













# KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM, REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 ENTRY/EXIT DOOR
- 4 EXTERIOR WALL: BRICK
- 5 EXTERIOR WALL: SMOOTH TROWELED PLASTER
- 6 CANOPY, ABOVE SHOWN DASHED, BELOW SHOWN SOLID
- 7 EXTERIOR LIGHTING, SEE ELEVATIONS
- 8 NOT USED
- 9 ROOF SCREEN
- 10 MECHANICAL EQUIPMENT
- 11 ENTRY/EXIT DOOR TO BALCONY, FINAL DOOR LOCATION TO BE DETERMINED AT TIME OF TENANT IMPROVEMENT
- 12 LOCATION OF 5 KILOWATT PHOTOVOLTAIC SYSTEM
- 13 STAIR HATCH TO ROOF
- 14 PERFORATED METAL PANEL
- 15 HEAVENLY BAMBOO



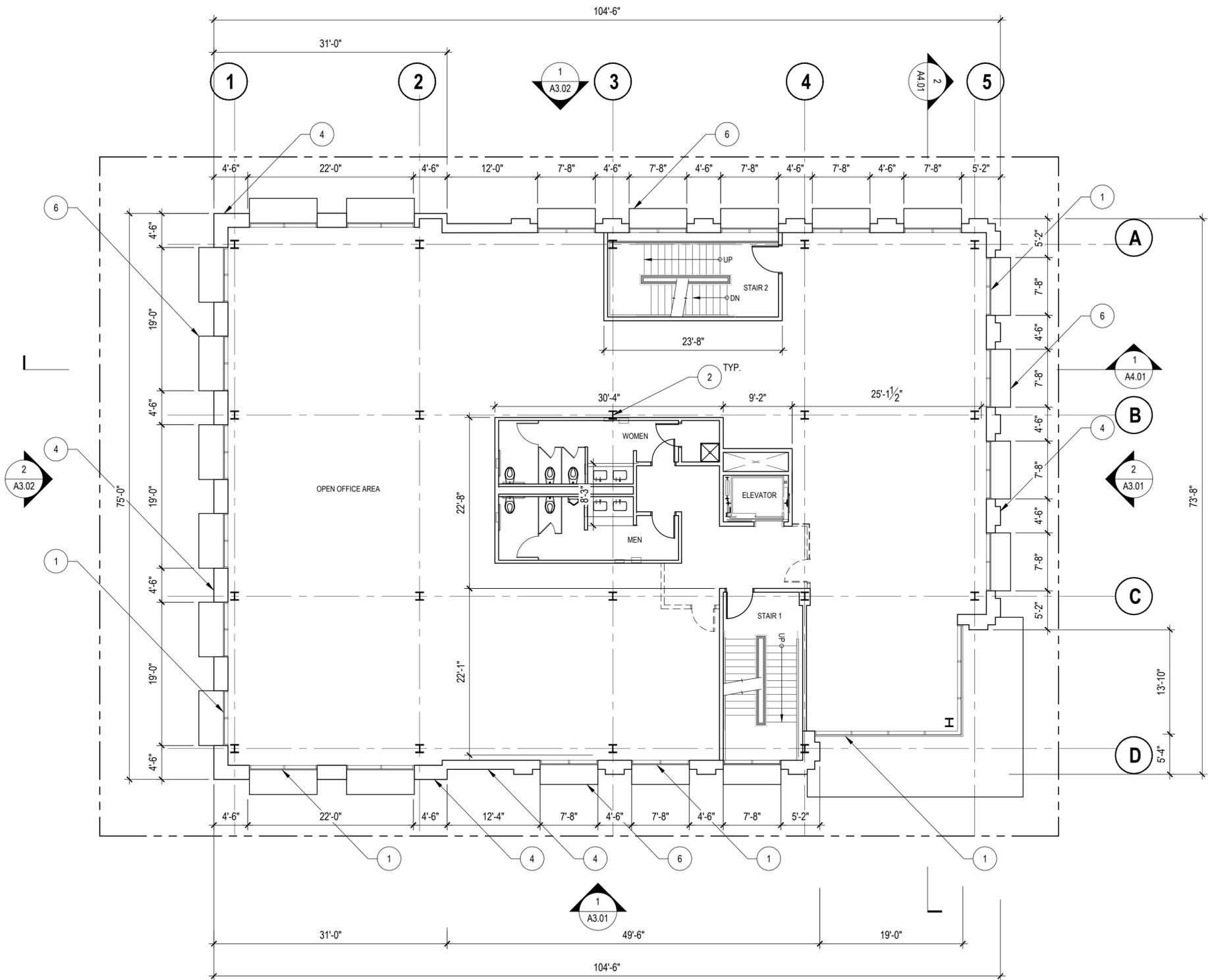
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## SECOND FLOOR PLAN

SCALE: 1" = 8'-0"



A Planning Application for:  
**230 EL CAMINO, LLC.**  
2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
07-31-2023	PLANNING SUBMITTAL

