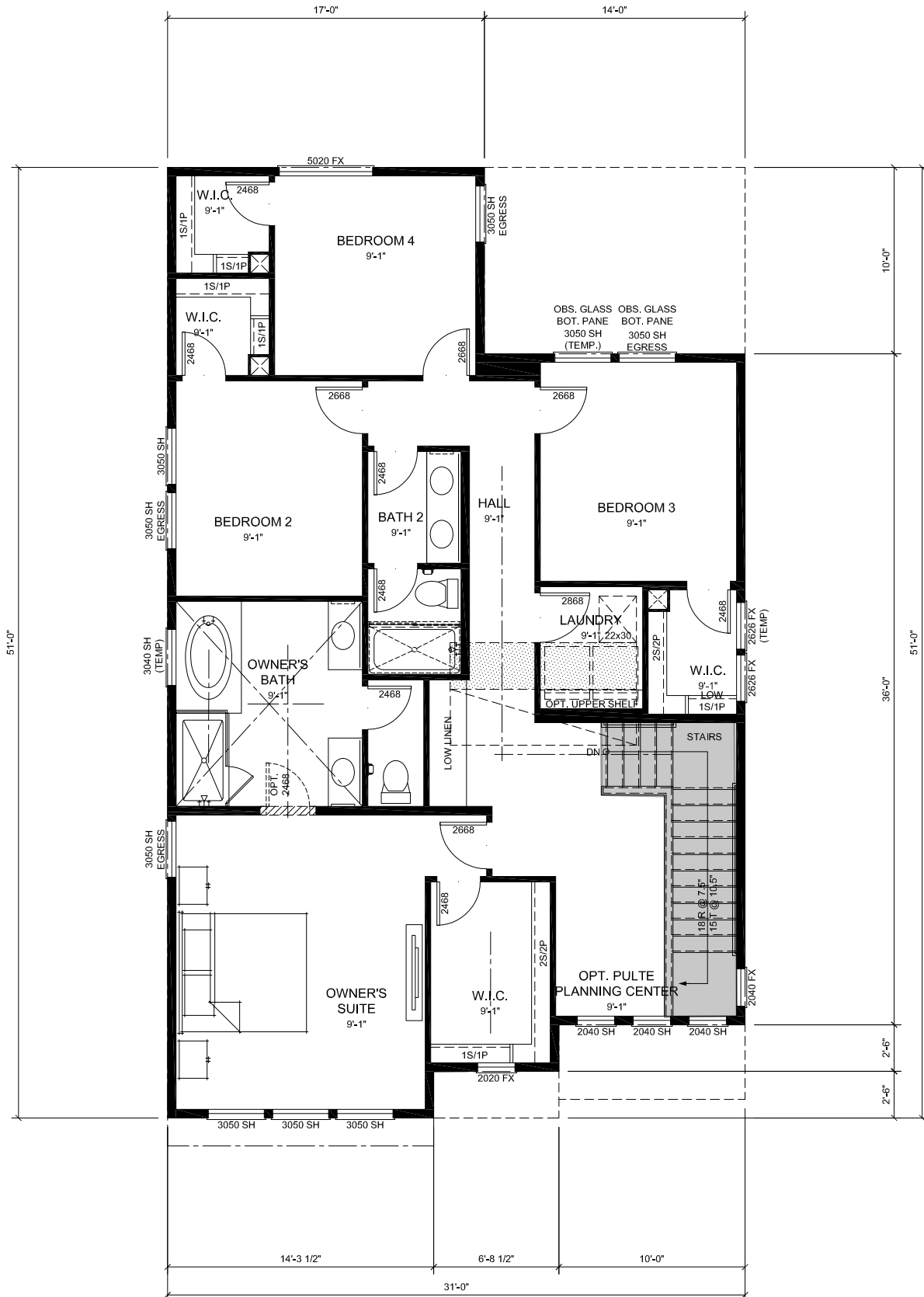
# PA MODIFICATION -LOT 28- SFD PLAN 2 FARMHOUSE ELEVATION-

Plan Type	Living Area s.f. (measured to exterior stud)	Garage	Planning area per SMMC 27.04.200 (s.f.)	#stories within unit	Garage # cars	porch+ lanai	# of bedrooms	# of bathrooms
Plan 2 B	2244	435	2666	2	2 Car side by side	180	4	2.5

