

MARTIN

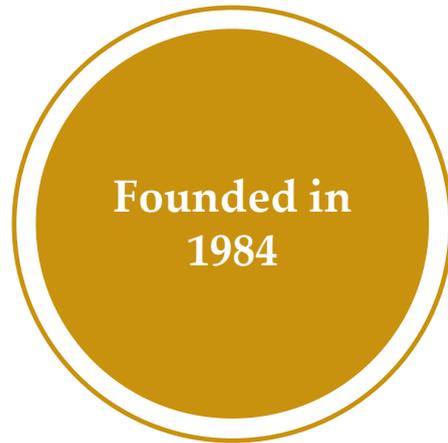
477 9th Ave
San Mateo, CA
City Council Meeting

February 20th, 2024

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About The Martin Group.

Local Developer, Family Owned.



The Martin Group brings 40 years Bay Area development experience. Specializing in mixed-use housing projects.

Partnered with BDE Architects and The Guzzardo Partnership, with experience in San Mateo.

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Neighborhood.

Walkable to downtown San Mateo. Transit-oriented.



Project Statistics.

Balanced growth of mixed-income housing and permanent jobs.

120

Total Residential Units

12

Very-Low Income Units

29,207

Square Feet Office Space

*~8,000 SF Net New Office SF

38

Office Parking Spaces

112

Residential Parking Spaces

144

Bicycle Parking Spaces

Community Benefits.

Significant financial and community benefits.

~\$15M

Economic Benefits

1.7%

San Mateo Housing Goal

12

Affordable Housing Units

~195

New Residents in Local Stores

~136

Permanent Jobs Created

20K SF

Open Space

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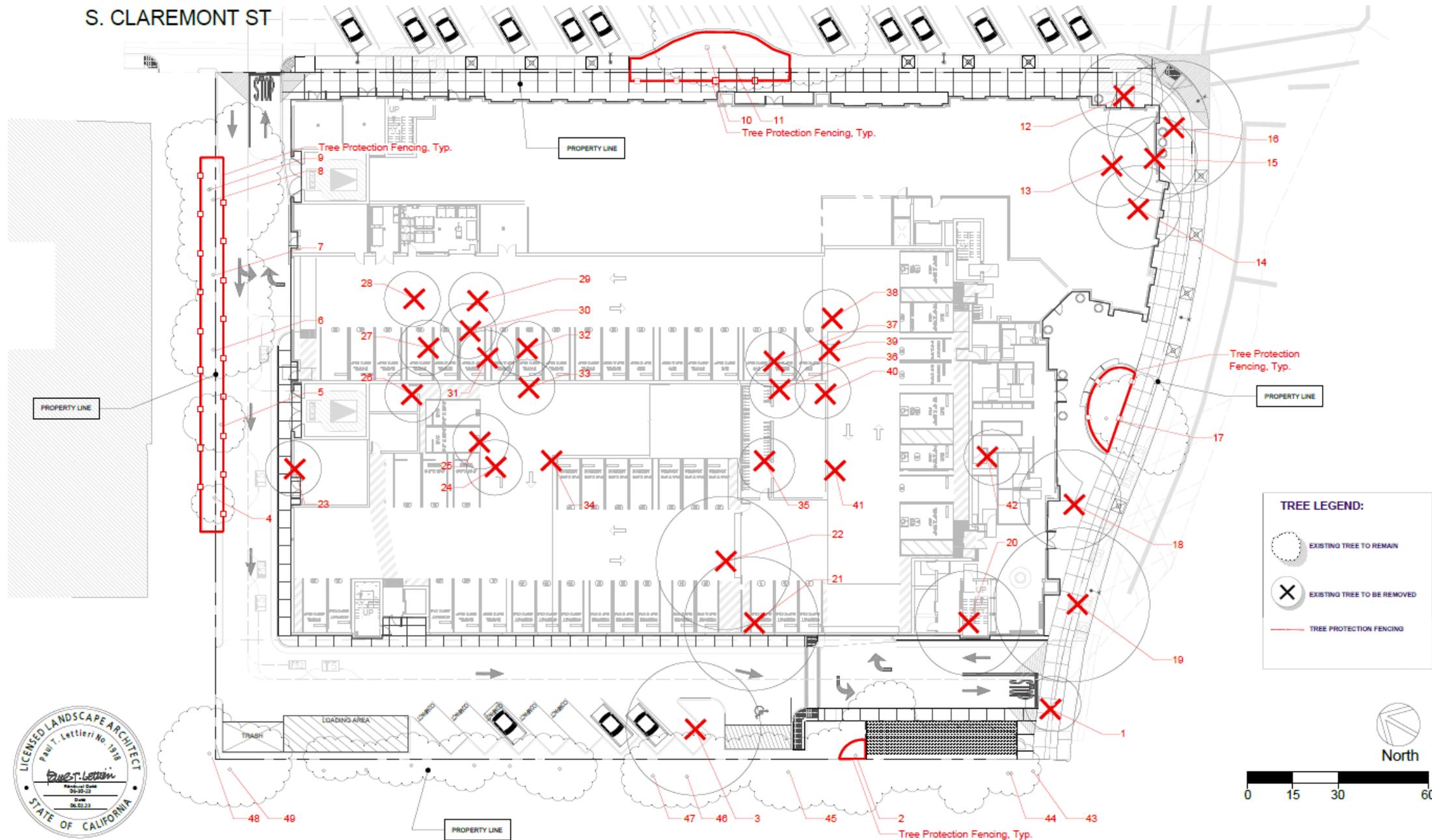
View East on 9th Street.

Timeless Spanish Architecture.