SECOND FLOOR PLAN

**A2.12**

PROJECT NO: 184784



# KEYNOTES

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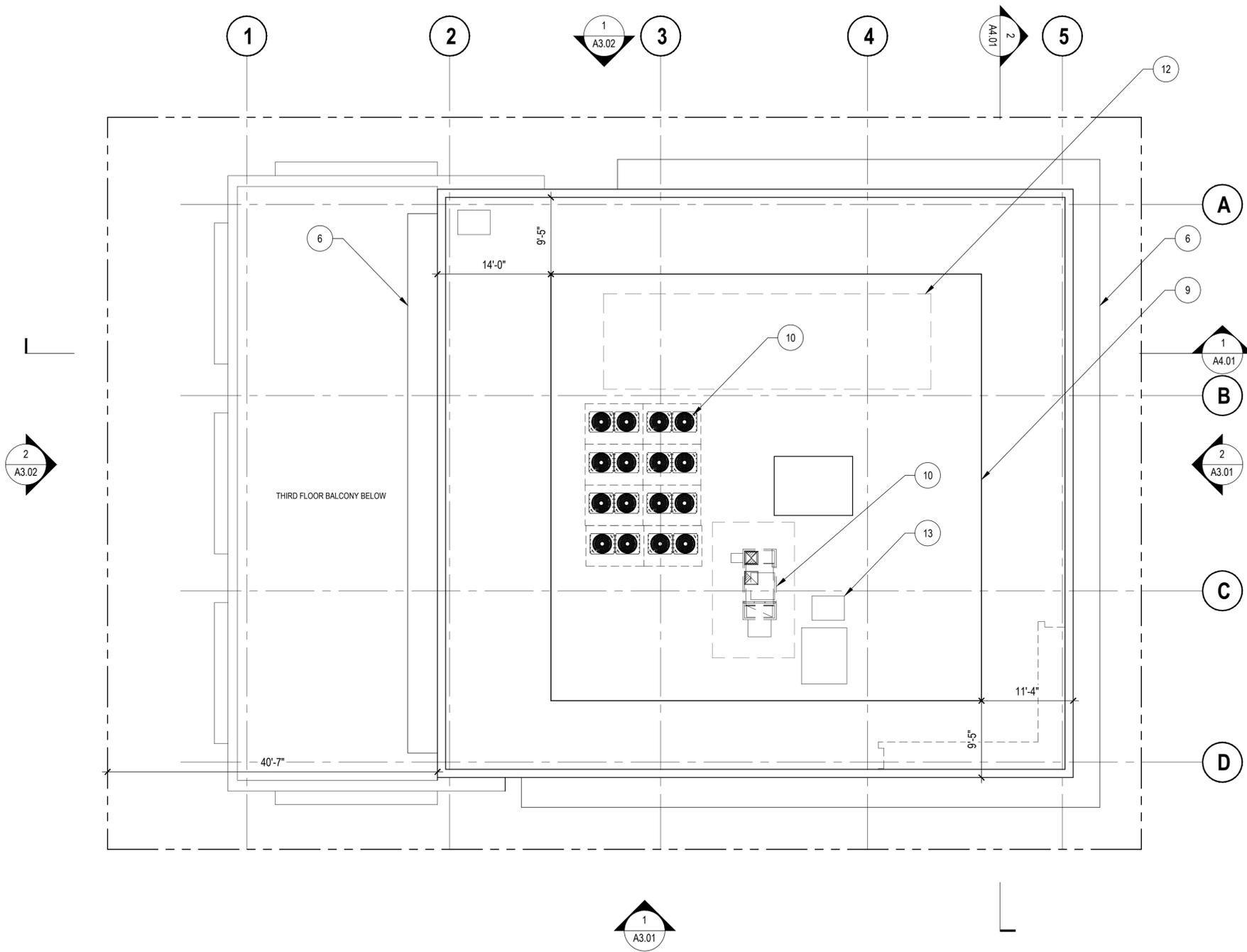
A Planning Application for:  
**230 EL CAMINO, LLC.**  
2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
07-31-2023	PLANNING SUBMITTAL

ROOF PLAN

**A2.14**

PROJECT NO: 184784



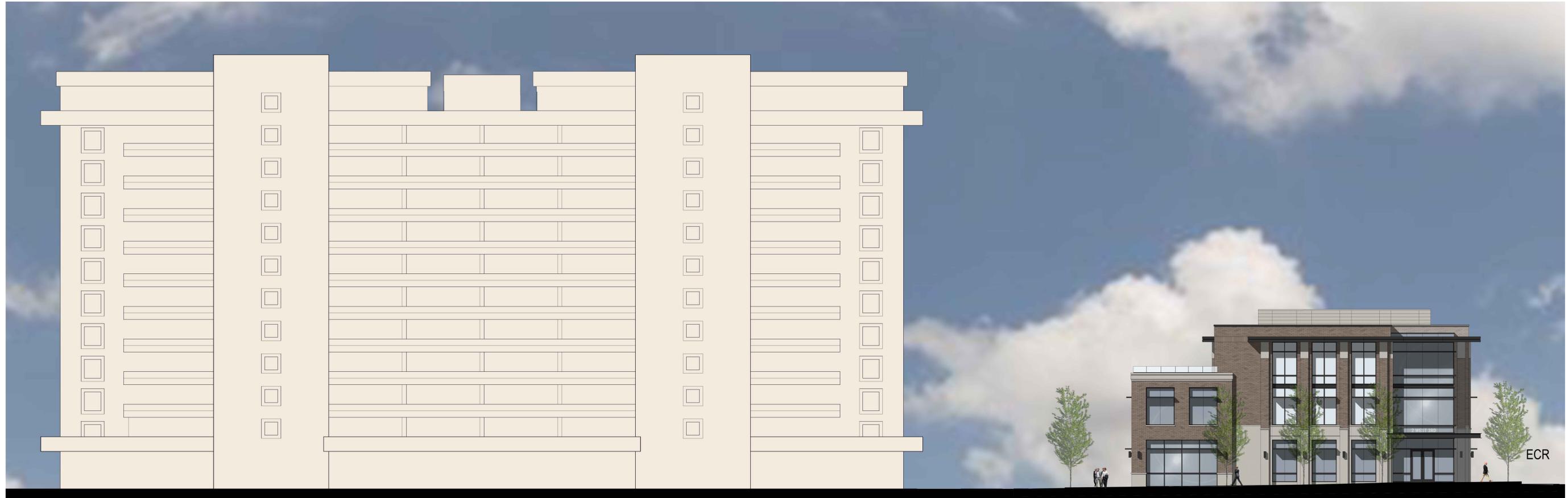
## ROOF FLOOR PLAN

SCALE: 1" = 8'-0"









