

A Planning Application For:

# 230 EL CAMINO, LLC.

2 W. THIRD AVENUE

SAN MATEO, CA 94401



## PROJECT DATA

DEVELOPMENT PROJECT DATA INFORMATION		
Site Address:	2 West 3rd Ave San Mateo, CA 94401	
APN:	034-093-050	
Zoning Classification:	E-2/R-5	
Lot Size (Sq. Ft.):	11,464 S.F.	
Permitted Floor Area Ratio:	2.0	
Maximum Permitted Floor Area (Sq. Ft.):	22,928 S.F.	
Floor Area (Sq. Ft.): <sup>1</sup>	Existing:	Proposed:
	Main Structure(s):	19,989 S.F.
Detached Accessory Structures:		
Exemptions: <sup>2</sup>		1,245 S.F.
Total Floor Area:		18,744 S.F.
Existing Interior Floor Area to be Remodeled:		
Total Floor Area for Parking Requirements: <sup>3</sup>		
Total Covered Parking Stalls:		
Total Uncovered Parking Stalls:		
List of All Protected Trees on Site including Species and Size		
Total area of new and rehabilitated landscape area (Sq. Ft.):		
Cubic Yards of Soil Disturbance:		
(required in order to determine if a Stormwater Pollution Prevention Construction Permit is required)		
1. See Zoning Code Section 27.04.200 (b) (1) for full Floor Area definition.		
2. See Zoning Code Section 27.04.200 (b) (2) for full list of Floor Area exclusions.		
3. See Zoning Code Section 27.04.200 (d) for full list of Parking Floor Area exclusions (does not apply to general office, retail stores, food stores, drug stores, and shopping center uses)		

PARKING REQUIRED (27.64.100): (19,989 S.F. / 1000) \* 2.6) = 52 SPACES  
PARKING PROVIDED(PER AB-2097 PARKING NOT REQUIRED) 0 SPACES

BICYCLE PARKING REQUIRED: PER SAN MATEO CITY CHARTER AND MUNICIPAL CODE, 27.64.262

1 SHORT-TERM SPACE PER 20,000 S.F. (19,998 S.F. / 20,000 S.F. = 1 SPACE REQ'D) 4 SPACES PROVIDED  
1 LONG-TERM SPACE PER 10,000 S.F. (19,998 S.F. / 10,000 S.F. = 2 SPACES REQ'D) 2 SPACES PROVIDED

### ALLOWABLE AREA AND HEIGHT

TYPE OF CONSTRUCTION II-B  
AUTOMATIC SPRINKLER CONFIGURATION: SM  
  
(BUILDINGS TWO OR MORE STORIES ABOVE GRADE PLANE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1)  
OCCUPANCY: B, A-2  
  
FROM CBC TABLES 504.3, 504.4 AND 506.2  
MAXIMUM HEIGHT (TABLE 504.3) 75'-0"  
MAXIMUM NUMBER OF STORIES (TABLE 504.4) 4  
ALLOWABLE AREA FACTOR (TABLE 506.2) 69,000 S.F.

## PROJECT DESCRIPTION

THIS IS A NEW 19,989-S.F. 3-STORY OFFICE BUILDING WITH A DECK ON THE 3RD FLOOR ON AN EMPTY 11,464 S.F. LOT. SCOPE OF WORK SHALL INCLUDE THE CONSTRUCTION OF THE BUILDING SHELL AND CORE AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURB/GUTTER, BICYCLE RACKS, STREET TREES, LANDSCAPING & ETC.

## PROJECT TEAM

OWNER:	230 EL CAMINO, LLC. 851 Burlway Rd., Suite 710 Burlingame, CA 94010	ARCHITECT:	ARC TEC INC. 1731 Technology Drive, Suite 750 San Jose, CA 95110 PHONE: 408.496.0676 CONTACT: Evan Sockalosky EMAIL: evans@arctecinc.com
LANDSCAPE ARCHITECT:	Taniguchi Landscape Architecture 1013 South Claremont St. Ste 1 San Mateo, CA 94401 PHONE: 650.638-9985 CONTACT: Dennis Taniguchi EMAIL: dennis@dtlandarch.com	CIVIL ENGINEER:	BKF ENIGEERS 150 California Street, Suite 600 San Francisco, CA 94111 PHONE: 415.560.6360 CONTACT: Mike O'Connell EMAIL: moconnell@bkf.com

## APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)  
2022 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)  
2022 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)  
2022 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)  
2022 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)  
2022 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 9)  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)

ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

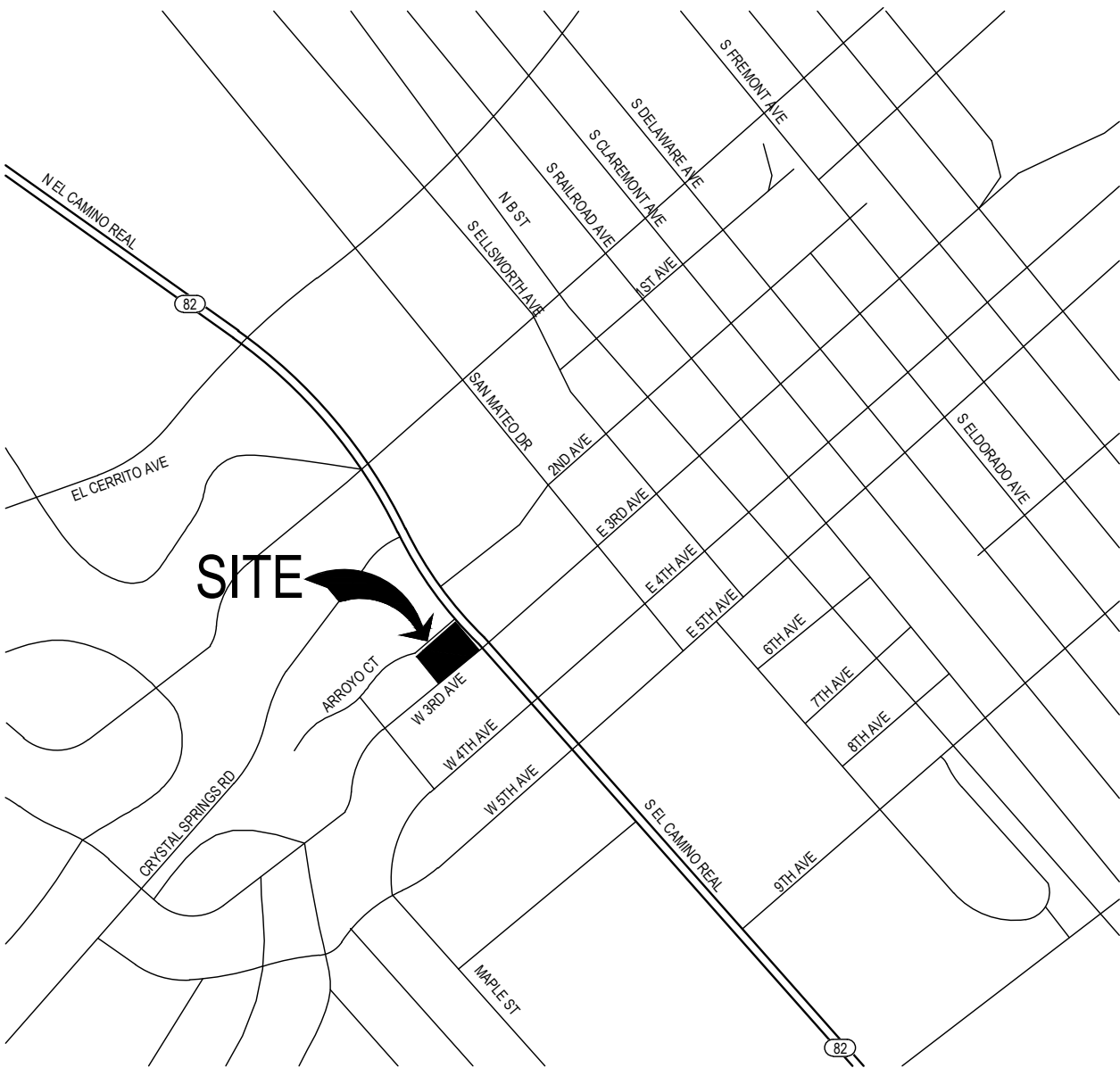
## DRAWING INDEX AND ISSUE DATES

- PRELIMINARY OR PRICING PLANS
- FIRST FORMAL SUBMITTAL OR NO CHANGES SINCE PREVIOUS ISSUE
- MODIFICATIONS SINCE PREVIOUS ISSUE

### COVER SHEET ARCHITECTURAL

A0.11	NEIGHBORHOOD CONTEXT	
A0.21	FLOOR AREA CALCULATIONS	
A0.23	PARCEL COVERAGE / OPEN SPACE	
A1.01	SITE PLAN	
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A2.13	THIRD FLOOR PLAN	
A2.14	ROOF PLAN	
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A3.02	EXTERIOR ELEVATIONS	
A3.03	EXTERIOR ELEVATIONS	
A4.01	BUILDING SECTIONS	
L1	SCHEMATIC LANDSCAPE PLAN	
C1.01	TITLE SHEET	
C1.02	NOTES LEGENDS & ABBREVIATIONS	
C2.01	EXISTING CONDITIONS	
C3.01	PRELIMINARY SITE PLAN	
C4.01	PRELIMINARY GRADING PLAN	
C5.01	PRELIMINARY UTILITY PLAN	
C6.01	PRELIMINARY STORMWATER CONTROL PLAN	
C7.01	PRELIMINARY EROSION CONTROL PLAN	
C7.02	EROSION CONTROL NOTES AND DETAILS	
C7.03	SAN MATEO COUNTY CONSTRUCTION BEST MANAGEMENT PRACTICES	
C8.01	DETAILS	

## VICINITY MAP







SITE, UNDEVELOPED



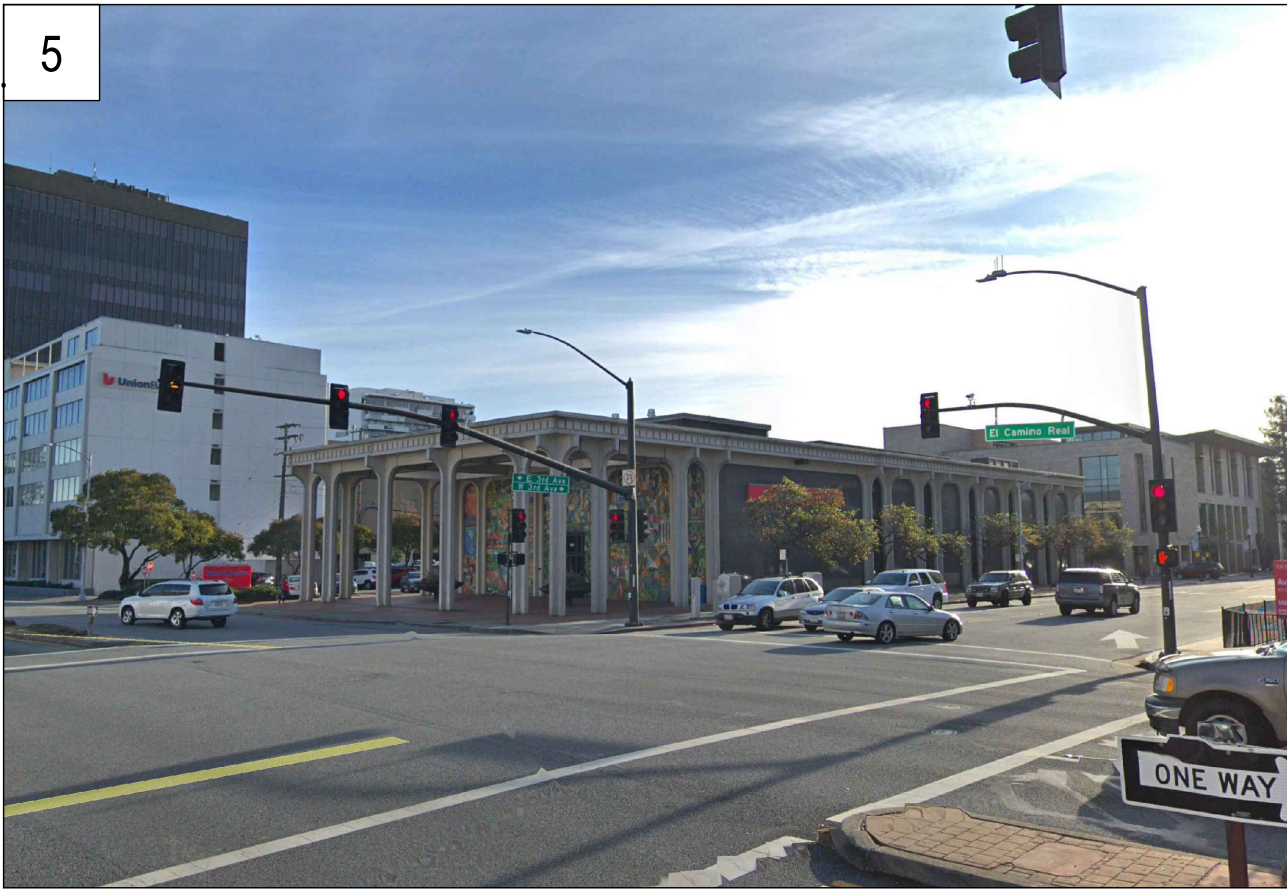
SITE, UNDEVELOPED



6-LEVEL PUBLIC PARKING GARAGE



RESIDENTIAL BUILDINGS



2-LEVEL BANK



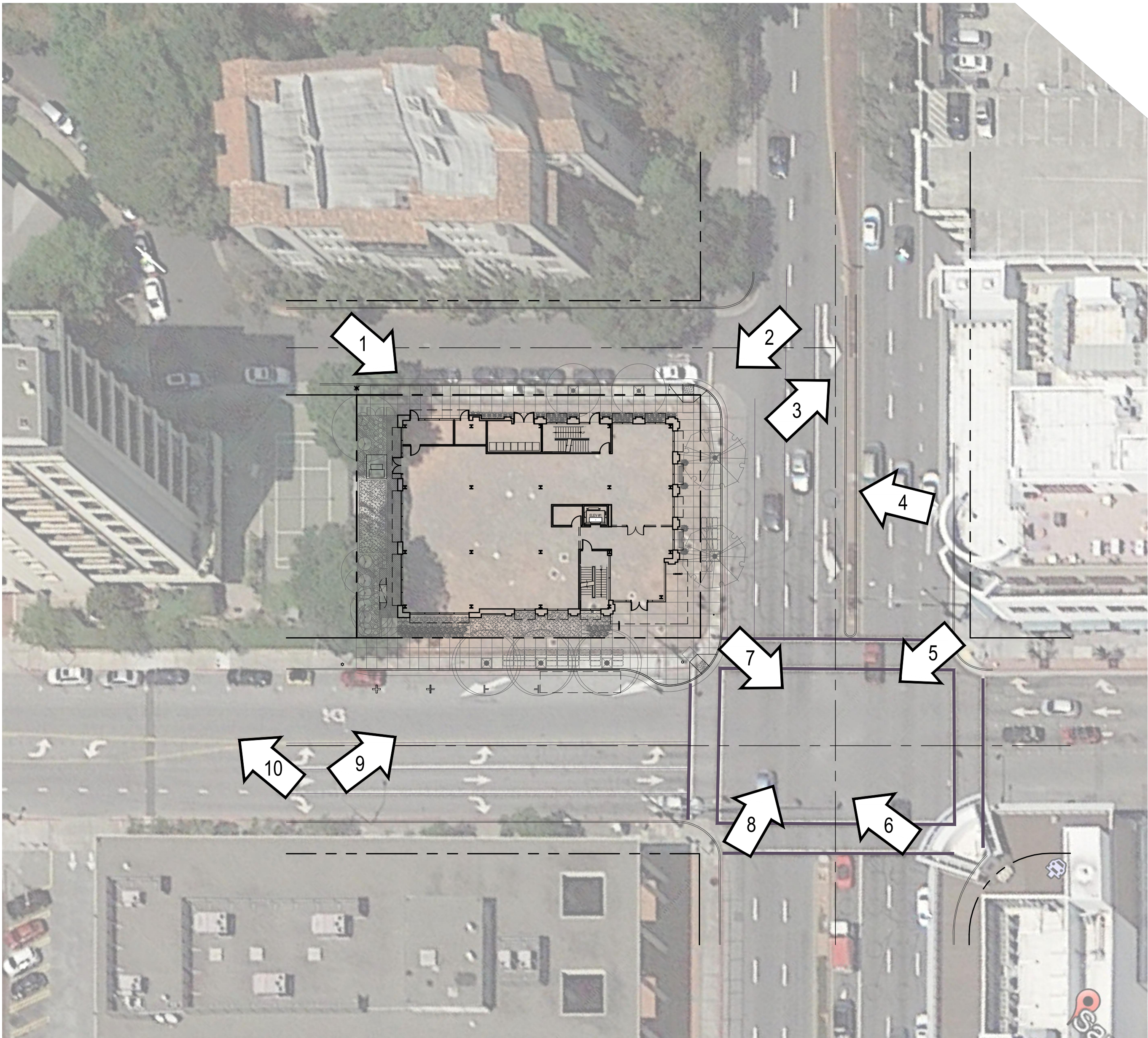
SITE, UNDEVELOPED



3-LEVEL OFFICE BUILDING

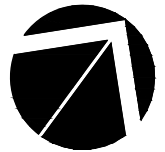


3-LEVEL OFFICE BUILDING



REFERENCE SITE PLAN

SCALE: 1" = 30'-0"



