

MARTIN

477 9th Ave
San Mateo, CA
City Council Meeting

February 20th, 2024

MARTIN

About The Martin Group.

Local Developer, Family Owned.



The Martin Group brings 40 years Bay Area development experience. Specializing in mixed-use housing projects.

Partnered with BDE Architects and The Guzzardo Partnership, with experience in San Mateo.

MARTIN

Neighborhood.

Walkable to downtown San Mateo. Transit-oriented.



Project Statistics.

Balanced growth of mixed-income housing and permanent jobs.

120

**Total Residential
Units**

12

**Very-Low Income
Units**

29,207

**Square Feet
Office Space**
*~8,000 SF Net New Office SF

38

**Office Parking
Spaces**

112

**Residential
Parking Spaces**

144

**Bicycle Parking
Spaces**

Community Benefits.

Significant financial and
community benefits.

~\$15M

Economic
Benefits

1.7%

San Mateo
Housing Goal

12

Affordable
Housing Units

~195

New Residents
in Local Stores

~136

Permanent Jobs
Created

20K SF

Open Space

MARTIN

View East on 9th Street.

Timeless Spanish Architecture.





Landscape Site Plan.

Public plaza, dog run, courtyard and rooftop deck.



MARTIN

Landscape Imagery.

Thoughtful design for an enhanced pedestrian experience.



PODIUM
+ ROOF



SITE



MARTIN

Thank you!

Questions?

For additional information after the meeting, please contact Stephen@themartingroup.com

MARTIN

Appendix

MARTIN

View North from Railroad.



MARTIN

View South on Claremont.

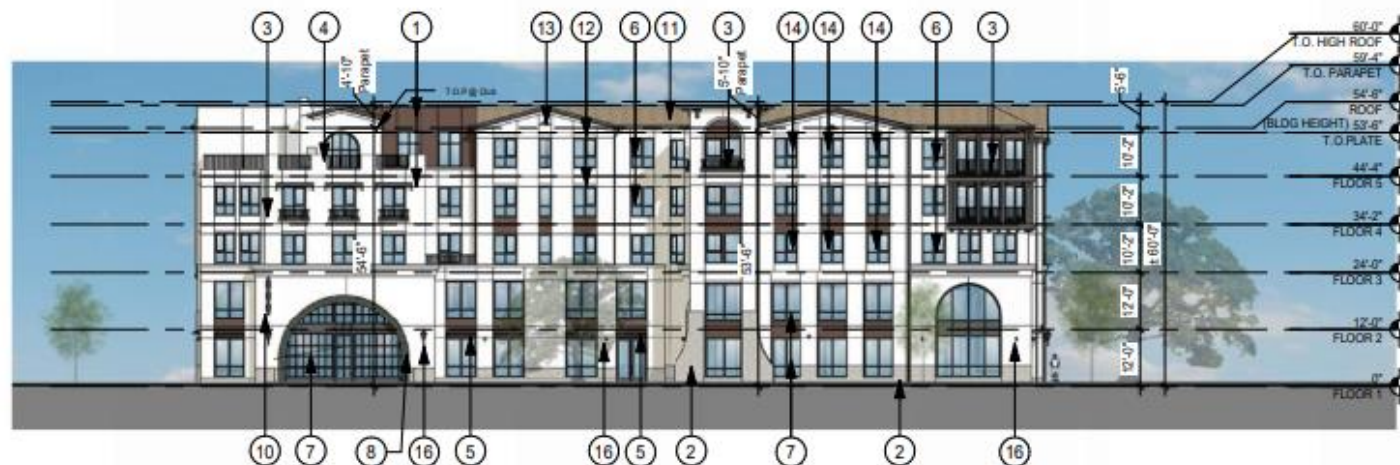


Appendix – Elevations.



ELEVATION - NORTH - CLAREMONT ST 2

1" = 30'-0"



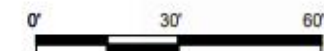
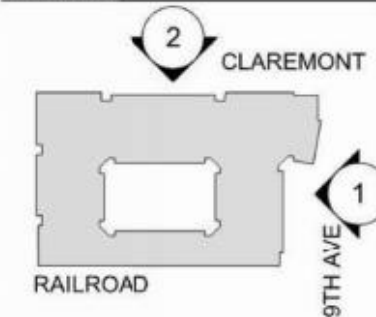
ELEVATION - EAST - 9TH AVE 1

1" = 30'-0"

SHEET NOTES

- ① CEMENT PLASTER, SMOOTH SAND
- ② CAST STONE
- ③ JULIETTE BALCONY, BOLT-ON, HOT-DIP GALV, PTD
- ④ RAILING, HOT-DIP GALV. PTD ARCH BRONZE
- ⑤ METAL AWNING, NON-RAIN THRU
- ⑥ VINYL NAIL-FIN WINDOW FIN ARCH BRONZE
- ⑦ STOREFRONT FIN ARCH BRONZE
- ⑧ SPANISH TILE ARCH. POTENTIAL ART ELEMENT
- ⑨ GARAGE ACCESS
- ⑩ BUILDING SIGNAGE, HT 18", DEPTH 2", CAST METAL, SIM.
- ⑪ SLOPED MANSARD ROOF, CONCRETE S-TILE
- ⑫ FOAM TRIM, 3" MIN DEPTH, PLASTER FIN.
- ⑬ TILE "FAUX" ROOF VENT
- ⑭ RECESSED VINYL WINDOWS
- ⑮ GARAGE OPENING
- ⑯ BUILDING EXTERIOR LIGHT
- ⑰ SPANISH TILE GARAGE ELEMENT, COLOR SELECTION TBD

KEY PLAN



BUILDING ELEVATIONS

1" = 30'-0" AP3.00

Appendix - Elevations.



ELEVATION - SOUTH 2

1" = 30'-0"



ELEVATION - WEST 1

1" = 30'-0"

SHEET NOTES

- 1 CEMENT PLASTER, SMOOTH SAND
- 2 CAST STONE
- 3 JULIETTE BALCONY, BOLT-ON, HOT-DIP GALV, PTD
- 4 RAILING, HOT-DIP GALV. PTD ARCH BRONZE
- 5 METAL AWNING, NON-RAIN THRU
- 6 VINYL NAIL-FIN WINDOW FIN ARCH BRONZE
- 7 STOREFRONT FIN ARCH BRONZE
- 8 SPANISH TILE ARCH. POTENTIAL ART ELEMENT
- 9 GARAGE ACCESS
- 10 BUILDING SIGNAGE, HT 18", DEPTH 2", CAST METAL, SIM.
- 11 SLOPED MANSARD ROOF, CONCRETE S-TILE
- 12 FOAM TRIM, 3" MIN DEPTH, PLASTER FIN.
- 13 TILE "FAUX" ROOF VENT
- 14 RECESSED VINYL WINDOWS
- 15 GARAGE OPENING
- 16 BUILDING EXTERIOR LIGHT
- 17 SPANISH TILE GARAGE ELEMENT, COLOR SELECTION TBD

KEY PLAN