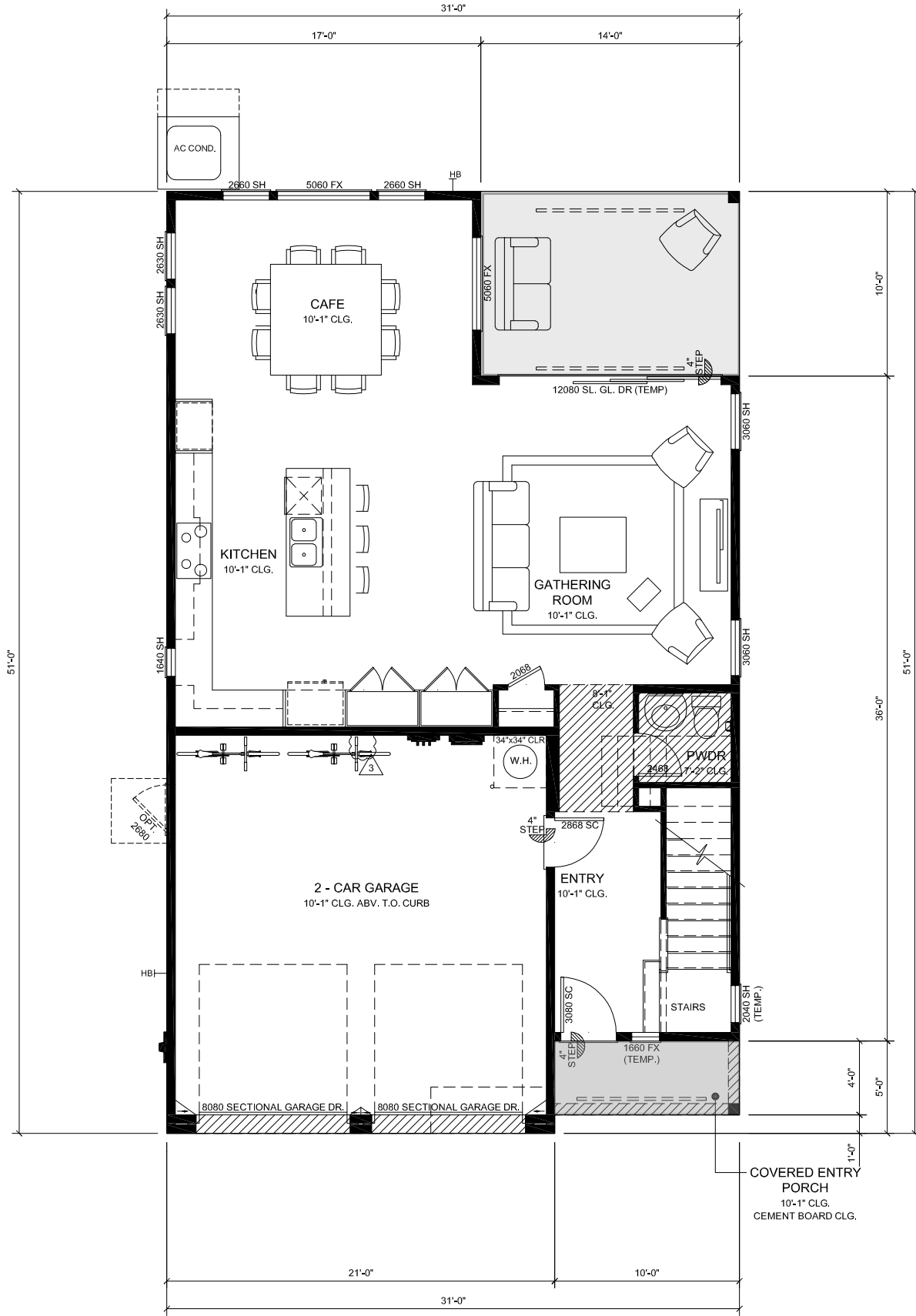
 SHADED AREA EXCLUDED FROM PLANNING FLOOR  
AREA CALCS.