SITE, UNDEVELOPED



12-STORY RESIDENTIAL BUILDING



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In Association with:

A Planning Application for:  
**230 EL CAMINO, LLC.**  
2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE  
07-31-2023

DESCRIPTION  
PLANNING SUBMITTAL

NEIGHBORHOOD CONTEXT

**A0.11**

PROJECT NO: 184784





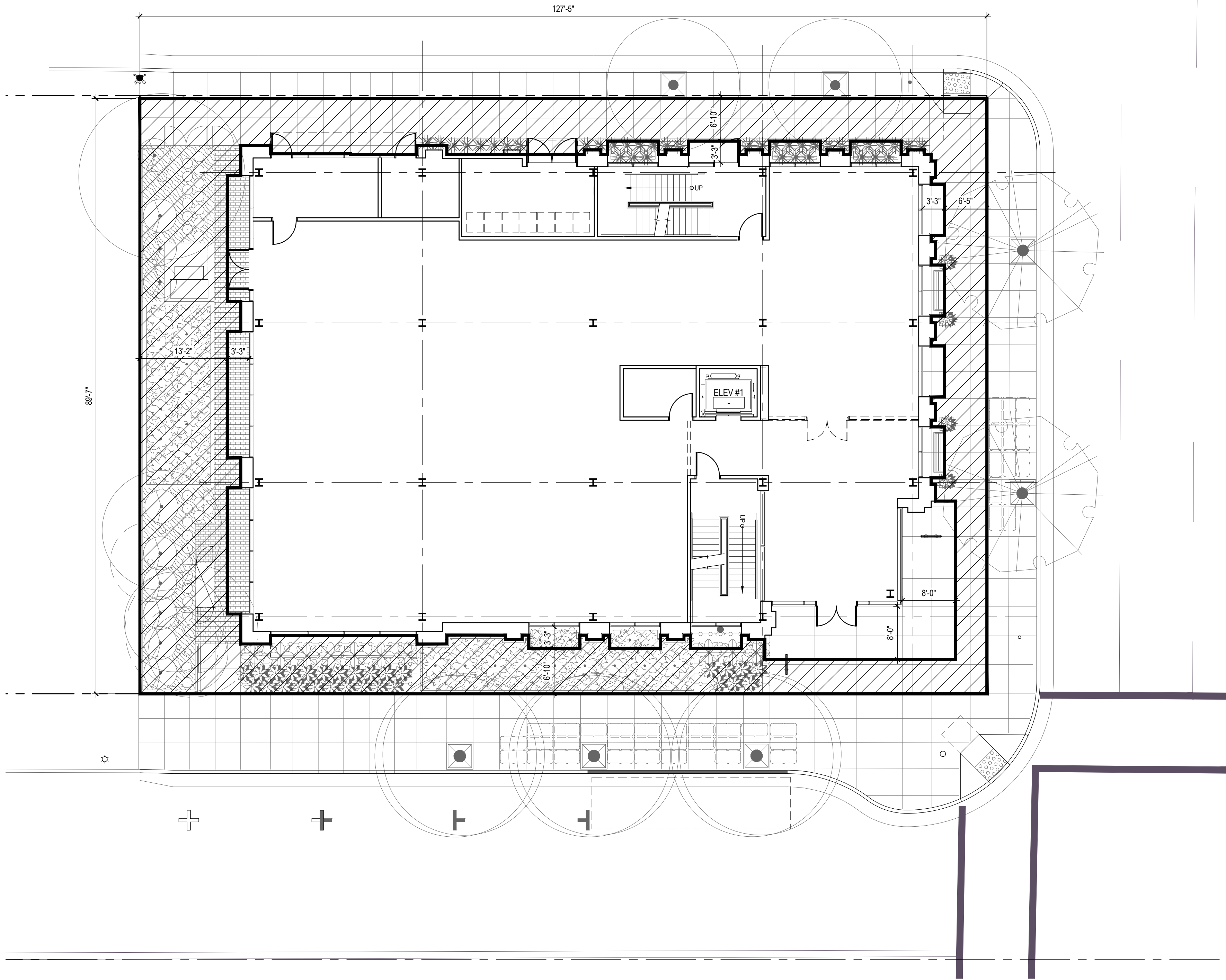
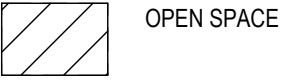
OPEN SPACE CALCULATIONS

PER SMMC 27.48.065 PARCEL COVERAGE  
10% MINIMUM AT GRADE OPEN SPACE REQUIRED  
(MORE THAN 3' OVERHANG TO BE INCLUDED IN PARCEL COVERAGE)

REQUIRED OPEN SPACE:

SITE AREA	11,464	S.F.
REQUIRED OPEN SPACE:	115	S.F.
PROVIDED OPEN SPACE:	3,391	S.F. / 30%

OPEN SPACE LEGEND



PARCEL COVERAGE - OPEN SPACE AREA PLAN



SCALE: 1" = 10'-0"



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PARCEL COVERAGE / OPEN SPACE

**A0.23**

PROJECT NO: 184784











KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM; REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 ENTRY/EXIT DOOR
- 4 EXTERIOR WALL: BRICK
- 5 EXTERIOR WALL: SMOOTH TROWLED PLASTER
- 6 CANOPY, ABOVE SHOWN DASHED, BELOW SHOWN SOLID
- 7 EXTERIOR LIGHTING, SEE ELEVATIONS
- 8 NOT USED
- 9 ROOF SCREEN
- 10 MECHANICAL EQUIPMENT
- 11 ENTRY/EXIT DOOR TO BALCONY; FINAL DOOR LOCATION TO BE DETERMINED AT TIME OF TENANT IMPROVEMENT
- 12 LOCATION OF 5 KILOWATT PHOTOVOLTAIC SYSTEM
- 13 STAIR HATCH TO ROOF
- 14 PERFORATED METAL PANEL
- 15 HEAVENLY BAMBOO



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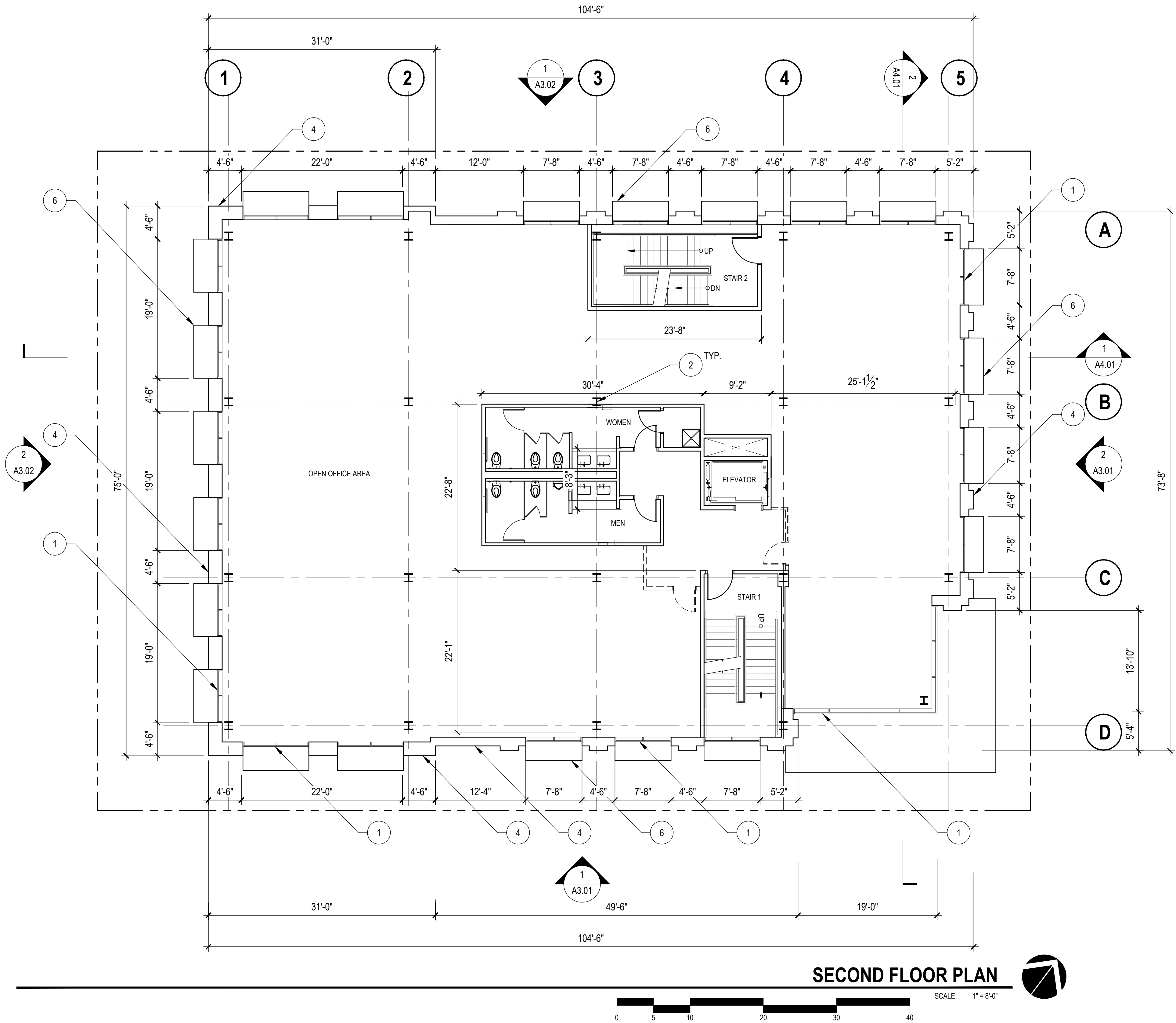
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DATE	DESCRIPTION
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SECOND FLOOR PLAN

A2.12

PROJECT NO: 184784





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- 4 EXTERIOR WALL: BRICK
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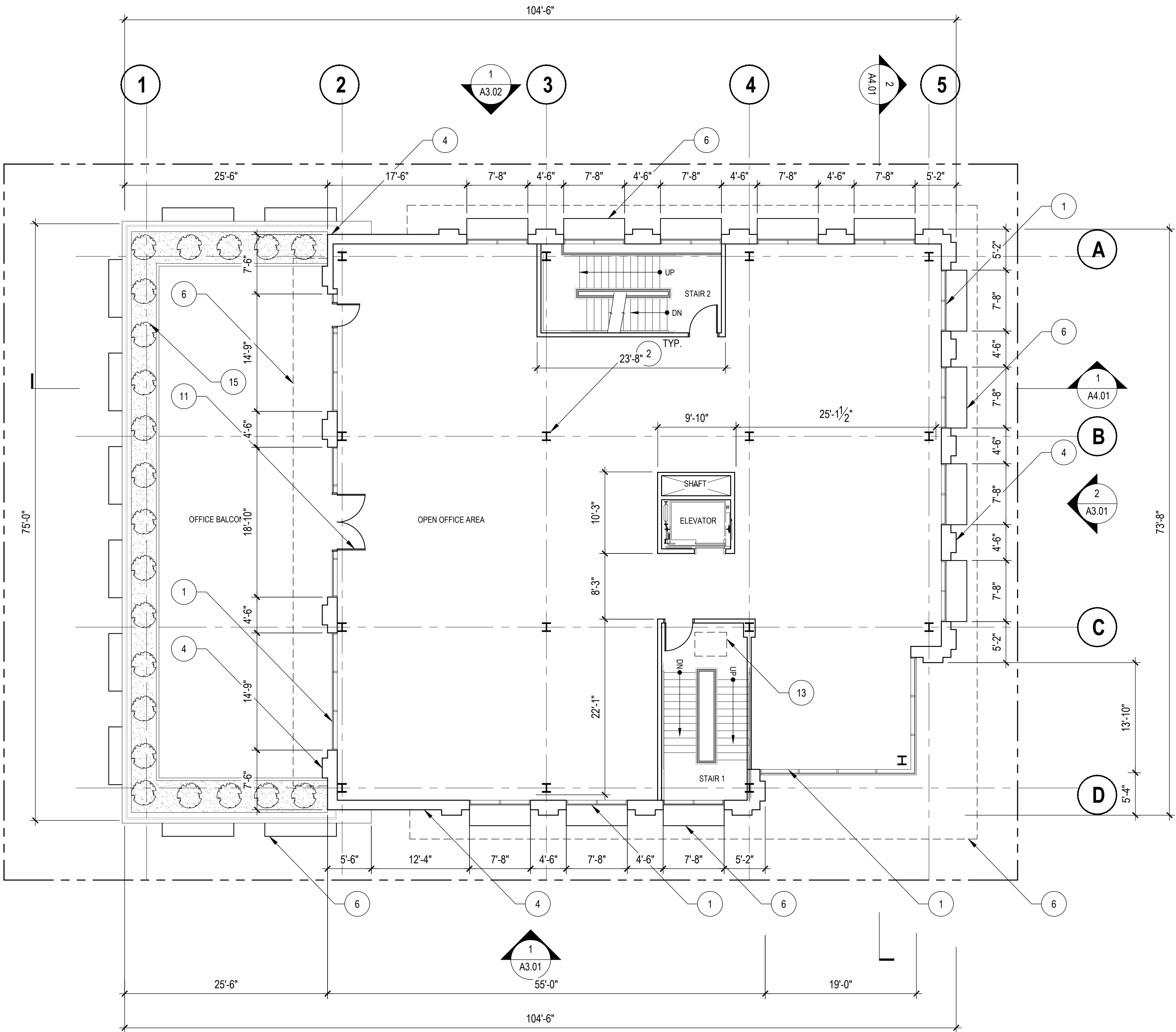
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THIRD FLOOR PLAN

A2.13

PROJECT NO: 184784



THIRD FLOOR PLAN

SCALE: 1" = 8'-0"