**SOUTH EAST ELEVATION - 3RD AVE**

1



**NORTH EAST ELEVATION - EL CAMINO REAL**

2



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EXTERIOR ELEVATIONS

**A3.03**

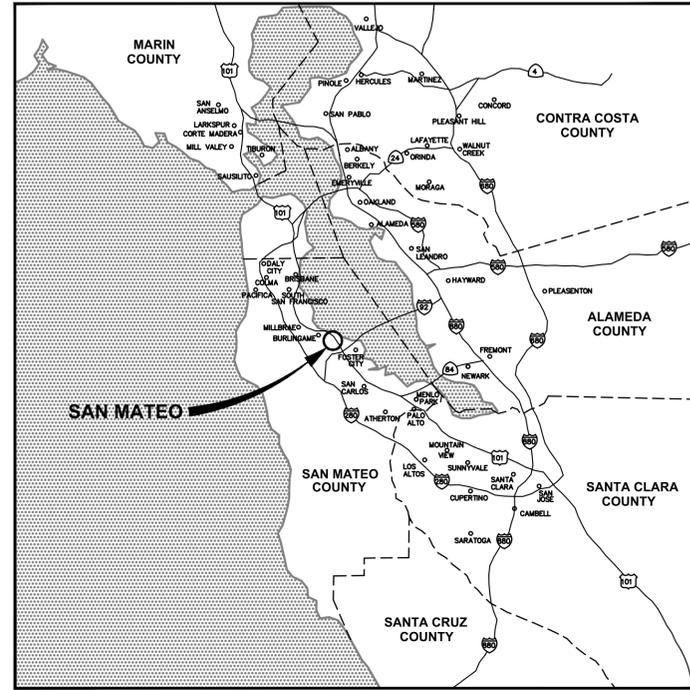
PROJECT NO: 184784



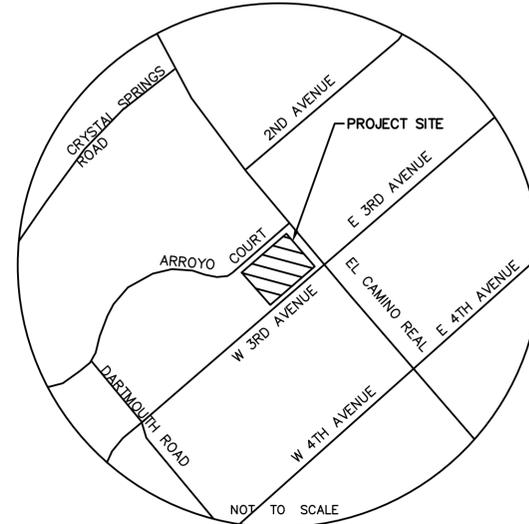
# 2 WEST 3RD AVENUE



**BKF ENGINEERS**  
150 CALIFORNIA STREET  
SUITE 600  
SAN FRANCISCO, CA 94111  
(415) 930-7900  
www.bkf.com



**PROJECT VICINITY MAP**  
NOT TO SCALE



**LOCATION MAP**  
NOT TO SCALE

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SWALE
E	---	ELECTRIC LINE
G	---	GAS LINE-VALVE & METER
SS	---	SANITARY SEWER PIPE
SL	---	STREET LIGHT LINE
+100.00	---	SPOT ELEVATION
---	---	STORM DRAIN PIPE
T	---	TELEPHONE LINE
TV	---	TELEVISION LINE
W	---	WATER LINE
○	○	AUTOMATIC SPRINKLER RISER
○	○	BACKFLOW PREVENTION DEVICE
+	+	ELECTROLIER
+	+	FIRE DEPARTMENT CONNECTION
+	+	FIRE HYDRANT
M	M	WATER METER
G	G	GAS METER
T	T	TRAFFIC SIGN
12"TR	12"TR	TREE
□	□	UTILITY BOX
×	×	WATER VALVE
●	●	ANODE
○	○	MANHOLE

**ABBREVIATIONS**

AC	ASPHALTIC CONCRETE	LIP	LIP OF GUTTER
ACP	ASBESTOS CEMENT PIPE	LS	LAND SURVEYOR
ASR	AUTOMATIC SPRINKLER RISER	MON	MONUMENT
BFP	BACK FLOW PREVENTER	NO	NUMBER
BLDG	BUILDING	PGE	PACIFIC GAS & ELECTRIC
BOE	BOTTOM OF EXCAVATION	PIV	POST INDICATOR VALVE
BW	BACK OF WALK	PM	PARKING METER
C	CONCRETE	PV	PAVEMENT
CATV	CABLE TELEVISION	RCP	REINFORCED CONCRETE PIPE
CB	CATCH BASIN	RE	RIM ELEVATION
CO	CLEAN OUT TO GRADE	RWB	RECLAIMED WATER BOX
COMM	COMMUNICATION	RWV	RECLAIMED WATER VALVE
DI	DRAIN INLET	SDMH	STORM DRAIN MANHOLE
EB	ELECTRIC BOX	SLB	STREET LIGHT BOX
EMH	ELECTRICAL MANHOLE	SS	SANITARY SEWER
EV	ELECTRIC VAULT	SSCO	SANITARY SEWER CLEAN OUT
EW	EDGE OF WALK	SSMH	SANITARY SEWER MANHOLE
FC	FACE OF CURB	TB	TELEPHONE BOX
FD	FOUND	TC	TOP OF CURB
FF	FINISH FLOOR	TCD	THRU CURB DRAIN
FL	FLOW LINE	TMH	TELEPHONE MANHOLE
FW	FACE OF WALL	TV	TELEVISION
GM	GAS METER	TW	TREE WELL
GRN	GROUND	UB	UTILITY BOX
GV	GAS VALVE	VCP	VITRIFIED CLAY PIPE
IB	IRRIGATION BOX	WB	WATER BOX
IE	INVERT ELEVATION	WM	WATER METER
IP	IRON PIPE	WV	WATER VALVE
L/S	LANDSCAPE		

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C1.01	TITLE SHEET
C1.02	NOTES, LEGEND & ABBREVIATIONS
C2.01	EXISTING CONDITIONS
C3.01	PRELIMINARY SITE PLAN
C4.01	PRELIMINARY GRADING PLAN
C5.01	PRELIMINARY UTILITY PLAN
C6.01	PRELIMINARY STORMWATER CONTROL PLAN
C7.01	PRELIMINARY EROSION CONTROL PLAN
C7.02	EROSION CONTROL NOTES AND DETAILS
C7.03	SAN MATEO COUNTY CONSTRUCTION BEST MANAGEMENT PRACTICES
C8.01	DETAILS

**BASIS OF ELEVATION**

ELEVATIONS SHOWN ARE BASED UPON AN ASSUMED ELEVATION. RIM ELEVATION OF SANITARY SEWER MANHOLE AT THE INTERSECTION OF EL CAMINO REAL AND ARROYO COURT = 99.17.

**BASIS OF BEARINGS**

BASIS OF BEARINGS IS PER POINTS FOUND ALONG 4TH AVENUE AS SHOWN ON THE MAP RECORDED IN BOOK 101 OF MAPS, AT PAGE 67. BEARING ALONG CENTERLINE OF 3RD AVENUE TAKEN AS NORTH 48°32'45" EAST.