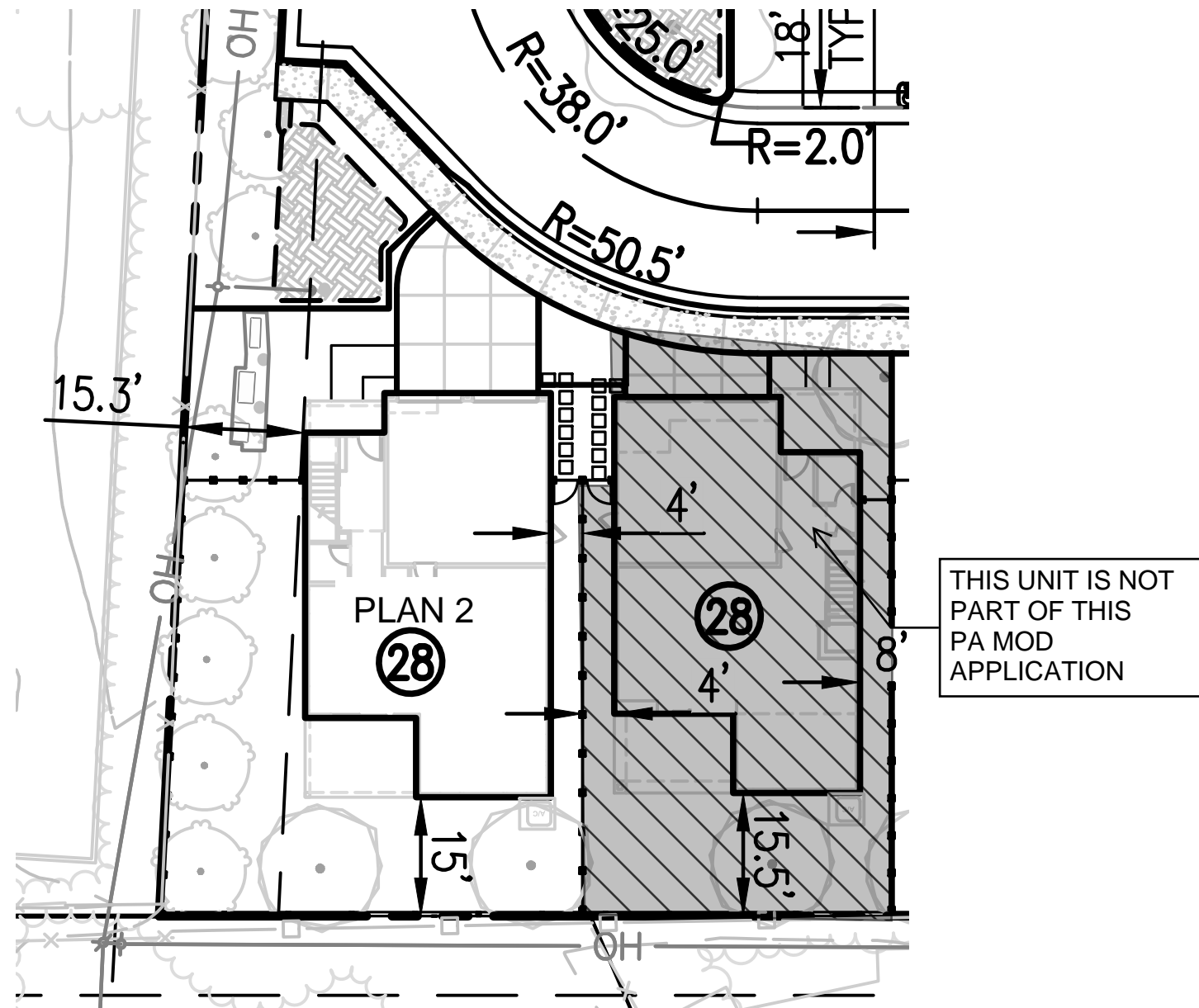
## ROOF PLAN



## SECOND FLOOR PLAN



## FIRST FLOOR PLAN



## SITE PLAN

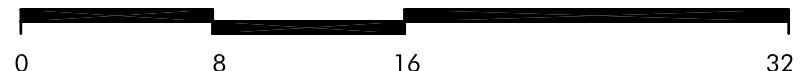
THIS UNIT IS NOT  
PART OF THIS  
PA MOD  
APPLICATION



# ONE 90 - PLANNING MODIFICATION APPLICATION

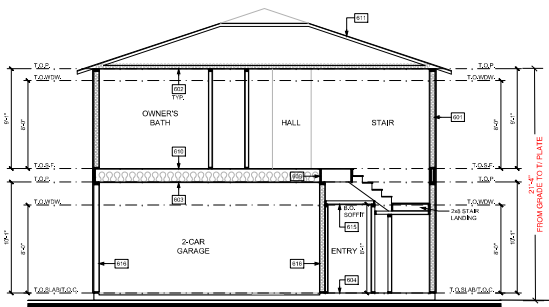
SAN MATEO, CA

# D-1

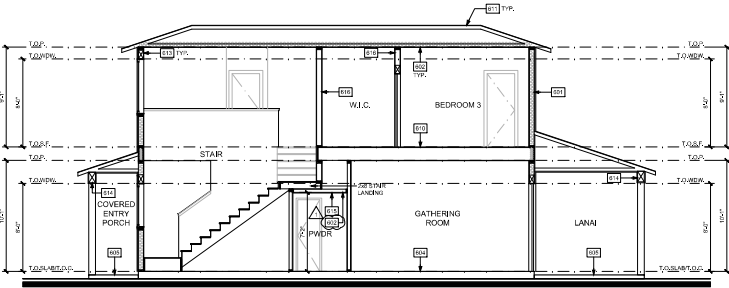




PA MODIFICATION -LOT 28- SFD PLAN 2 FARMHOUSE ELEVATION-



PLAN 2 BUILDING SECTION A, ELEV. A, BAY AREA CLASSIC (ELEV. B, FARMHOUSE SIM.)



PLAN 2 BUILDING SECTION B, ELEV. A, BAY AREA CLASSIC (ELEV. B, FARMHOUSE SIM.)



PLAN 2 FRONT ELEVATION, ELEV. B, FARMHOUSE



PLAN 2 RIGHT ELEVATION, ELEV. B, FARMHOUSE



PLAN 2 REAR ELEVATION, ELEV. B, FARMHOUSE



PLAN 2 LEFT ELEVATION, ELEV. B, FARMHOUSE



PLAN -2 FARMHOUSE