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- 4 EXTERIOR WALL; BRICK
- 5 EXTERIOR WALL; SMOOTH TROWLED PLASTER
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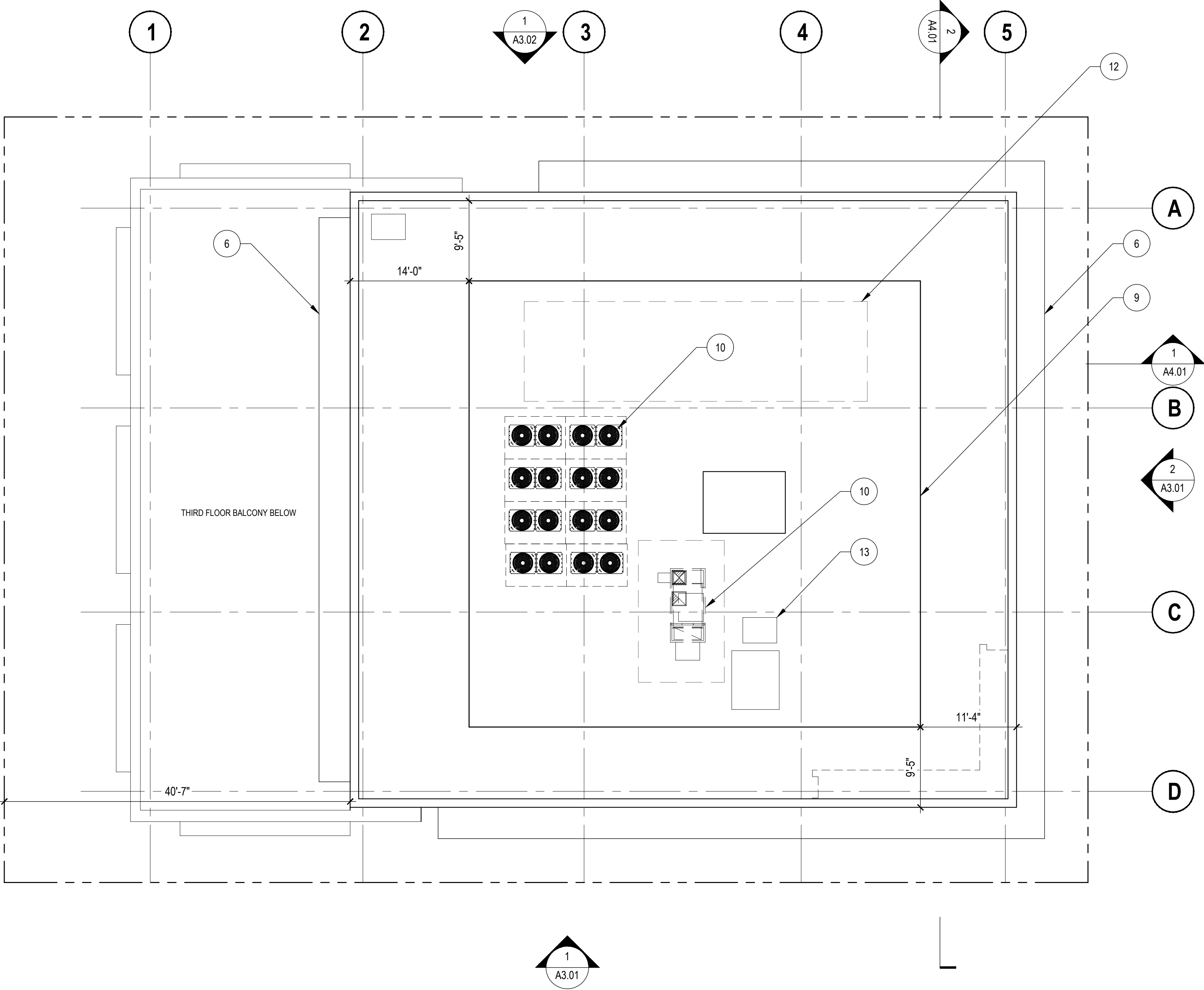
ROOF PLAN

A2.14

PROJECT NO: 184784

ROOF FLOOR PLAN

SCALE: 1" = 8'-0"





KEYNOTES

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- 1

1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN BROZE ALUMINUM FRAMES AND VERTICAL BUTT JOINTS
- 2

1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN BRONZE ALUMINUM FRAMES AND EXPRESSED VERTICAL & HORIZONTAL MULLIONS
- 3

ENTRY/EXIT DOOR
- 4

ALUMINUM COMPOSITE METAL CANOPY
- 5

C CHANNEL STEEL CANOPY WITH WOOD INFILL
- 6

SMOOTH TROWLED PLASTER
- 7

BRICK VENEER AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 8

EXTERIOR WALL SCONCE A, UP AND DOWN LIGHT
- 9

MONOLITHIC GLASS GUARDRAIL
- 10

EXTRUDED ANODIZED ALUMINUM ADDRESS NUMERALS
- 11

PERFORATED METAL INFILL PANEL
- 12

EXTRUDED ANODIZED ALUMINUM REGLET AND PARAPET CAP
- 13

MECHANICAL SCREEN



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In Association with:

MATERIAL PALETTE

\* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- G1

GLAZING\*  
TYPE:  
COLOR:

1" INSULATED  
LOW TINT
- G2

GLAZING\*  
TYPE:  
COLOR:

1" INSULATED  
GRAY TINT
- B1

THIN BRICK VENEER TO MATCH  
MANUFACTURER:  
TYPE:  
SIZE:  
FINISH:

PACIFIC CLAY  
COASTAL SERIES LAGUNA  
THIN BRICK  
SMOOTH
- P1

PAINT OVER STUCCO FINISH TO MATCH  
MANUFACTURER:  
COLOR:

DUNN EDWARDS  
DEC751 ASH GRAY
- W1

WOOD CLADDING FINISH TO MATCH  
MANUFACTURER:  
COLOR:

TREE FROG  
60219 WHITE OAK
- M1

ALUMINUM SUNSCREEN FINISH TO MATCH  
MANUFACTURER:  
SERIES:  
FINISH:

REYNOBOND  
COLORWELD 500 XL  
TITANIUM
- M2

ALUMINUM SUNSCREEN FINISH TO MATCH  
MANUFACTURER:  
SERIES:  
FINISH:

REYNOBOND  
COLORWELD 500 XL  
NIGHTFALL METALLIC

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EXTERIOR ELEVATIONS

A3.01

PROJECT NO: 184784



SOUTH EAST ELEVATION - 3RD AVE

SCALE: 1/8" = 1'-0"



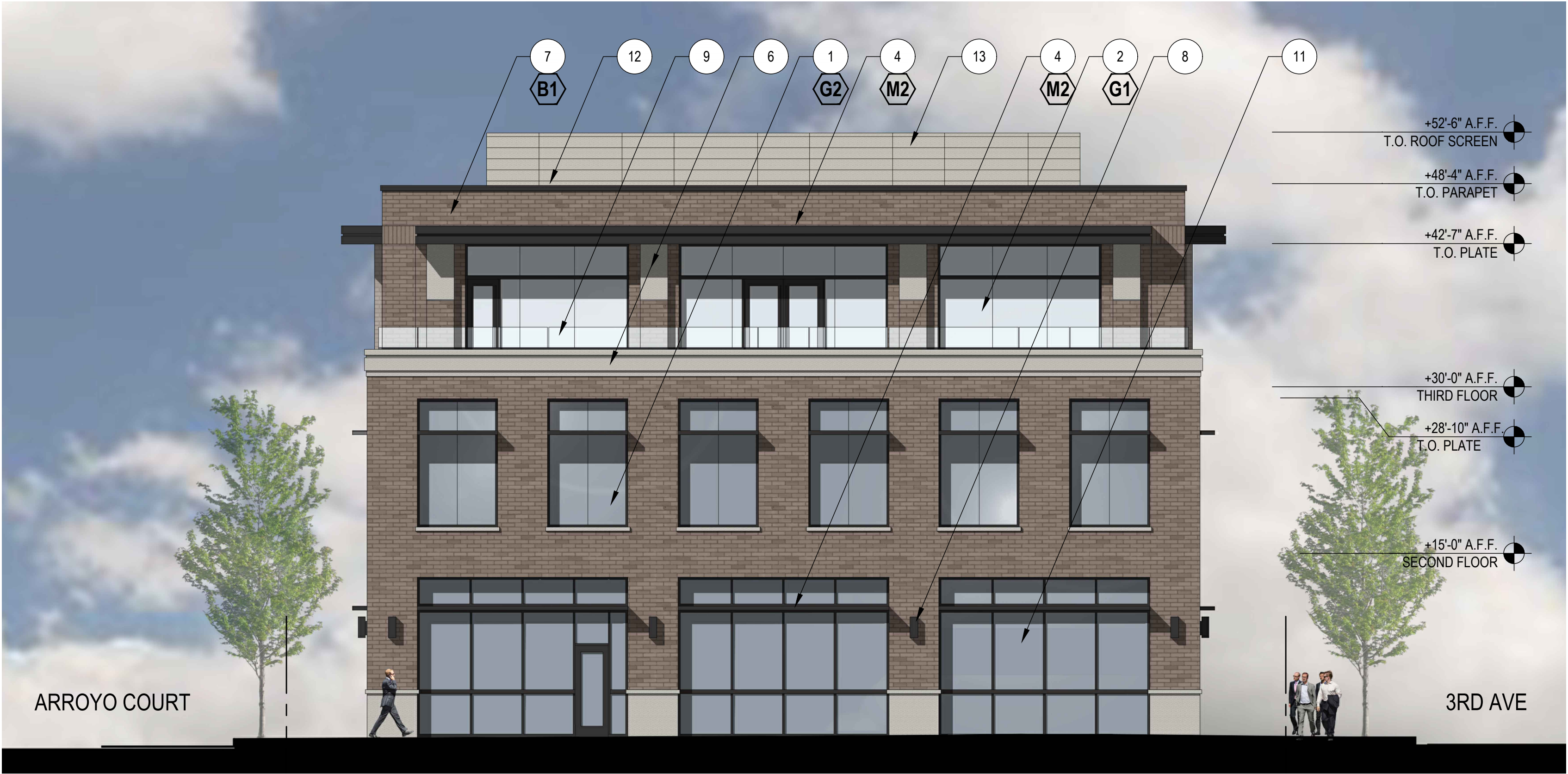
NORTH EAST ELEVATION - EL CAMINO REAL

SCALE: 1/8" = 1'-0"





NORTH WEST ELEVATION - ARROYO CT.



SOUTH WEST ELEVATION



## KEYNOTES

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- PERFORATED METAL INFILL PANEL
- EXTRUDED ANODIZED ALUMINUM REGLET AND PARAPET CAP
- MECHANICAL SCREEN

## MATERIAL PALETTE

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G1	GLAZING* TYPE: COLOR:	1" INSULATED LOW TINT
G2	GLAZING* TYPE: COLOR:	1" INSULATED GRAY TINT
B1	THIN BRICK VENEER TO MATCH MANUFACTURER: TYPE: SIZE: FINISH:	PACIFIC CLAY COASTAL SERIES LAGUNA THIN BRICK SMOOTH
P1	PAINT OVER STUCCO FINISH TO MATCH MANUFACTURER: COLOR:	DUNN EDWARDS DEC751 ASH GRAY
W1	WOOD CLADDING FINISH TO MATCH MANUFACTURER: COLOR:	TREE FROG 60219 WHITE OAK
M1	ALUMINUM SUNSCREEN FINISH TO MATCH MANUFACTURER: SERIES: FINISH:	REYNOBOND COLORWELD 500 XL TITANIUM
M2	ALUMINUM SUNSCREEN FINISH TO MATCH MANUFACTURER: SERIES: FINISH:	REYNOBOND COLORWELD 500 XL NIGHTFALL METALLIC



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In Association with:

A Planning Application for:  
**230 EL CAMINO, LLC.**  
2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
07-31-2023	PLANNING SUBMITTAL

EXTERIOR ELEVATIONS

**A3.02**

PROJECT NO: 184784





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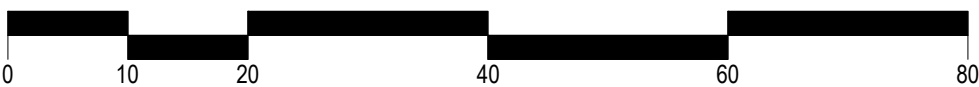
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In Association with:



SCALE: 1/16" = 1'-0"

1



SCALE: 1/16" = 1'-0"

2



## A Planning Application for:

**230 EL CAMINO, LLC.**

2 WEST 3RD AVE

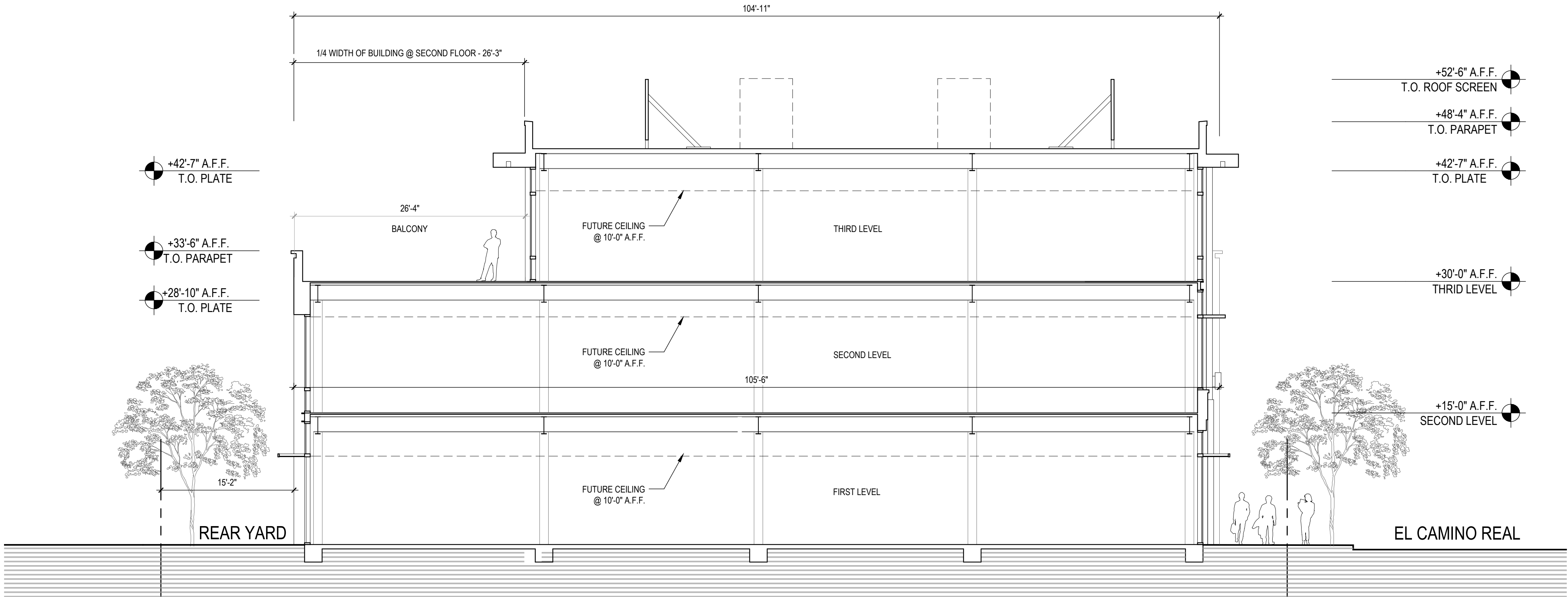
DATE	DESCRIPTION
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## EXTERIOR ELEVATIONS

### A3.03

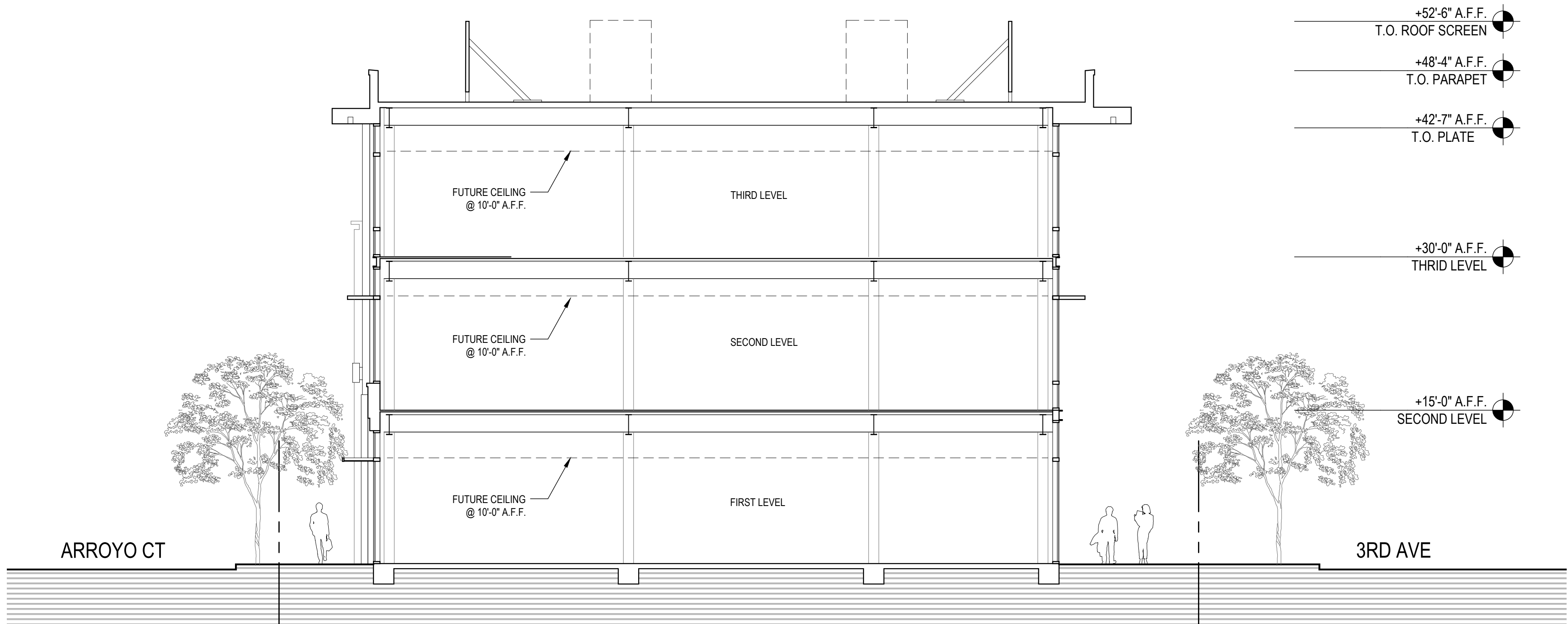
PROJECT NO: 184784





SOUTH EAST ELEVATION - 3RD AVE

1



NORTH EAST ELEVATION - EL CAMINO REAL

2



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A Planning Application for:  
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DATE	DESCRIPTION
07-31-2023	PLANNING SUBMITTAL