**ENGINEER'S STATEMENT**

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.



8.01.2023

DATE

MICHAEL A. O'CONNELL, P.E.  
SENIOR ASSOCIATE PRINCIPAL  
P.E. #75811 EXP 06/30/24  
BKF ENGINEERS

**A PLANNING APPLICATION FOR:**  
**230 EL CAMINO, LLC.**  
 2 WEST 3RD AVE  
 SAN MATEO, CA 94401

DATE	DESCRIPTION
8.01.2023	PLANNING SUBMITTAL

TITLE SHEET

**C1.01**

PROJECT NO: 20181887

MAPS: 20181887\_001.dwg, 20181887\_002.dwg, 20181887\_003.dwg, 20181887\_004.dwg, 20181887\_005.dwg, 20181887\_006.dwg, 20181887\_007.dwg, 20181887\_008.dwg, 20181887\_009.dwg, 20181887\_010.dwg, 20181887\_011.dwg, 20181887\_012.dwg, 20181887\_013.dwg, 20181887\_014.dwg, 20181887\_015.dwg, 20181887\_016.dwg, 20181887\_017.dwg, 20181887\_018.dwg, 20181887\_019.dwg, 20181887\_020.dwg, 20181887\_021.dwg, 20181887\_022.dwg, 20181887\_023.dwg, 20181887\_024.dwg, 20181887\_025.dwg, 20181887\_026.dwg, 20181887\_027.dwg, 20181887\_028.dwg, 20181887\_029.dwg, 20181887\_030.dwg, 20181887\_031.dwg, 20181887\_032.dwg, 20181887\_033.dwg, 20181887\_034.dwg, 20181887\_035.dwg, 20181887\_036.dwg, 20181887\_037.dwg, 20181887\_038.dwg, 20181887\_039.dwg, 20181887\_040.dwg, 20181887\_041.dwg, 20181887\_042.dwg, 20181887\_043.dwg, 20181887\_044.dwg, 20181887\_045.dwg, 20181887\_046.dwg, 20181887\_047.dwg, 20181887\_048.dwg, 20181887\_049.dwg, 20181887\_050.dwg, 20181887\_051.dwg, 20181887\_052.dwg, 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**BKF ENGINEERS**  
150 CALIFORNIA STREET  
SUITE 600  
SAN FRANCISCO, CA 94111  
(415) 930-7900  
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**A. GENERAL NOTES**

- THE FOLLOWING NOTES ARE NOT PART OF THE CITY OF REDWOOD CITY CONSTRUCTION PERMIT APPROVAL CONDITIONS BUT ARE PROVIDED AS SUPPLEMENTAL NOTES BY BKF ENGINEERS AND ARE TO BE ADHERED TO BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING REQUIRED INSPECTIONS BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVES. NO DELAY OF WORK CLAIM WILL BE ALLOWED DUE TO THE CONTRACTOR'S FAILURE TO ARRANGE FOR CITY INSPECTION IN ADVANCE.
- ALL REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY THE ENGINEER, WHO WILL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED ITEMS. REVISIONS SHALL BE ACCURATELY SHOWN ON REVISED PLANS, WHICH SHALL BE REVIEWED AND APPROVED BY THE ENGINEER AND CITY ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.
- CONTRACTOR SHALL COORDINATE HIS WORK, AND THAT OF HIS SUBCONTRACTORS, WITH ONGOING GRADING OR SITE WORK OF OTHER CONTRACTORS.
- STREET MONUMENTS, LOT CORNER PIPES AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF THE IMPROVEMENTS. NEW MONUMENTS SHALL BE SET IN ACCORDANCE WITH THE LAND SURVEYOR'S ACT AND A CORNER RECORD FILED WITH THE CITY AND THE COUNTY.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEATHED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEATHING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL COMPLETE NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH AND/OR STRUCTURE IS FIVE FEET (5') OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE SHEATHING, SHORING AND BRACING IN CONFORMANCE WITH THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL COMPLY WITH OSHA REQUIREMENTS.
- DURING CONSTRUCTION, THE CITY STREETS SHALL BE CLEANED AS OFTEN AS REQUIRED TO REMOVE ACCUMULATION OF MUD AND DEBRIS RESULTING FROM THIS CONSTRUCTION.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, BKF ENGINEERS, AT (415) 930-7900 BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE GEOTECHNICAL ENGINEERING REPORT. GRADING WORK SHALL ALSO BE SUBJECT TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING PAVEMENT, ADJACENT LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALK, ETC. TO AVOID ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
- CONTRACTOR SHALL POST 24-HOUR EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, POLICE DEPARTMENT AND FIRE DEPARTMENT ON SITE PRIOR TO START OF CONSTRUCTION.
- NO WORK SHALL BE PERFORMED DURING HOURS OTHER THAN THE NORMAL WORKING HOURS OF THE CITY PUBLIC WORKS DEPARTMENT'S INSPECTION AND MAINTENANCE PERSONNEL WITHOUT THE APPROVAL OF THE CITY ENGINEER & WITHOUT FIRST OBTAINING A SPECIAL PERMIT FOR AFTER HOURS WORK FROM THE CITY ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ADDITIONAL FEES REQUIRED BY THE CITY FOR PERFORMING WORK BEYOND THE NORMAL WORKING HOURS. CONTRACTOR SHALL CONFORM TO REQUIREMENTS OF THE CITY NOISE ORDINANCE WHEN WORKING IN THE CITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND PROTECTION OF ADJOINING PREMISES, TREES, LANDSCAPING, UTILITIES, SIDEWALKS AND STREETS FROM DAMAGE BY HIS OPERATIONS. CONTRACTOR SHALL REPAIR, REPLACE OR CLEAN THE ABOVE MENTIONED TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE OWNER, OR THE ADJACENT PROPERTY OWNERS.
- CONSTRUCTION MATERIALS, EQUIPMENT AND VEHICLES SHALL BE PROPERLY MAINTAINED AND MANAGED AT THE CONSTRUCTION SITE THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE "STORM WATER POLLUTION PREVENTION PLAN AND MONITORING PROGRAM" REPORT (SWPPP), TO BE INCLUDED BY REFERENCE, THE SWPPP REPORT IS MADE A PART OF THESE PLANS. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE SWPPP REPORT.
- EQUIP INTERNAL COMBUSTION ENGINE DRIVEN EQUIPMENT WITH INTAKE AND EXHAUST MUFFLERS THAT ARE IN GOOD CONDITION AND APPROPRIATE FOR THE EQUIPMENT.
- LOCATE STATIONARY NOISE GENERATING EQUIPMENT AS FAR AS POSSIBLE FROM SENSITIVE RECEPTORS.
- UTILIZE "QUIET" AIR COMPRESSORS AND OTHER STATIONARY NOISE SOURCES WHERE TECHNOLOGY EXISTS.
- WATER ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY AND MORE OFTEN DURING WINDY PERIODS; ACTIVE AREAS ADJACENT TO EXISTING SENSITIVE LAND USES SHALL BE KEPT DAMP, OR SHALL BE TREATED W/ NON-TOXIC STABILIZERS TO CONTROL DUST.
- COVER TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST 2 FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON UNPAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) PAVED ACCESS ROADS, PARKING AREAS, & STAGING AREAS AT CONSTRUCTION SITES; SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
- HYDROSEED OR APPLY (NON-TOXIC) SOIL STABILIZERS TO INACTIVE