Existing Trees Study.

Careful planning with experts.



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Landscape Imagery.

Thoughtful design for an enhanced pedestrian experience.



PODIUM
+ ROOF



SITE



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Thank you!

Questions?

For additional information after the meeting, please contact Stephen@themartingroup.com

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Appendix

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View North from Railroad.

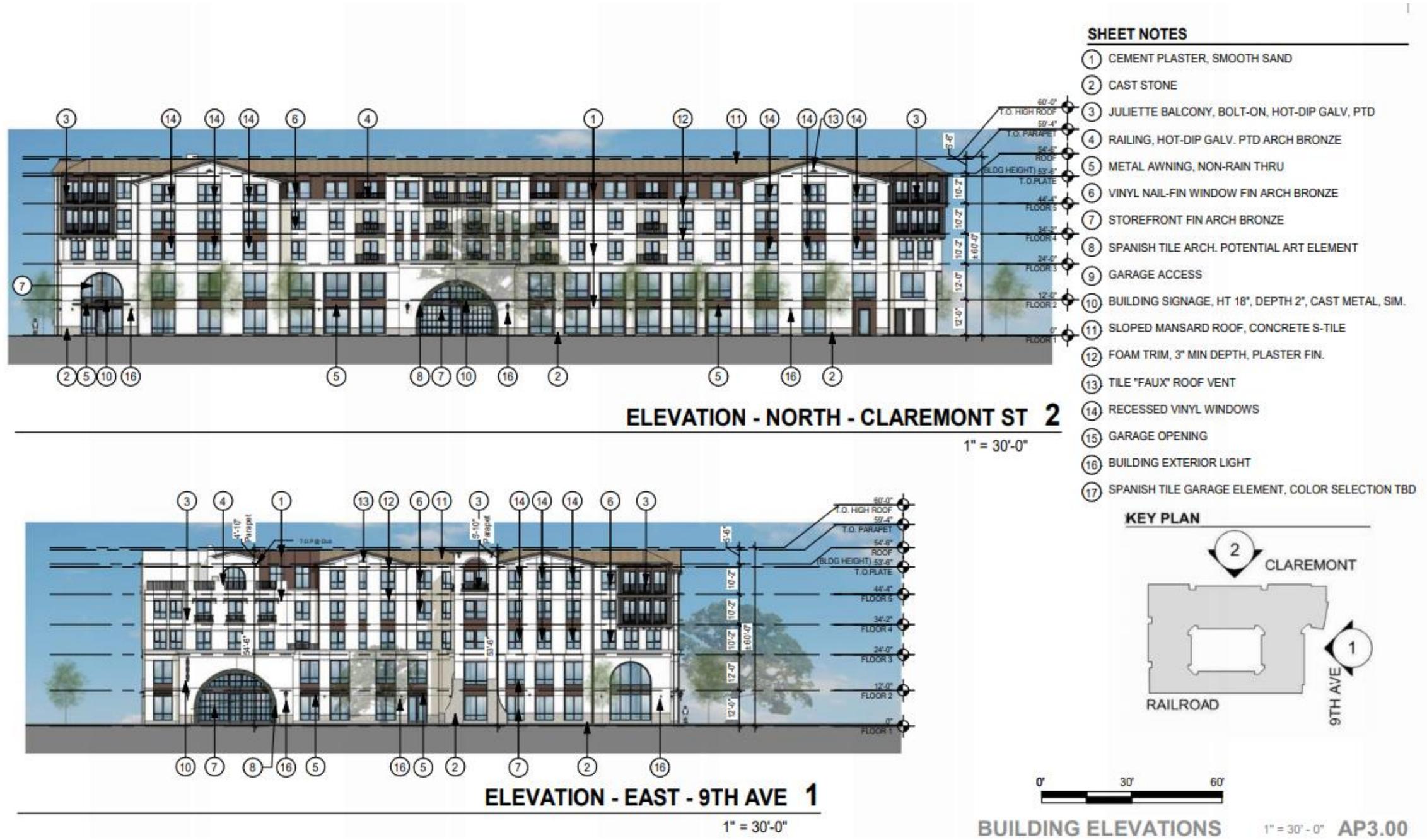


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View South on Claremont.



Appendix – Elevations.



Appendix - Elevations.



ELEVATION - SOUTH 2

1" = 30'-0"



ELEVATION - WEST 1

1" = 30'-0"

SHEET NOTES

- ① CEMENT PLASTER, SMOOTH SAND
- ② CAST STONE
- ③ JULIETTE BALCONY, BOLT-ON, HOT-DIP GALV, PTD
- ④ RAILING, HOT-DIP GALV. PTD ARCH BRONZE
- ⑤ METAL AWNING, NON-RAIN THRU
- ⑥ VINYL NAIL-FIN WINDOW FIN ARCH BRONZE
- ⑦ STOREFRONT FIN ARCH BRONZE
- ⑧ SPANISH TILE ARCH. POTENTIAL ART ELEMENT
- ⑨ GARAGE ACCESS
- ⑩ BUILDING SIGNAGE, HT 18", DEPTH 2", CAST METAL, SIM.
- ⑪ SLOPED MANSARD ROOF, CONCRETE S-TILE
- ⑫ FOAM TRIM, 3" MIN DEPTH, PLASTER FIN.
- ⑬ TILE "FAUX" ROOF VENT
- ⑭ RECESSED VINYL WINDOWS
- ⑮ GARAGE OPENING
- ⑯ BUILDING EXTERIOR LIGHT
- ⑰ SPANISH TILE GARAGE ELEMENT, COLOR SELECTION TBD

KEY PLAN