BUILDING SECTIONS

A4.01

PROJECT NO: 184784



### LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SWALE
		ELECTRIC LINE
		GAS LINE—VALVE & METER
		SANITARY SEWER PIPE
		STREET LIGHT LINE
		SPOT ELEVATION
		STORM DRAIN PIPE
		TELEPHONE LINE
		TELEVISION LINE
		WATER LINE
		AUTOMATIC SPRINKLER RISER
		BACKFLOW PREVENTION DEVICE
		ELECTROLIER
		FIRE DEPARTMENT CONNECTION
		FIRE HYDRANT
		WATER METER
		GAS METER
		TRAFFIC SIGN
		TREE
		UTILITY BOX
		WATER VALVE
		ANODE
		MANHOLE

## ABBREVIATIONS

AC	ASPHALTIC CONCRETE	LIP	LIP OF GUTTER
ACP	ASBESTOS CEMENT PIPE	LS	LAND SURVEYOR
ASR	AUTOMATIC SPRINKLER RISER	MON	MONUMENT
BFP	BACK FLOW PREVENTER	NO	NUMBER
BLDG	BUILDING	PGE	PACIFIC GAS & ELECTRIC
BOE	BOTTOM OF EXCAVATION	POST	POST INDICATOR VALVE
BW	BACK OF WALK	PM	PARKING METER
C.	CONCRETE	PV	PAVEMENT
CATV	CABLE TELEVISION	RCP	REINFORCED CONCRETE PIPE
CB	CATCH BASIN	RE	RIM ELEVATION
CO	CLEAN OUT TO GRADE	RWB	RECLAIMED WATER BOX
COMM	COMMUNICATION	RWV	RECLAIMED WATER VALVE
DI	DRAIN INLET	SDMH	STORM DRAIN MANHOLE
EB	ELECTRIC BOX	SLB	STREET LIGHT BOX
EMH	EXTERNAL MANHOLE	SS	SANITARY SEWER
EV	ELECTRIC VAULT	SSCO	SANITARY SEWER CLEAN OUT
EW	EDGE OF WALK	SSMH	SANITARY SEWER MANHOLE
FC	FACE OF CURB	TB	TELEPHONE BOX
FD	FOUND	TC	TOP OF CURB
FF	FINISH FLOOR	TCO	THRU CURB DRAIN
FL	FLOW LINE	TMH	TELEPHONE MANHOLE
FW	FACE OF WALL	TV	TELEVISION
GM	GAS METER	TW	TREE WELL
GRN	GROUND	UB	UTILITY BOX
GV	GAS VALVE	VCP	VITRIFIED CLAY PIPE
IB	IRRIGATION BOX	WB	WATER BOX
IE	INVERT ELEVATION	WM	WATER METER
IP	IRON PIPE	WV	WATER VALVE
L/S	LANDSCAPE		

## PROJECT VICINITY MAP

NOT TO SCALE

## LOCATION MAP

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C1.01	TITLE SHEET
C1.02	NOTES, LEGEND & ABBREVIATIONS
C2.01	EXISTING CONDITIONS
C3.01	PRELIMINARY SITE PLAN
C4.01	PRELIMINARY GRADING PLAN
C5.01	PRELIMINARY UTILITY PLAN
C6.01	PRELIMINARY STORMWATER CONTROL PLAN
C7.01	PRELIMINARY EROSION CONTROL PLAN
C7.02	EROSION CONTROL NOTES AND DETAILS
C7.03	SAN MATEO COUNTY CONSTRUCTION BEST MANAGEMENT PRACTICES
C8.01	DETAILS

### BASIS OF ELEVATION

ELEVATIONS SHOWN ARE BASED UPON AN ASSUMED ELEVATION. RIM  
ELEVATION OF SANITARY SEWER MANHOLE AT THE INTERSECTION OF EL  
CAMINO REAL AND ARROYO COURT = 99.17.

## BASIS OF BEARINGS

BASIS OF BEARINGS IS PER POINTS FOUND ALONG 4TH AVENUE AS SHOWN ON THE MAP RECORDED IN BOOK 101 OF MAPS, AT PAGE 67. BEARING ALONG CENTERLINE OF 3RD AVENUE TAKEN AS NORTH 48°32'45" EAST.

### ENGINEER'S STATEMENT

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

MICHAEL A. O'CONNELL, P.E.  
SENIOR ASSOCIATE PRINCIPAL  
P.E. #75811 EXP 06/30/24  
BKF ENGINEERS



8.01.2023

DATE \_\_\_\_\_

**230 EL CAMINO, LLC.**  
2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
8.01.2023	PLANNING SUBMITTAL

TITLE SHEET

## C1.01

PROJECT NO: 20181887









**BKF ENGINEERS**  
150 CALIFORNIA STREET  
SUITE 600  
SAN FRANCISCO, CA 94111  
(415) 930-7900  
www.bkf.com

NOTES:

- EXISTING CONDITION INFORMATION IS BASED ON A SURVEY PREPARED BY DMG ENGINEERING INC., DATED 4.9.2014, AS WELL AS UTILITY RECORD INFORMATION PROVIDE BY THE CITY OF SAN MATEO.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ASSESSOR PARCEL NUMBER: 030-093-050
- LOT AREA: 11,464± SQUARE FEET

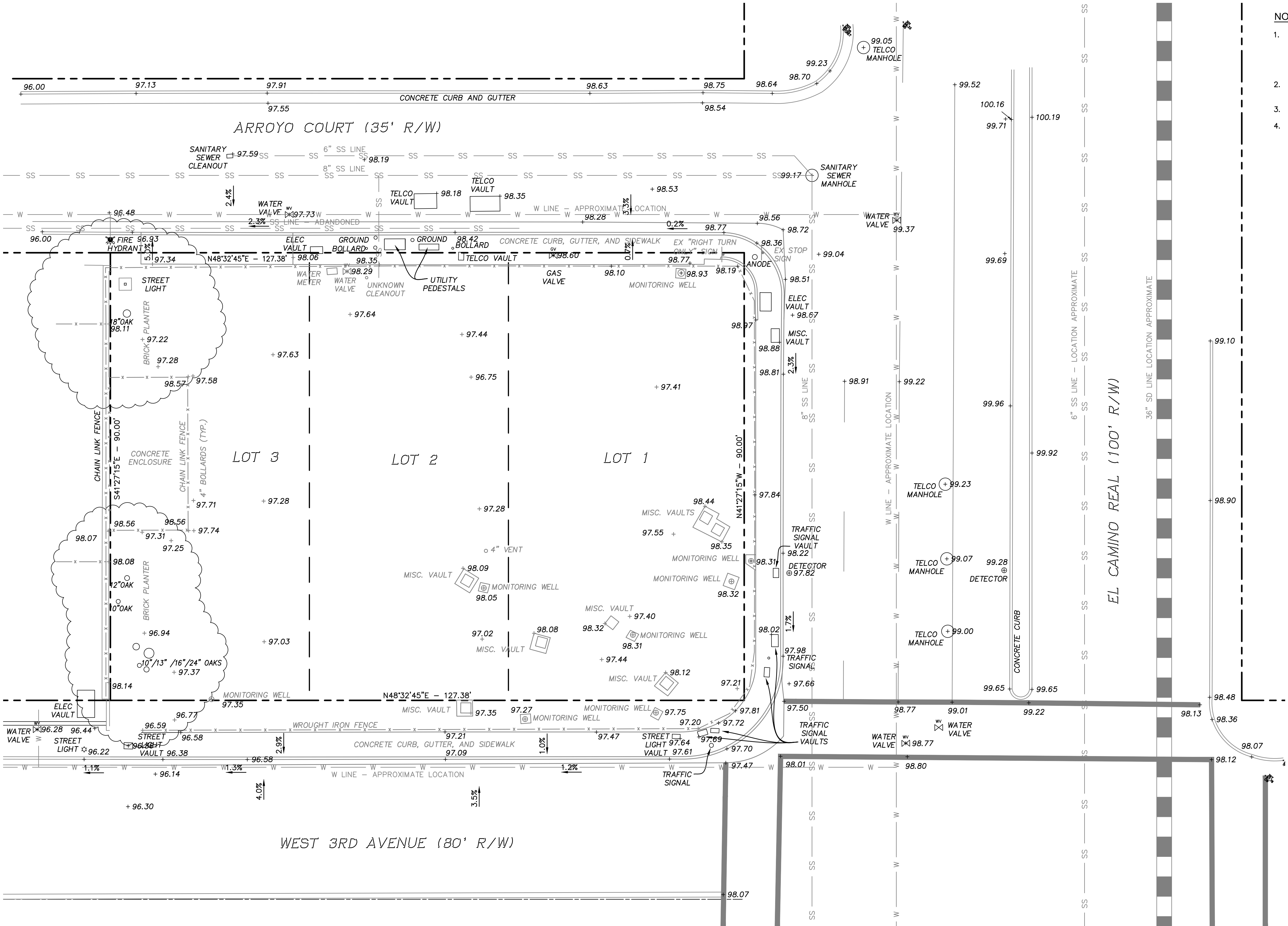
A PLANNING APPLICATION FOR:  
**230 EL CAMINO, LLC.**  
2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
8.01.2023	PLANNING SUBMITTAL

EXISTING CONDITIONS

C2.01

PROJECT NO: 20181887

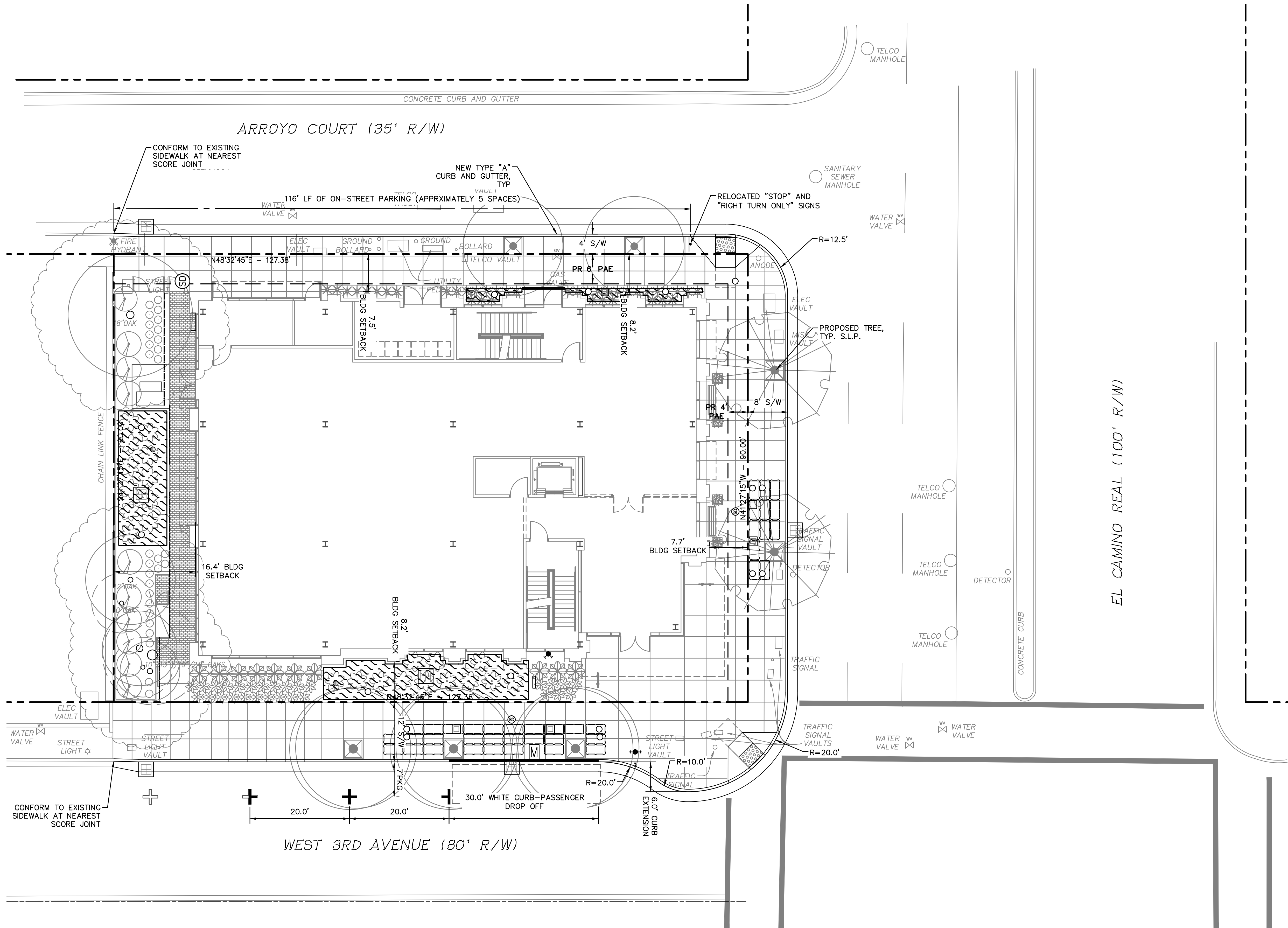


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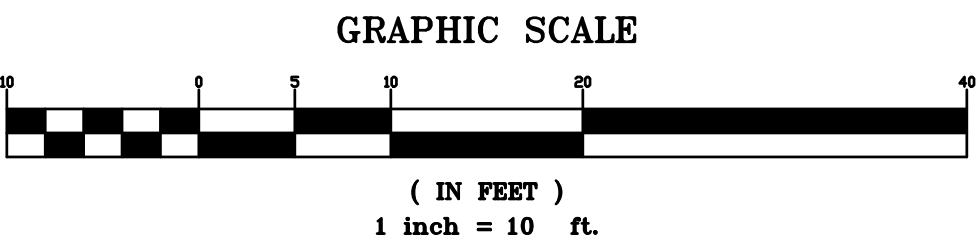
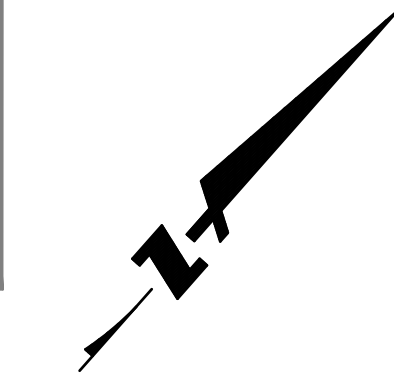
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2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
8.01.2023	PLANNING SUBMITTAL