CONSTRUCTION AREAS (PREVIOUSLY GRADED AREAS INACTIVE FOR TEN DAYS OR MORE).

- ENCLOSE, COVER, WATER TWICE DAILY OR APPLY (NON-TOXIC) SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.)
- LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS TO 15 MPH.
- INSTALL GRAVEL FILLED BAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS.
- REPLANT VEGETATION IN DISTURBED AREA AS QUICKLY AS POSSIBLE
- THE CONTRACTOR SHALL LIMIT NOISE-PRODUCING BUILDING AND ON-SITE CONSTRUCTION RELATED ACTIVITIES TO BETWEEN THE HOURS OF 7:00 AM AND 8:00 PM MONDAY THROUGH FRIDAY OF ANY WEEK. NO CONSTRUCTION ACTIVITY IS PERMITTED ON SATURDAYS, SUNDAYS OR HOLIDAYS IF THE NOISE LEVEL GENERATED BY ANY SUCH ACTIVITY EXCEEDS THE LOCAL AMBIENT NOISE LEVELS MEASURED AT ANY POINT WITHIN THE RESIDENTIAL DISTRICT AND OUTSIDE OF THE BOUNDARY OF SAID PROPERTY.
- THE CONSTRUCTION CONTRACTOR SHALL POST A SIGN AT ENTRANCES TO THE WORK SITE PRIOR TO COMMENCEMENT OF THE WORK INFORMING CONTRACTORS AND SUBCONTRACTORS, THEIR EMPLOYEES, AGENTS, MATERIAL MEN & OTHER PERSONS AT THE PROPERTY OF THE BASIC LIMITATIONS UPON NOISE AND CONSTRUCTION ACTIVITIES PROVIDED IN THE CITY'S MUNICIPAL CODE.
- THE CONTRACTOR SHALL LOCATE EQUIPMENT STAGING IN AREAS THAT WILL CREATE THE GREATEST POSSIBLE DISTANCE BETWEEN CONSTRUCTION-RELATED NOISE SOURCES AND NOISE-SENSITIVE RECEPTORS NEAREST THE PROJECT SITE DURING PROJECT CONSTRUCTION.
- IF PREVIOUSLY UNKNOWN CONTAMINATED SOIL AND/OR GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE PROJECT APPLICANT SHALL ENSURE THAT ALL APPROPRIATE RESPONSE MEASURES ARE TAKEN TO PROTECT HUMAN HEALTH AND ENVIRONMENT. A CONTINGENCY PLAN FOR SAMPLING AND ANALYSIS OF PREVIOUSLY UNKNOWN HAZARDOUS SUBSTANCES SHALL BE PREPARED BY THE PROJECT APPLICANT, WITH THE APPROVAL OF THE CITY, PRIOR TO SITE GRADING AND EARTHWORK ACTIVITIES.
- IN THE EVENT THAT SUSPECTED ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING THE SITE PREPARATION OR CONSTRUCTION, PROJECT DEVELOPMENT ACTIVITY SHALL CEASE IN THE IMMEDIATE VICINITY OF THE FIND, THE DISCOVERY SHALL BE EVALUATED BY AN ARCHAEOLOGIST, AND APPROPRIATE TREATMENT OPTIONS DEVELOPED.
- IF PALEONTOLOGICAL RESOURCES ARE IDENTIFIED WITHIN THE PROJECT AREA DURING GROUND-DISTURBING ACTIVITIES, WORK WITHIN AT LEAST 25 FEET OF THE DISCOVERY SHALL BE HALTED AND A QUALIFIED PALEONTOLOGIST CONTACTED TO EVALUATE THE FINDS AND MAKE RECOMMENDATIONS.

**B. EXISTING CONDITIONS**

- EXISTING GRADES ARE BASED ON A FIELD SURVEY BY KIER AND WRIGHT. GRADES ENCOUNTERED ON SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- INFORMATION REGARDING EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM RECORD DATA KNOWN TO THE ENGINEER AND IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE LOCATION AND ELEVATION OF EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.
- ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES.
- CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICES ALERT) TOLL FREE AT 1-800-642-2444, AND AFFECTED UTILITY COMPANIES, A MINIMUM OF 2 WORKING DAYS PRIOR TO STARTING WORK TO NOTIFY THEM OF CONSTRUCTION AND REQUEST UTILITIES BE MARKED. POTHOLING BY THE CONTRACTOR OR UTILITY COMPANY SHALL BE PERFORMED WHERE NEEDED TO VERIFY LOCATION OF UTILITIES.