PRELIMINARY SITE PLAN

**C3.01**

PROJECT NO: 20181887

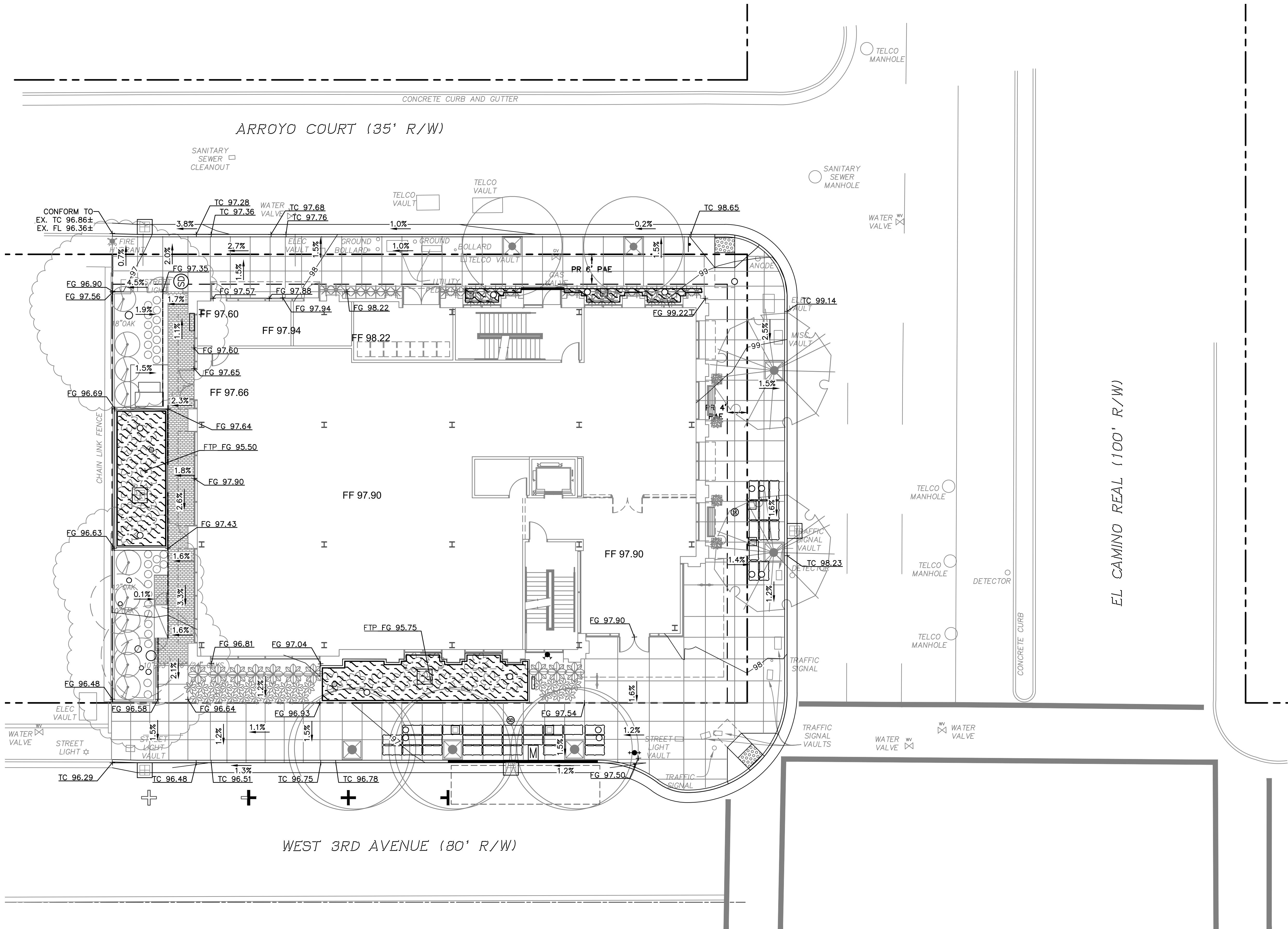


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A PLANNING APPLICATION FOR:  
**230 EL CAMINO, LLC.**  
2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
8.01.2023	PLANNING SUBMITTAL

PRELIMINARY GRADING PLAN

**C4.01**

PROJECT NO: 20181887





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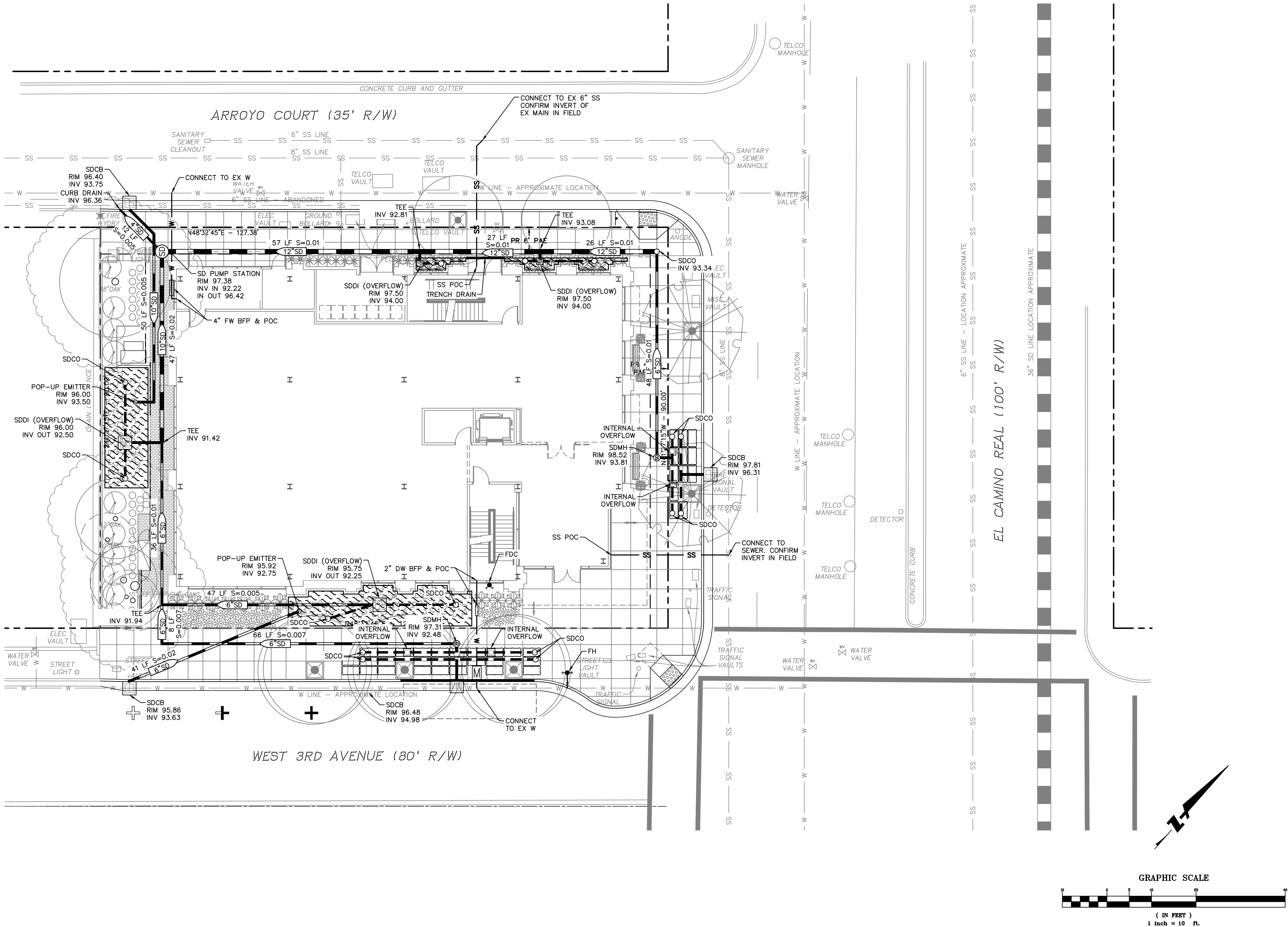
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2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
8.01.2023	PLANNING SUBMITTAL

PRELIMINARY UTILITY PLAN

**C5.01**

PROJECT NO: 20181887



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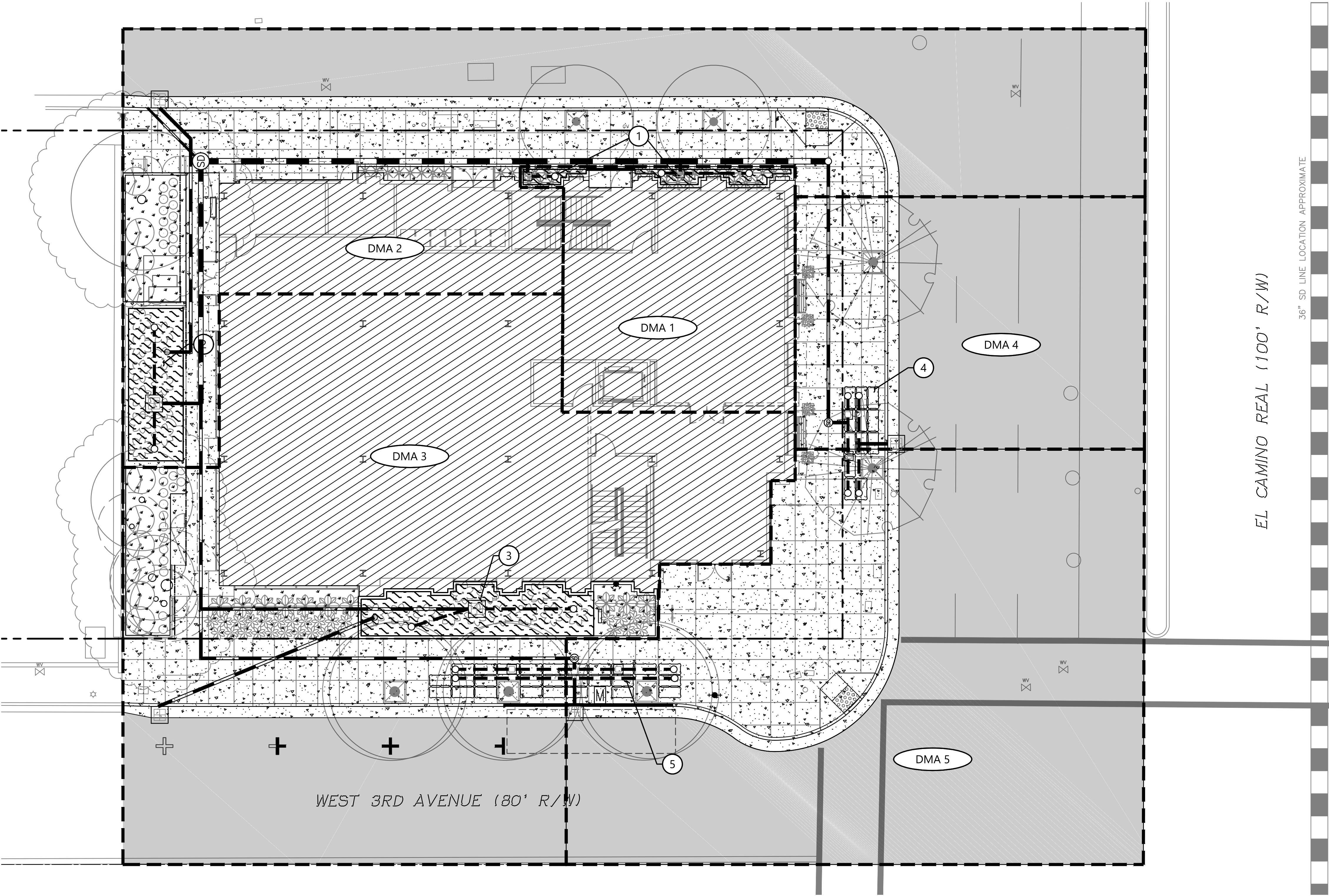




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TREATMENT CONTROL MEASURES SUMMARY TABLE										
DMA #	TCM #	LOCATION	TREATMENT TYPE	SIZING METHOD	DRAINAGE AREA (SF)	IMPERVIOUS ROOF AREA (SF)	IMPERVIOUS PAVEMENT AREA (SF)	PERVIOUS AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)
1	1	ONSITE	BIORETENTION	4% METHOD	1,817	1,665	80	0	70	72
2	2	ONSITE/OFFSITE	BIORETENTION	4% METHOD	6,999	1,225	5,210	303	259	261
3	3	ONSITE/OFFSITE	BIORETENTION	4% METHOD	8,635	4,263	3,398	648	309	326
4	4	ONSITE/OFFSITE	SILVA CELLS	4% METHOD	2,766	0	2,766	0	12 CELLS	12 CELLS
5	5	ONSITE/OFFSITE	SILVA CELLS	4% METHOD	6,544	0	6,545	0	27 CELLS	27 CELLS
TOTAL					26,761	7,153	17,999	951	637	659 SF & 39 CELLS

ARROYO COURT (35' R/W)

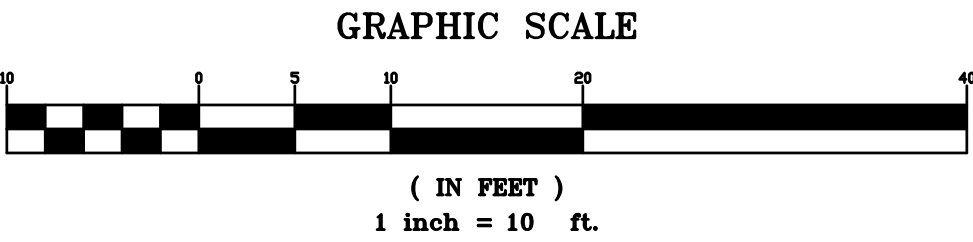


LEGEND

- DMA 1
- 1
- DMA BOUNDARY
- PERVIOUS LANDSCAPE
- IMPERVIOUS CONCRETE
- IMPERVIOUS ASPHALT
- ROOF
- BIORETENTION AREA
- PERMEABLE PAVEMENT
- SILVA CELL, SEE NOTE 1

NOTES

- ONE SILVA CELL IS EQUIVALENT TO 10 SF OF BIORETENTION AREA.



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2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
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PRELIMINARY STORMWATER CONTROL PLAN

**C6.01**  
PROJECT NO: 20181887





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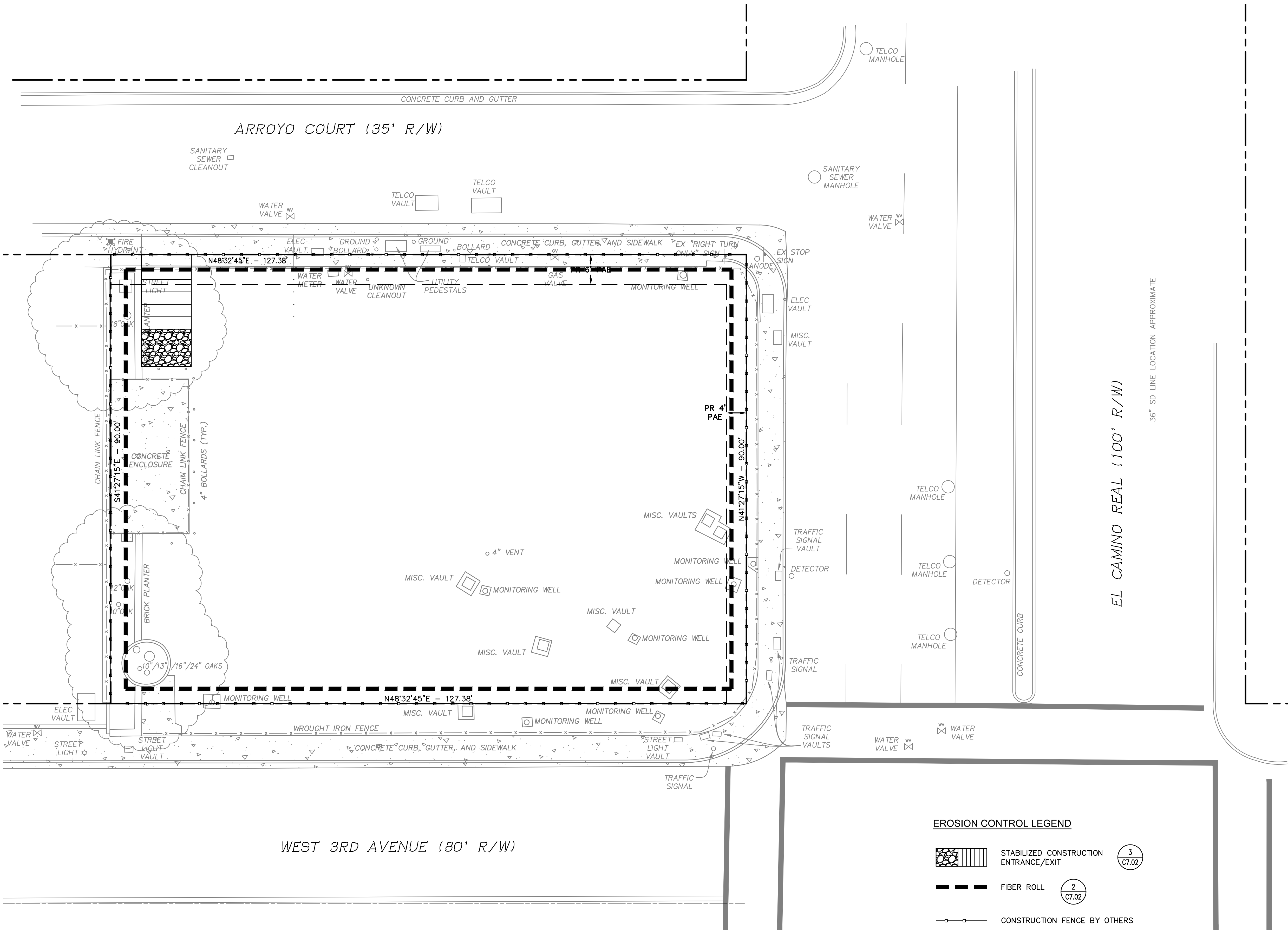
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SAN MATEO, CA 94401

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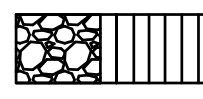

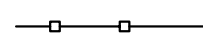
PRELIMINARY EROSION CONTROL PLAN

**C7.01**

PROJECT NO: 20181887

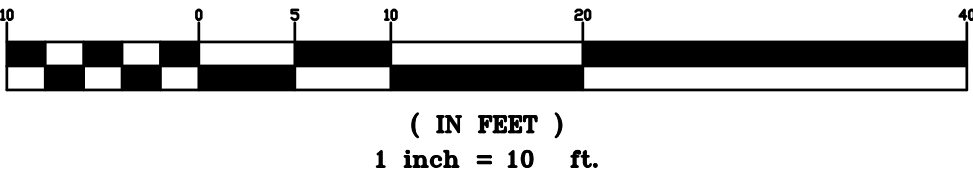


**EROSION CONTROL LEGEND**

-  STABILIZED CONSTRUCTION ENTRANCE/EXIT (3) C7.02
-  FIBER ROLL (2) C7.02
-  CONSTRUCTION FENCE BY OTHERS

**NOTE:**  
EROSION CONTROL PLAN REPRESENTS INITIAL CONDITION ONLY. UPDATES TO PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR.

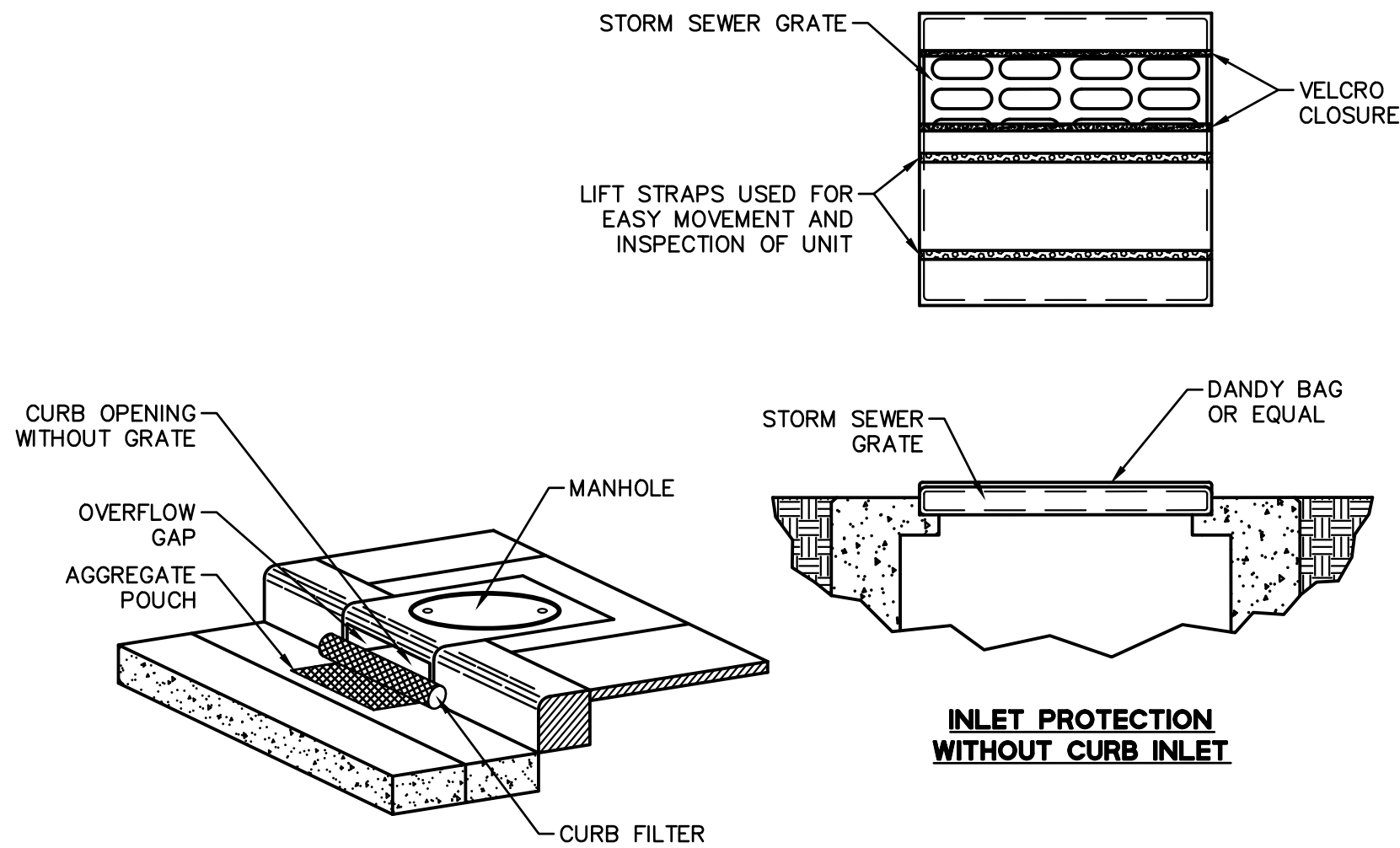
**GRAPHIC SCALE**







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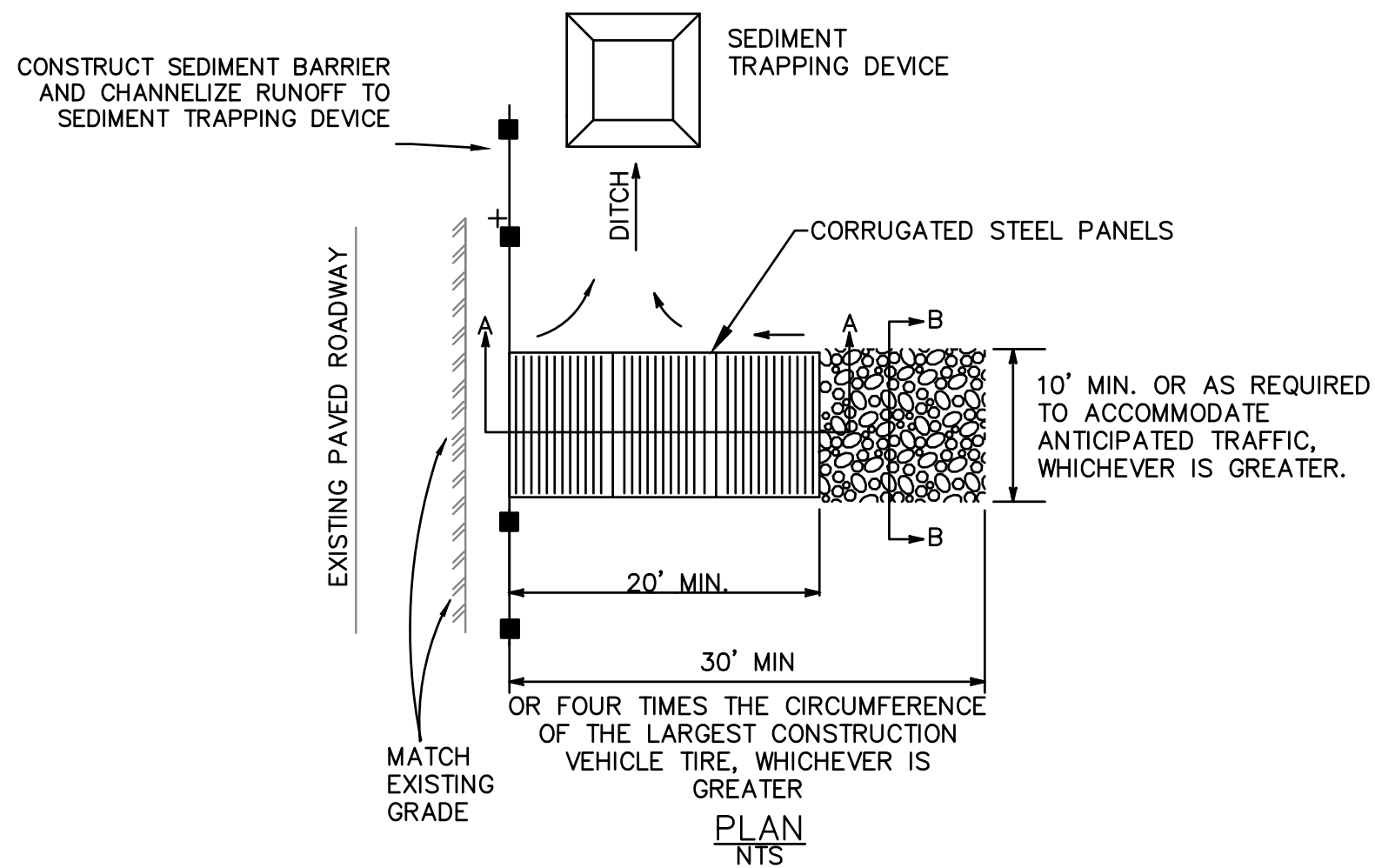


**INLET PROTECTION  
WITH CURB INLET**

**NOTES:**

1. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
2. PRIOR TO INSTALLATION, CLEAR THE AREA AROUND EACH INLET OF OBSTRUCTIONS, INCLUDING ROCKS, CLODS, AND DEBRIS GRATER THAN 1-IN DIAMETER.

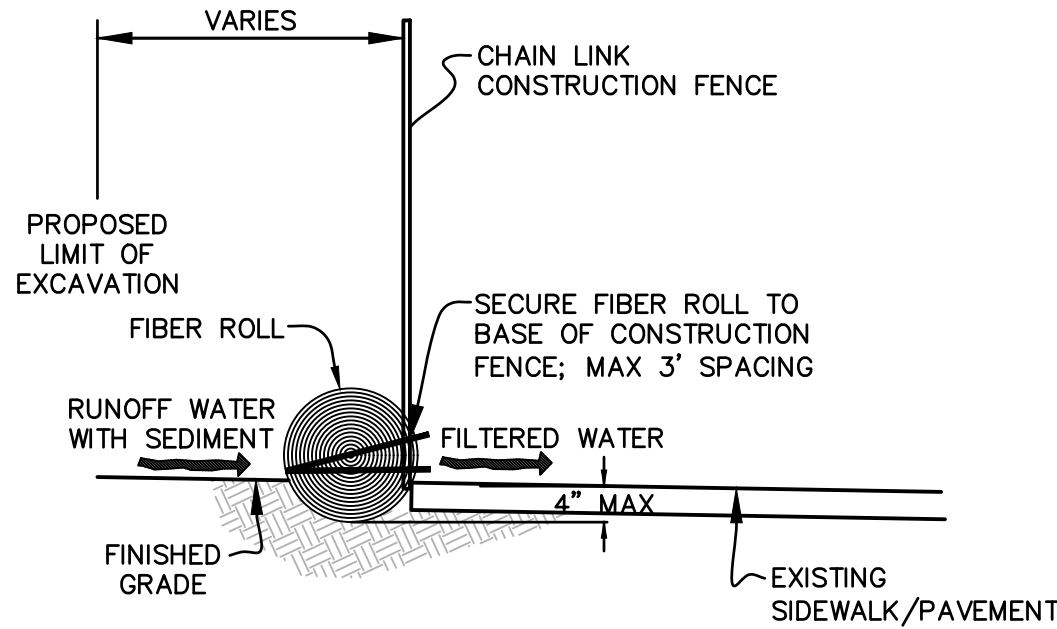
**1 CURB INLET SEDIMENT FILTER BAG PROTECTION**  
NTS



**NOTES:**

1. THE LOCATIONS SHOWN ARE FOR INFORMATION ONLY. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL ROCK AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USE TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY.
2. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED ROCK THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. SEDIMENT SHALL BE PREVENTED FROM ENTERING THE STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF INLET PROTECTION (E.G. GRAVELBAGS OR OTHER APPROVED METHODS).
3. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12".
4. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, OR 10', WHICHEVER IS LESS.

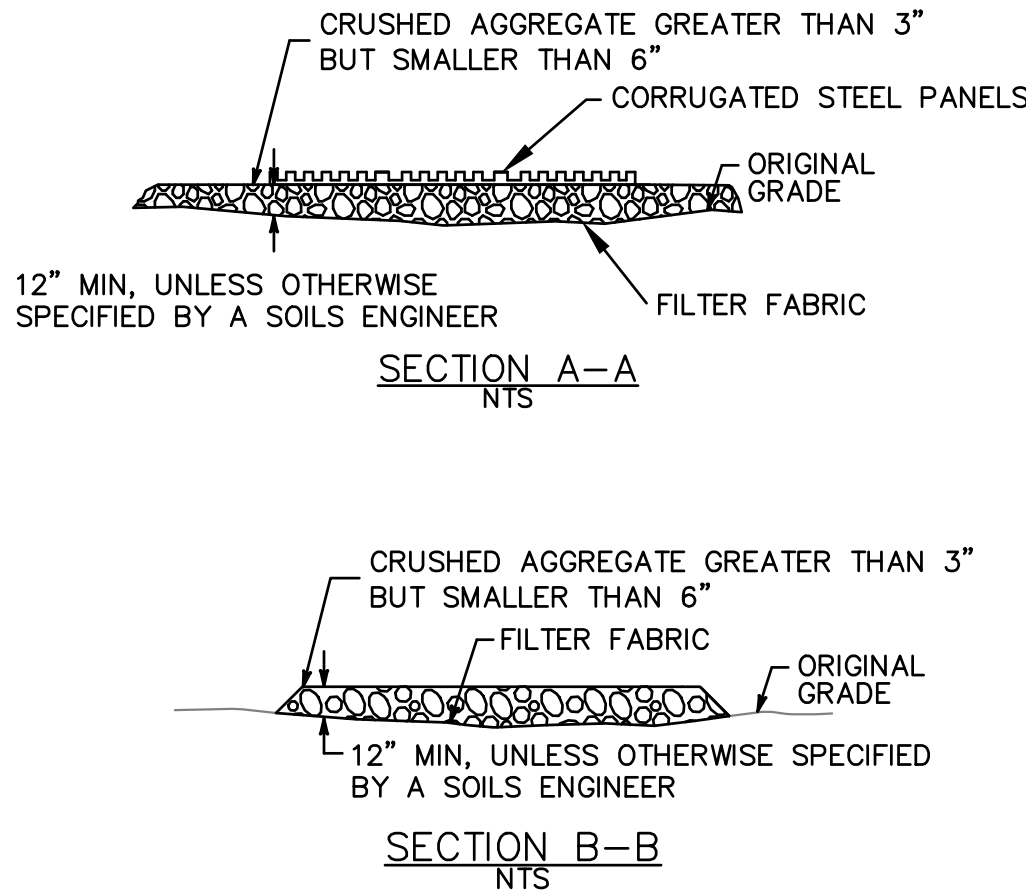
**3 STABILIZED CONSTRUCTION ENTRANCE**  
NTS



**NOTES:**

1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE ANCHORING OF THE ROLL TO THE BASE OF THE CONSTRUCTION FENCE IN A TRENCH, 3" TO 4" DEEP, AND WEIGHTED WITH A SAND OR RACK BAG TO PREVENT FIBER ROLL FROM FLOATATION OR UP LIFT.
2. ADJACENT ROLLS SHALL TIGHTLY ABUT.
3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

**2 FIBER ROLL**  
NTS



**EROSION AND SEDIMENT CONTROL NOTES:**

1. DEVELOPER: HABITAT  
851 BURLWAY RD, SUITE 710  
BURLINGAME, CA 94010  
CONTACT: ALEX MORTAZAVI (650) 579-4994

IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.