**C. UTILITIES**

- ELECTRIC, GAS, TELEPHONE, CABLE, AND JOINT TRENCH WORK, SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDER. CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY PROVIDER AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCING SUCH WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PUBLIC WORKS DEPARTMENT IF EXISTING WATER, SEWER, GAS MAINS, OR SERVICES ARE DISTURBED OR DAMAGED.
- CONTRACTOR SHALL PROTECT UTILITIES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION.
- UTILITY BOXES AND LIDS IN PAVED AREAS SHALL BE DESIGNED FOR H-20 LOADING.
- THE PIPE LENGTHS SHOWN ARE FOR PURPOSES OF ENGINEERING CALCULATIONS AND ARE NOT INTENDED FOR BID QUANTITIES OR ORDERING OF MATERIALS.
- EXISTING PG&E AND AT&T MANHOLES/VAULTS SHALL BE ADJUSTED TO GRADE BY THE UTILITY PROVIDER. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE APPROPRIATE UTILITY PROVIDER. ALL OTHER UTILITY BOXES SHALL BE ADJUSTED TO FINISH GRADE BY THE CONTRACTOR.
- CONSTRUCTION OF GRAVITY FLOWING SYSTEMS SHALL PROCEED FROM THE DOWNSTREAM CONNECTION TO THE UPSTREAM TERMINUS.
- THRUST RESTRAINT DEVICES SHALL BE PROVIDED AT BENDS GREATER THAN 10 DEGREES & AT ALL CROSSES, TEES, WYES, CAPS, PLUGS, VALVES, & HYDRANTS IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS AND DETAILS. THE CITY ALLOWS FOR THE OPTION OF CONCRETE THRUST BLOCKS (DETAIL W7 AND W9) AND MECHANICALLY RESTRAINED JOINTS (DETAIL W20-A, W20-B, AND W20-C). THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH BOTH THRUST RESTRAINT AND WILL

INSTALL THE MOST APPROPRIATE THRUST RESTRAINT DEVICE BASED ON PROJECT SPECIFIC CONDITIONS.

- METALLIC WATER MAINS, FITTINGS & APPURTENANCES SHALL BE INSTALLED WITH CORROSION PROTECTION IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS (SECTION 02661) AND STANDARD DETAILS. THE CITY REQUIRES CATHODIC (SACRIFICIAL ANODE) PROTECTION FOR PUBLIC MAIN VALVES & FIRE HYDRANTS (DETAILS W-14, W-15, W-16, W-17 AND W-18). THE CITY REQUIRES THE USE OF PETROLATUM TAPE SYSTEM FOR PUBLIC MAIN AND SERVICE LINE ISOLATED FITTINGS (DETAILS W-20A, W-20B, W-20C AND W-20C). THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH BOTH CORROSION PROTECTION SYSTEMS AND INSTALL THE APPROPRIATE SYSTEM FOR THE PUBLIC MAIN AND PRIVATE DOMESTIC WATER AND FIRE SERVICE LINE BASED ON PROJECT SPECIFIC CONDITIONS. LOCATIONS OF THE TEST STATIONS SHALL BE DETERMINED BY THE CATHODIC PROTECTION SYSTEMS INSTALLER.

**D. TRAFFIC CONTROL**

- CONTRACTOR SHALL PROVIDE PEDESTRIAN AND VEHICULAR ACCESS ACROSS CONSTRUCTION AREA.
- CONTRACTOR SHALL USE STEEL PLATES TO COVER TRENCHES LEFT OPEN AT NIGHT OR DURING OFF WORK HOURS.
- CONTRACTOR IS PROHIBITED FROM WORKING OR LEAVING TRENCHES OPEN PAST SUNSET.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION SCHEDULE AND DAILY LIMITS OF STORM DRAIN, SANITARY SEWER, AND WATER LINE UTILITY TRENCH WORK WITHIN PUBLIC STREETS WITH THE CITY PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL COORDINATE THE ABOVE WITH THE CITY FIRE DEPARTMENT, IF NECESSARY.
- CONTRACTOR SHALL OBTAIN NECESSARY ENCROACHMENT PERMITS WITH CITY PUBLIC WORKS DEPARTMENT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE AWARE THAT IT MAY BECOME NECESSARY TO USE FLAGGERS TO CONTROL TRAFFIC, IF DEEMED NECESSARY BY THE CITY ENGINEER.

**E. EARTHWORK AND GRADING**

- THE CONTRACTOR SHALL CONFORM WITH PROVISIONS IN THE PROJECT SWPPP.
- THE CONTRACTOR SHALL STRIP THE ENTIRE AREA OF VEGETATION PRIOR TO PERFORMING GRADING OPERATIONS IN THAT AREA. STRIPPED MATERIALS SHALL BE STOCKPILED FOR PLACEMENT AS TOPSOIL AFTER GRADING OPERATION IS COMPLETE. STRIPPING SHALL BE A MINIMUM OF 2-INCHES OR AS DETERMINED IN THE FIELD BY SOILS ENGINEER. PLACE TOPSOIL TO A MAXIMUM DEPTH OF 4-INCHES. FINISH GRADE SHALL INCLUDE PLACEMENT OF TOPSOIL AND SHALL CONFORM TO THE DESIGN GRADES SHOWN ON THE DRAWINGS. ANY AREA TO RECEIVE FILL SHALL BE SCARIFIED AT LEAST 8-INCHES AND COMPACTED TO THE SPECIFIED RELATIVE COMPACTION.
- CONTRACTOR SHALL DEWATER AREAS COVERED WITH STANDING WATER PRIOR TO PLACING FILL OR GRADING UNLESS OTHERWISE NOTED ON PLANS. CONTRACTOR SHALL MAINTAIN WORK IN PROGRESS FREE OF STANDING WATER. WATER SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- CONTRACTOR SHALL CLEAR DEBRIS FROM AREAS OF EARTHWORK AND GRADING PRIOR TO PLACING FILL OR STARTING GRADING OPERATIONS. DO NOT CLEAR AREAS OUTSIDE LIMIT OF WORK.
- COMPACT FILL MATERIAL AS RECOMMENDED IN THE GEOTECHNICAL REPORT.
- PLACE FILL MATERIAL IN LIFTS OF 8-INCH MAXIMUM UNCOMPACTED THICKNESS.
- COMPACT FILL TO 90 PERCENT RELATIVE COMPACTION, EXCEPT AS NOTED IN THE GEOTECHNICAL REPORT. DO NOT PLACE, SPREAD OR ROLL FILL MATERIAL DURING UNFAVORABLE WEATHER CONDITIONS. SOILS ENGINEER WILL BE ON SITE AND WILL PERFORM COMPACTION TESTS PERIODICALLY DURING CONSTRUCTION. CONTRACTOR SHALL RECOMPACT AREAS OF FILL NOT MEETING COMPACTION REQUIREMENTS AS DIRECTED BY THE SOILS ENGINEER.
- COMPACTION BY FLOODING, PONDING OR JETTING WILL NOT BE PERMITTED.
- FOR BIDDING PURPOSES CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES.

**F. STATEMENT OF RESPONSIBILITY**

- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD BOTH DESIGN PROFESSIONAL AND THE CITY OF REDWOOD CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF EITHER THE DESIGN PROFESSIONAL OR THE CITY OF REDWOOD CITY, RESPECTIVELY.

**G. STATEMENT OF CONFORMANCE**

- PROJECT SHALL CONFORM WITH LOCAL BUILDING ORDINANCES FOR THE FOLLOWING:  
ENVIRONMENTAL IMPACT-MITIGATED NEGATIVE DECLARATION - 4/13  
USE PERMIT - 3/13  
LOCAL ZONING - CITY ZONING ORDINANCE (NEW ZONING INDUSTRIAL-BUSINESS)  
PARKING - PART V OF RCS DESIGN CRITERIA & CHAPTER 30, ZONING ORDINANCE  
LANDSCAPING - CITY STANDARD SPECIFICATIONS  
SITE GRADING - PART II OF RCS DESIGN CRITERIA & CITY SPECIFICATIONS  
SITE DRAINAGE - PART V OF RCS DESIGN CRITERIA & CITY SPECIFICATIONS  
PAVING - PART III OF RCS DESIGN CRITERIA & CITY SPECIFICATIONS

**H. RECORD DRAWINGS**

- KEEP ACCURATE RECORD DRAWINGS, WHICH SHOW THE FINAL LOCATION, ELEVATION, AND DESCRIPTION OF WORK ON A SET OF CONSTRUCTION DOCUMENTS.
- PROVIDE THE LOCATION AND ELEVATION OF THE EXISTING IMPROVEMENTS ENCOUNTERED. CERTIFY THE "REDLINED" RECORD DRAWINGS FOR THE PROJECT ON A SET OF CONSTRUCTION PLAN REPRODUCIBLES, AND DELIVER THE DRAWINGS TO THE OWNER'S REPRESENTATIVE AT COMPLETION OF PROJECT AND WHEN REQUESTED BY THE OWNER'S REPRESENTATIVE.

**I. UNAUTHORIZED CHANGES AND USES**

- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE OR UNAUTHORIZED CHANGES TO THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

**J. CONSTRUCTION STAKING**

- ALL IMPROVEMENTS SHALL BE STAKED BY A LICENSED LAND SURVEYOR IN THE STATE OF CALIFORNIA.

**K. MATERIAL SUBMITTALS**

- CONTRACTOR SHALL FURNISH ALL MATERIAL SUBMITTALS FOR THE IMPROVEMENTS IN THE CITY RIGHT-OF-WAY.