2. CIVIL ENGINEER: BKF ENGINEERS  
150 CALIFORNIA STREET, SUITE 600  
SAN FRANCISCO, CA 94111  
(415) 930-7900

3. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.

4. DEVELOPER WILL SUBMIT TO THE CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCTOBER 15TH AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.

- 5.

6. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING AND AFTER STORM EVENTS.

7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR OTHER SUBSTANCE OVER A PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD THE HAUL MATERIAL BLOW, SPILL, OR TRACK OVER UPON SAID PUBLIC OR AND ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.

8. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

9. DURING THE RAINY SEASON, PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO THE STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.

10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING THE POLLUTION ABATEMENT SHALL BE COMPLIED WITH.

11. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

12. THE CONTRACTOR SHALL UPDATE THE PLANS TO REFLECT CHANGING SITE CONDITIONS. PLAN UPDATES SHALL BE BASED UPON GENERAL SURVEY DATA. EROSION CONTROL EFFECTIVENESS SHALL ALSO BE MONITORED AND THE PLANS UPGRADED AS REQUIRED TO PREVENT SIGNIFICANT QUANTITIES OF SEDIMENT FROM ENTERING THE DOWNSTREAM DRAINAGE SYSTEM.

13. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STORM RUN OFF FROM LEAVING THE SITE. GRAVELBAGS, SILT FENCES AND FIBER ROLLS SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. EXISTING, TEMPORARY, OR PERMANENT CATCH BASINS SHALL USE ONE OF THE SEDIMENT BARRIERS SHOWN.

14. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO PUBLICLY AND/OR PRIVATELY OWNED AND MAINTAINED ROADS CAUSED BY THE CONTRACTOR'S GRADING ACTIVITIES, AND WILL BE RESPONSIBLE FOR THE CLEANUP OF MATERIAL SPILLED ON PUBLIC ROADS ON THE HAUL ROUTE, ADJACENT PUBLIC ROADS SHALL BE CLEANED AT THE END OF EACH WORKING DAY.

15. BEST MANAGEMENT PRACTICES AS DEFINED IN THE SWPPP SHALL BE OPERABLE YEAR ROUND.

16. THE NAME, ADDRESS AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE PROVIDED TO THE CONSTRUCTION MANAGER AND THE CITY.

17. TRUCK TIRES SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY.

18. STOCKPILED MATERIAL  
A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.  
B. EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY, UNLESS STOCKPILING IS NECESSARY.  
C. SURROUND STOCKPILES WITH PERIMETER SILT FENCES, FIBER ROLLS, APPROPRIATELY SIZED SECONDARY CONTAINMENT, OR OTHER RUNOFF CONTROLS.  
D. STABILIZE INACTIVE STOCKPILES WITH SOIL STABILIZER AND/OR MULCH, OR COVER WITH A TARPULIN.  
E. COVER STOCKPILES OF CRUSHED AC OR PCC PAVEMENT WITH A TARPULIN OR PROVIDE CASE-SPECIFIC DESIGNED SECONDARY CONTAINMENT AND SURROUND WITH APPROPRIATE RUNOFF CONTROLS.  
F. USE INLET PROTECTION FOR STORM DRAIN STRUCTURES ADJACENT TO THE MATERIAL.  
G. THOROUGHLY SWEEP PAVED AREAS EXPOSED TO SOIL EXCAVATION PLACEMENT.

19. IF NO WORK HAS PROGRESSED FOR A PERIOD OF 6-WEEKS, FINAL DRAINAGE AND EROSION CONTROL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH AN APPROVED WINTERIZATION PLAN.

20. SEDIMENT AND DEBRIS SHALL BE REMOVED FROM TEMPORARY BASINS AND DRAIN INLETS AFTER EACH STORM. SLOPES SHALL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.

21. PADS SHALL BE GRADED TO MINIMIZE STANDING WATER. SPECIFIC LOCATIONS REQUIRING SUPPLEMENTAL GRADING TO ACHIEVE ACCEPTABLE DRAINAGE SHALL BE DETERMINED BY THE CONSTRUCTION MANAGER.

22. STUBBED OUT ENDS OF PARTIALLY COMPLETED SUBDRAINS SHALL BE WRAPPED WITH AN APPROVED FABRIC TO PREVENT SOIL AND DEBRIS FROM ENTERING THE PIPE.

23. HAUL ROADS ARE CURRENTLY NOT SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE TAKEN TO MINIMIZE EROSION RELATED TO HAUL ROADS.

24. DISPOSAL AREAS FOR SEDIMENT TO BE DETERMINED IN FIELD. WHEN MATERIAL IS STOCKPILED, IT SHALL BE SURROUNDED BY FIBER ROLLS.

25. TEMPORARY AND PERMANENT SLOPES GREATER THAN 5 FEET SHALL BE SEEDED UNLESS OTHERWISE SHOWN ON THE PLAN.

26. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DURING GRADING OPERATION, BEFORE OCTOBER 1 AND PRIOR TO INSTALLATION OF STORM DRAINAGE SYSTEM. SUCH ADDITIONAL MEASURES WILL BE CONTINGENT UPON THE STAGE OF GRADING OPERATION. CONTRACTOR SHALL IMPLEMENT ANY ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED BY THE ENGINEER.

**EROSION AND SEDIMENT CONTROL MEASURES**

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.

2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.

3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.

4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS TO EXISTING PAVED STREETS. MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.

5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.

6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.

**MAINTENANCE NOTES**

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:  
A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.  
B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.  
C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.  
D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.  
E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE

A PLANNING APPLICATION FOR:  
**230 EL CAMINO, LLC.**  
2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
8.01.2023	PLANNING SUBMITTAL

EROSION CONTROL  
NOTES AND DETAILS

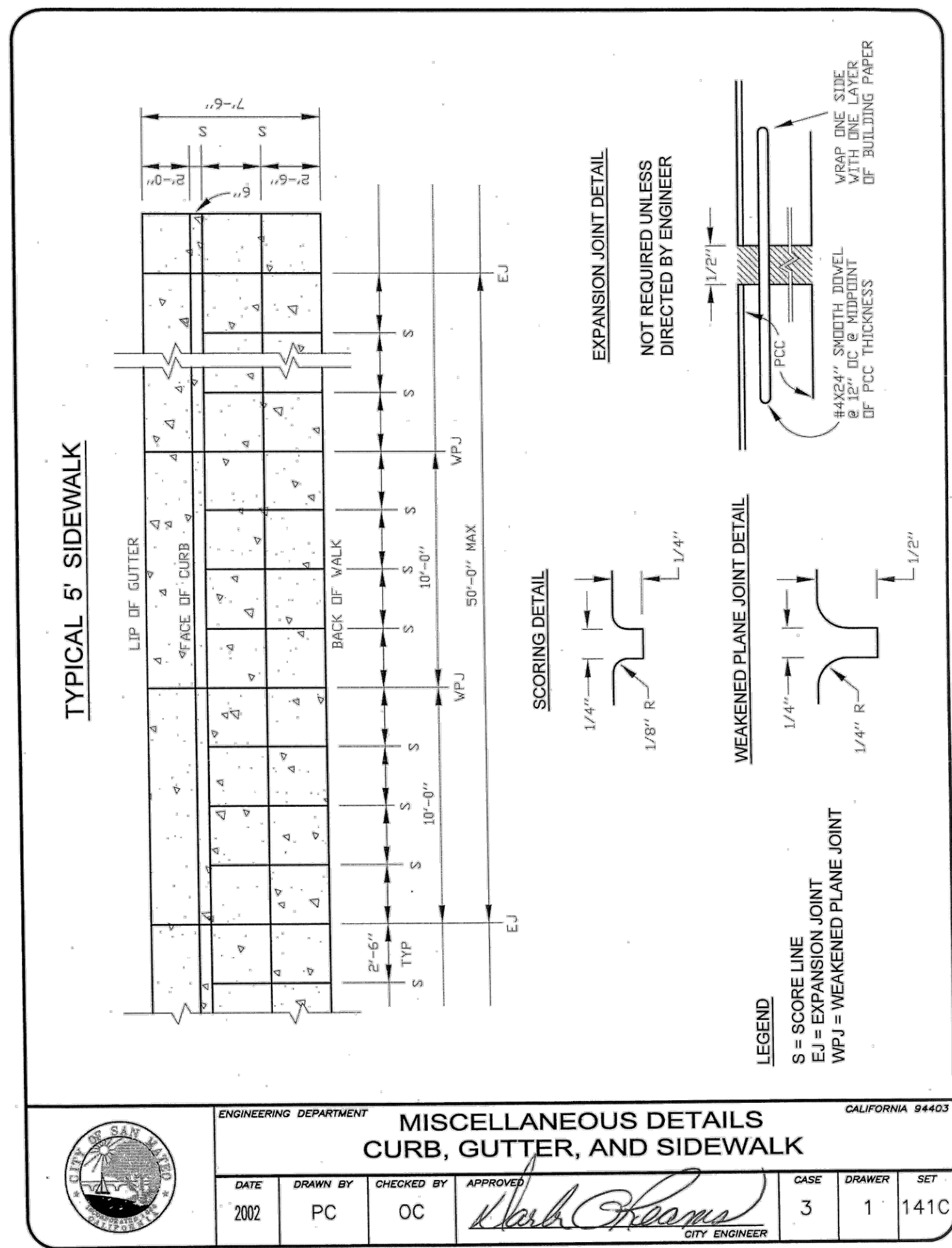
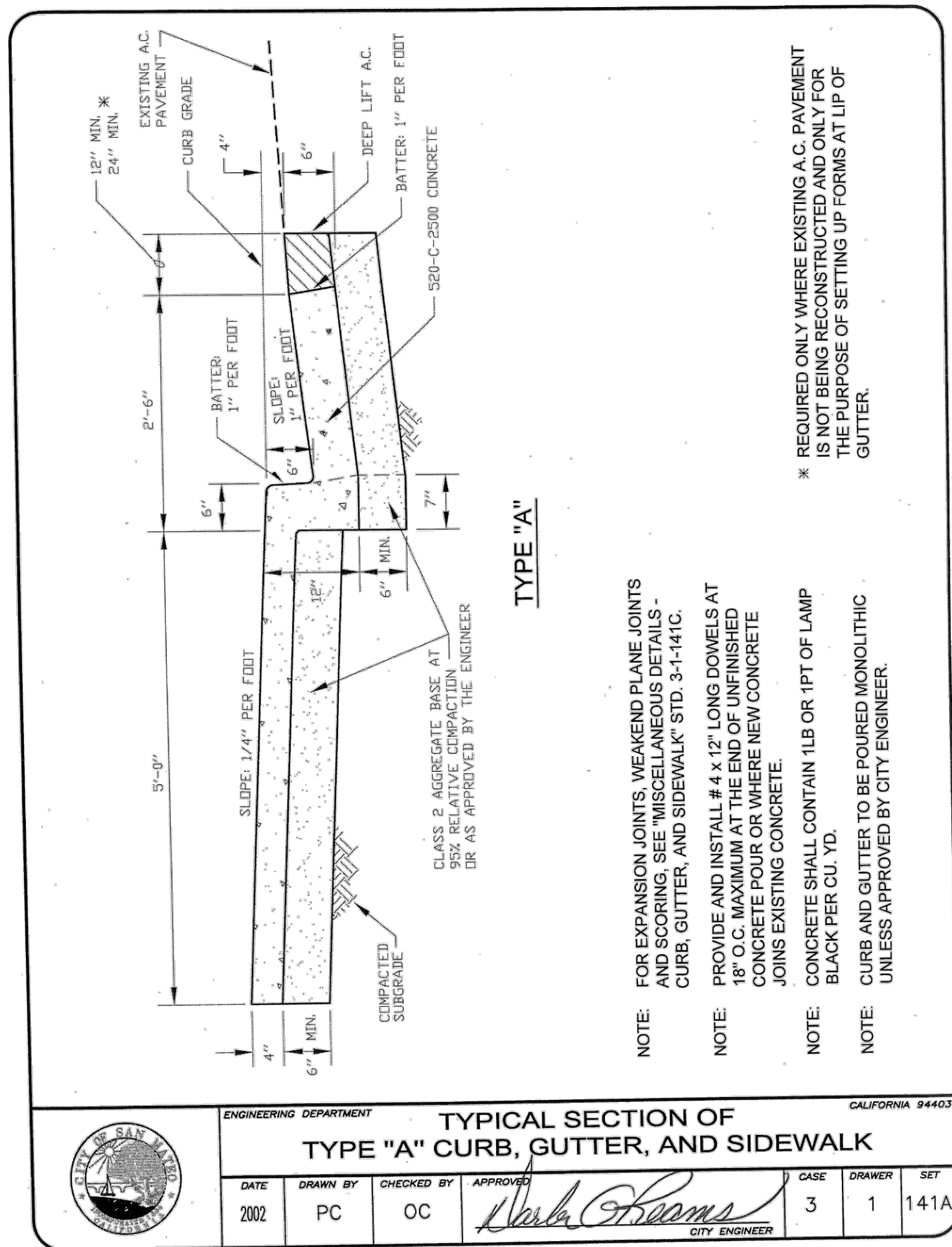
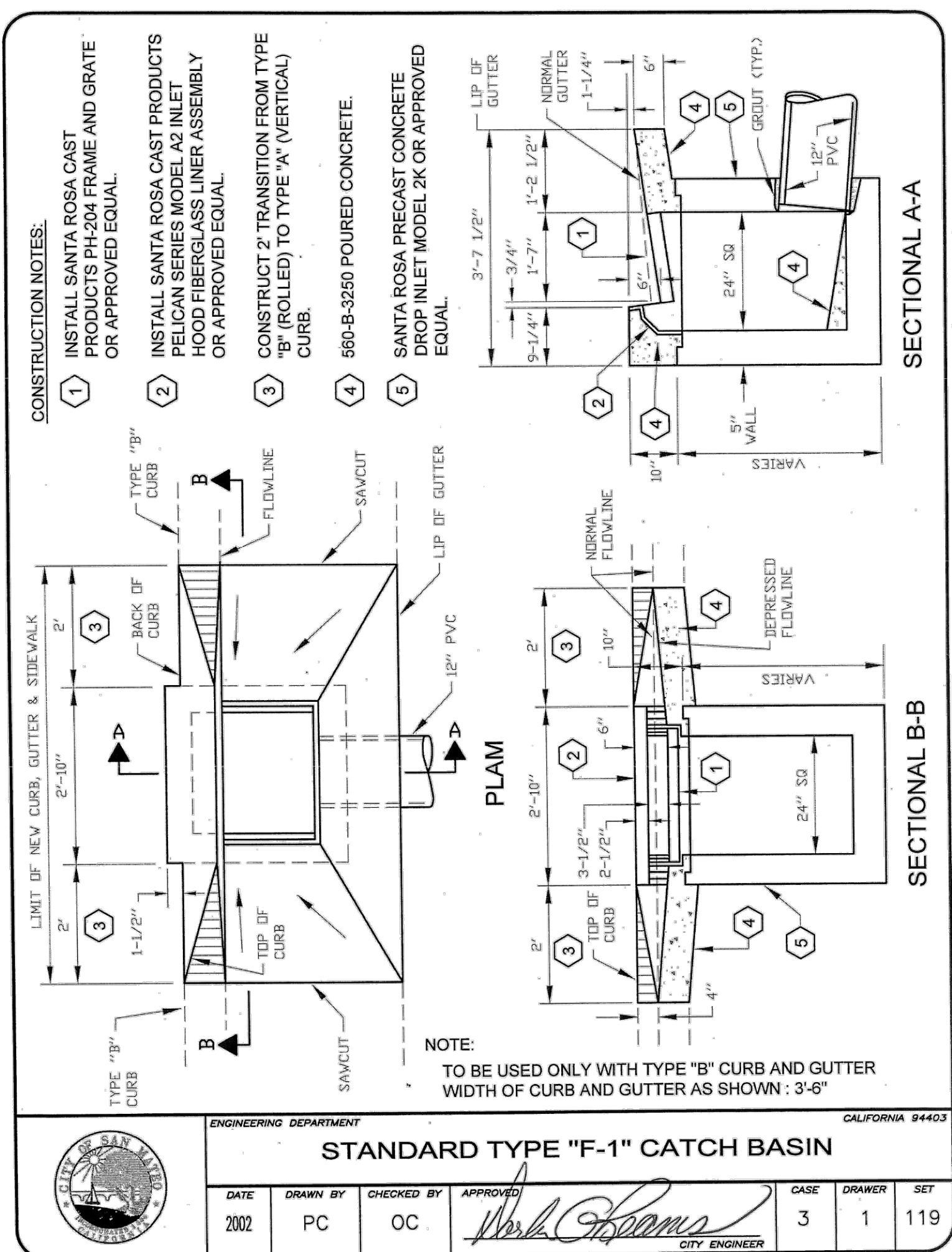
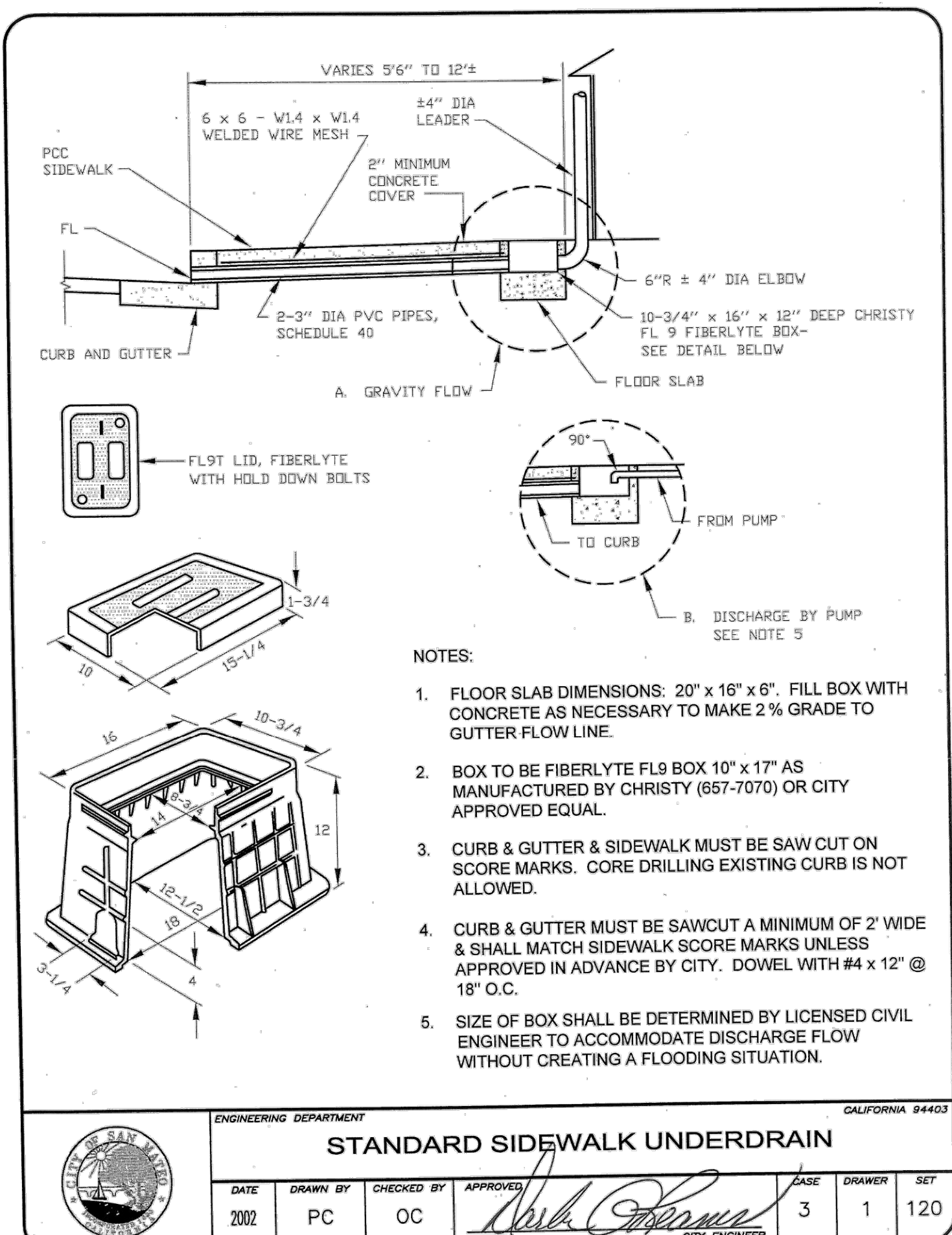
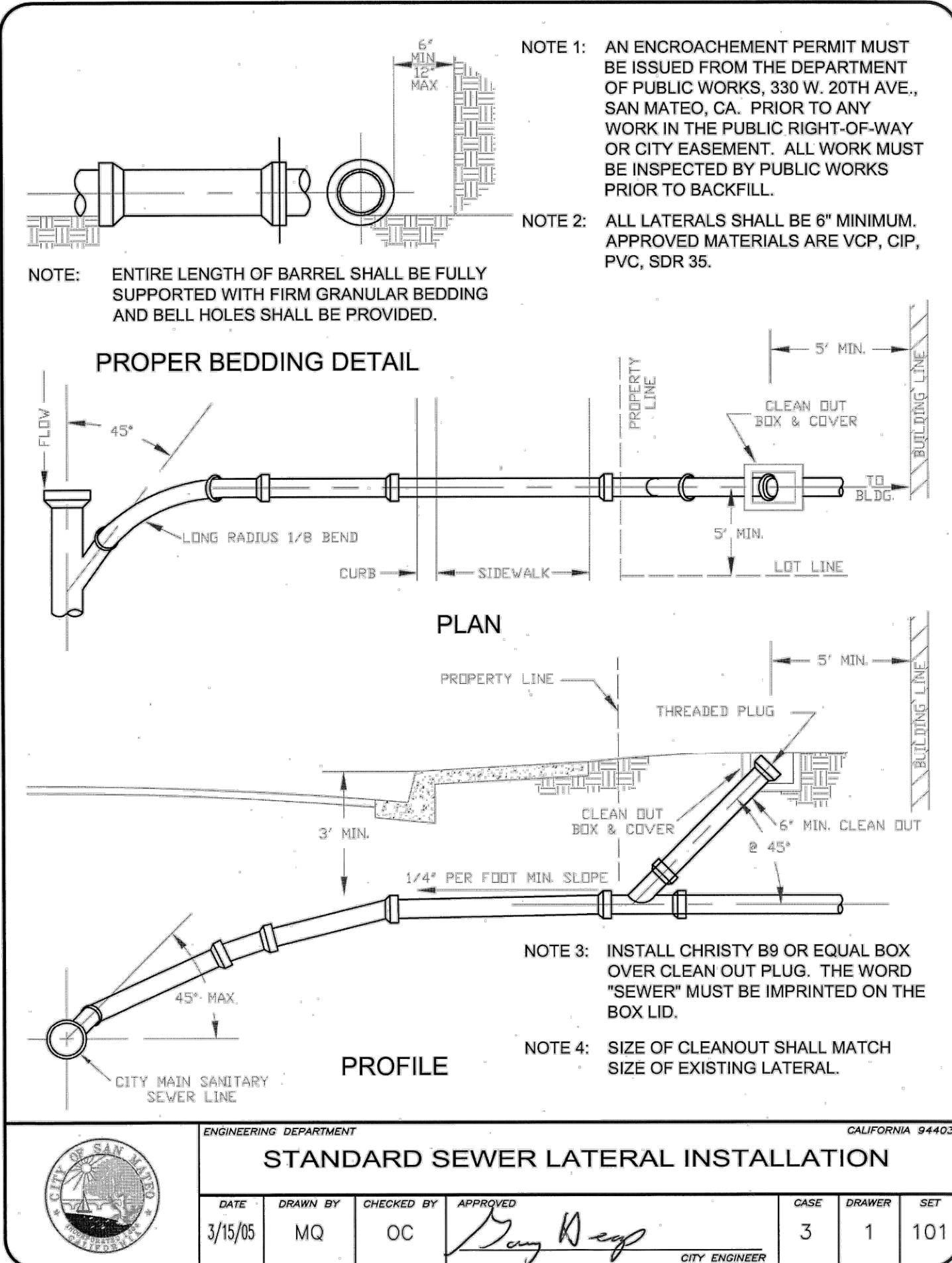
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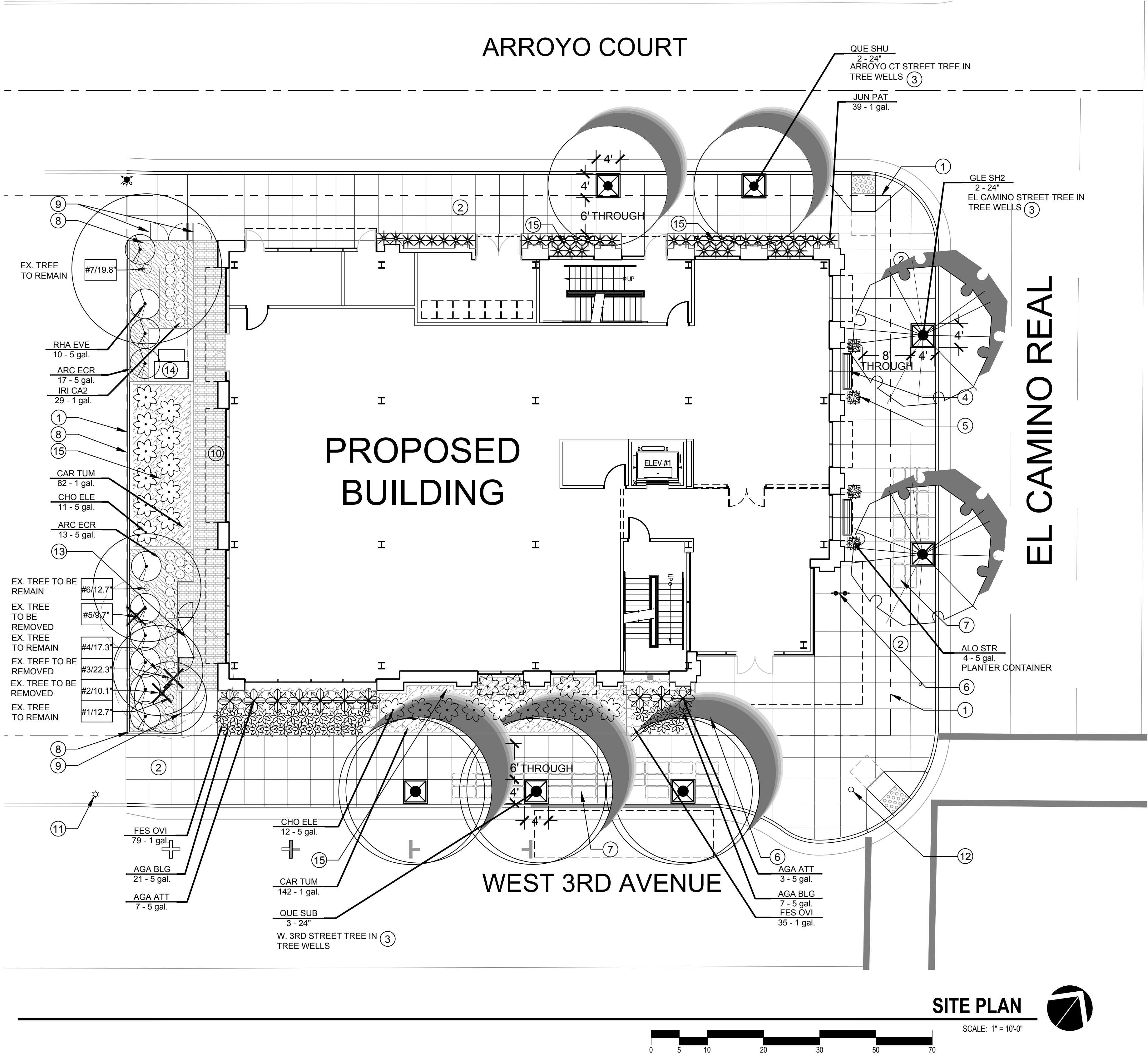












LEGEND











- EXISTING TREES  
TO REMAIN
- #X/Y" TREE # / TRUNK DIAMETER
- EXISTING TREES  
TO BE REMOVED
- SHRUB AND  
GROUND COVER AREA

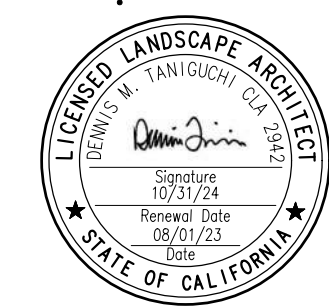
KEYNOTES

- 1 PROPERTY LINE
- 2 SIDEWALK
- 3 STREET TREES IN TREE WELLS WITH SAN MATEO STANDARD TREE GRATES. ALL STREET TREES TO BE IRRIGATED
- 4 BENCH
- 5 PLANTER CONTAINER
- 6 BIKE RACKS
- 7 SILVA CELLS AT STREET TREES (BELOW GRADE)--SEE CIVIL ENGINEERING PLANS
- 8 FENCE--6 FT HIGH
- 9 GATE--6 FT HIGH
- 10 COURTYARD OPEN SPACE (PERMEABLE CONCRETE PAVERS)
- 11 EXISTING STREETLIGHT
- 12 EXISTING STREETLIGHT ON TRAFFIC SIGNAL POST
- 13 BIKE LOCKER
- 14 TRANSFORMER
- 15 STORMWATER TREATMENT AREAS--SEE CIVIL ENGINEERING PLANS

NOTES

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	QTY	DETAIL	REMARKS	
	GLE SH2	Gleditsia triacanthos inermis "Shademaster" / Shademaster Honey Locust	24"	Box	L	2			
	QUE SHU	Quercus shumardii / Shumard Oak	24"	Box	M	2			
	QUE SUB	Quercus suber / Cork Oak	24"	Box	L	3			
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	QTY	DETAIL	REMARKS	
	AGA ATT	Agave attenuata / Foxtail Agave	5 gal.	Pot	L	10			
	AGA BLG	Agave x 'Blue Glow' / Blue Glow Agave	5 gal.	Pot	L	28			
	ALO STR	Aloe striata / Coral Aloe	5 gal.	Pot	L	4			
	CHO ELE	Chondropetalum elephantinum / Large Cape Rush	5 gal.		L	23		Stormwater species	
	IRI CA2	Iris douglasiana PCH 'Canyon Snow' / Canyon Snow Iris	1 gal.	Pot	L	29			
	JUN PAT	Juncus patens / California Gray Rush	1 gal.	Pot	L	39		Stormwater species	
	RHA EVE	Rhamnus californica 'Eve Case' / Eve Case Coffeeberry	5 gal.	Pot	L	10			
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	SPACING	QTY	DETAIL	REMARKS
	ARC ECR	Arctostaphylos edmundsii 'Carmel Sur' / Carmel Sur Little Sur Manzanita	5 gal.	Pot	L	36" o.c.	30		
	CAR TUM	Carex tumulicola / Foothill Sedge	1 gal.	Pot	L	15" o.c.	224		Stormwater species
	FES OVI	Festuca ovina glauca 'Elijah Blue' / Elijah Blue Fescue	1 gal.	Pot	L	15" o.c.	114		



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In Association with:

A Planning Application for:  
**230 EL CAMINO, LLC.**  
2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE 8.01.2023 DESCRIPTION PLANNING SUBMITTAL

Tree Evaluation Schedule											
Site: 2 West 3 Avenue, San Mateo, Landscape Units											
Ref.	Species Name	Botanical Name	Fate: Preserve/Remove	Species Value %	Condition Value %	Location Value %	0.35	Caliper Inches	.70 if in allowable bldg. area	1.25 if Heritage Tree	LU Value
1	Coast live oak	Quercus agrifolia	P	90%	50%	75%	0.35	13.5	1.00	1.25	16.27
2	Coast live oak	Quercus agrifolia	R	90%	30%	40%	0.35	10.3	1.00	1.25	3.97
3	Valley oak	Quercus lobata	R	90%	30%	40%	0.35	22.3	1.00	1.25	8.60
4	Coast live oak	Quercus agrifolia	P	90%	60%	75%	0.35	18.5	1.00	1.25	26.76
5	Coast live oak	Quercus agrifolia	R	90%	35%	40%	0.35	11.1	1.00	1.25	5.00
6	Coast live oak	Quercus agrifolia	P	90%	55%	75%	0.35	13.6	1.00	1.25	18.03
7	Coast live oak	Quercus agrifolia	P	90%	70%	80%	0.35	22.2	1.00	1.25	39.96

SCHEMATIC LANDSCAPE PLAN

L-1

PROJECT NO:

TLA# 19012