A PLANNING APPLICATION FOR:  
**230 EL CAMINO, LLC.**  
2 WEST 3RD AVE  
SAN MATEO, CA 94401

DATE	DESCRIPTION
8.01.2023	PLANNING SUBMITTAL

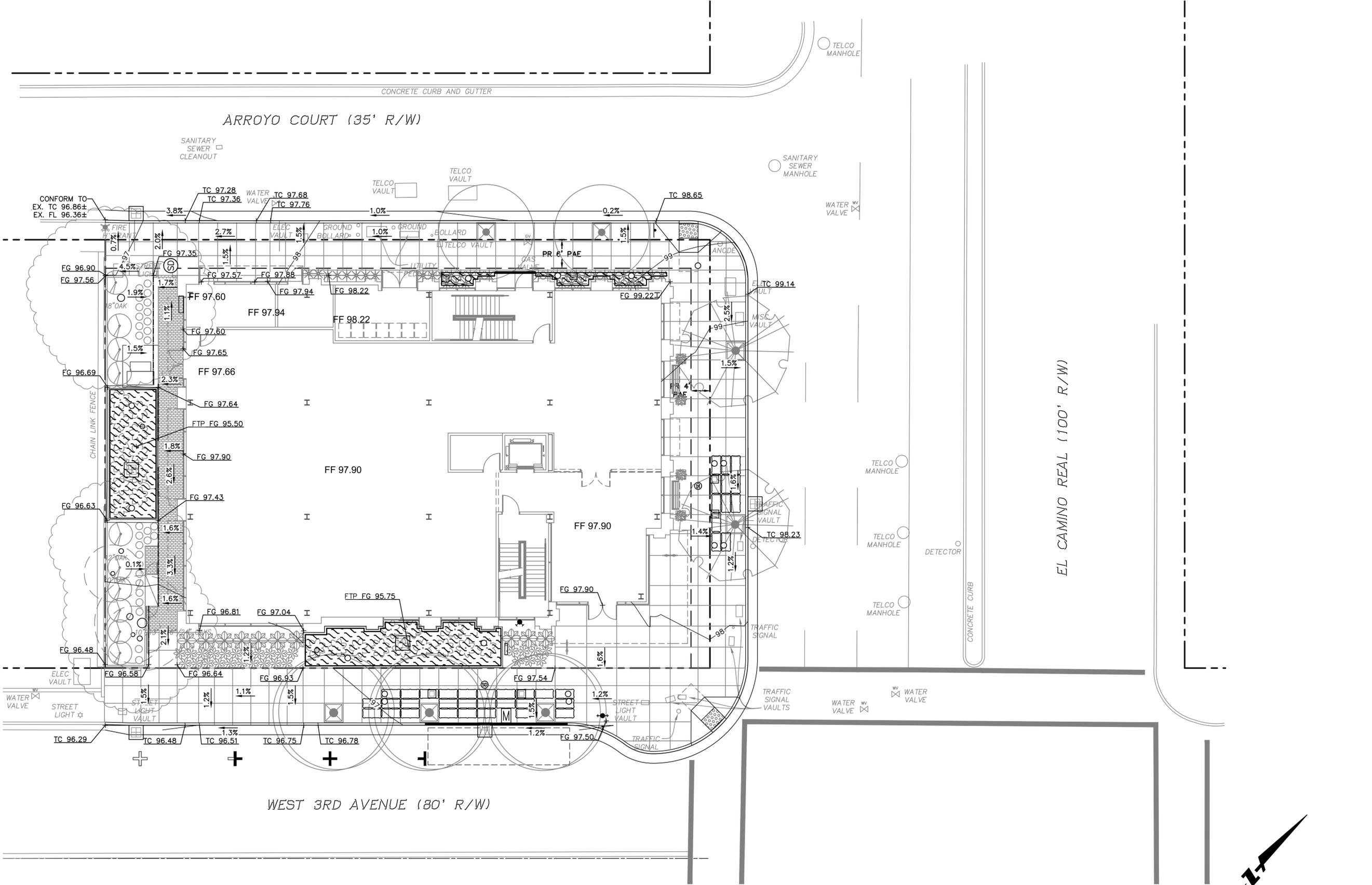
NOTES, LEGEND & ABBREVIATIONS

**C1.02**

PROJECT NO: 20181887





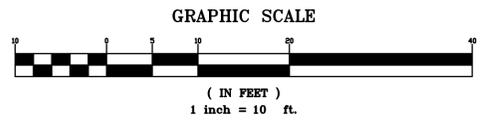
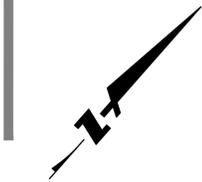


A PLANNING APPLICATION FOR:  
**230 EL CAMINO, LLC.**  
 2 WEST 3RD AVE  
 SAN MATEO, CA 94401

DATE	DESCRIPTION
8.01.2023	PLANNING SUBMITTAL

PRELIMINARY GRADING PLAN

**C4.01**  
 PROJECT NO. 20181887



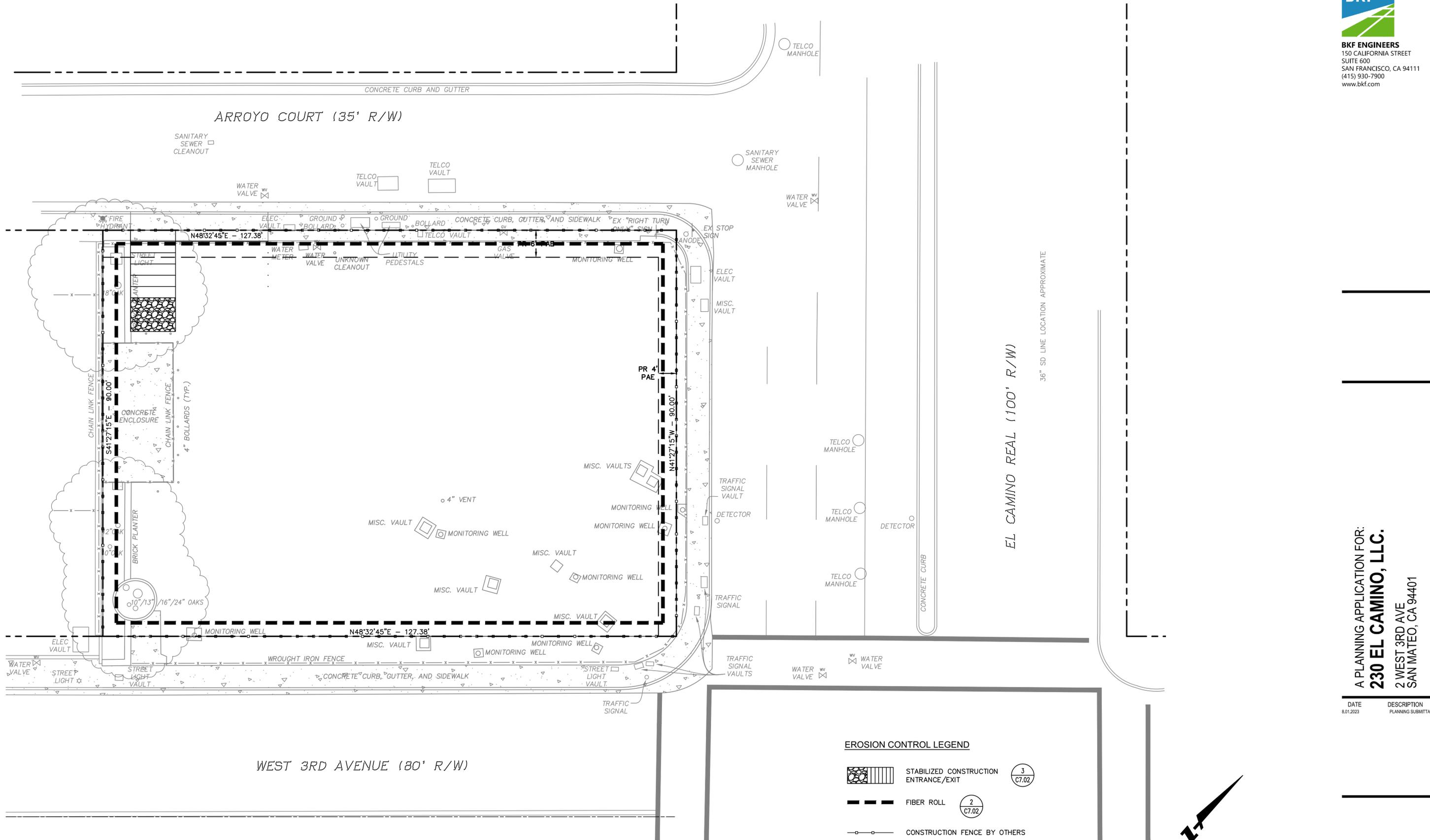
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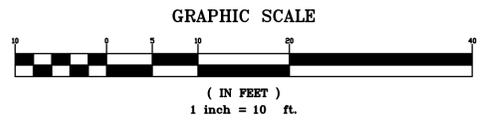
**BKF ENGINEERS**  
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 (415) 930-7900  
 www.bkf.com



**EROSION CONTROL LEGEND**

	STABILIZED CONSTRUCTION ENTRANCE/EXIT	
	FIBER ROLL	
	CONSTRUCTION FENCE BY OTHERS	

**NOTE:**  
 EROSION CONTROL PLAN REPRESENTS INITIAL CONDITION ONLY. UPDATES TO PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR.



A PLANNING APPLICATION FOR:  
**230 EL CAMINO, LLC.**  
 2 WEST 3RD AVE  
 SAN MATEO, CA 94401

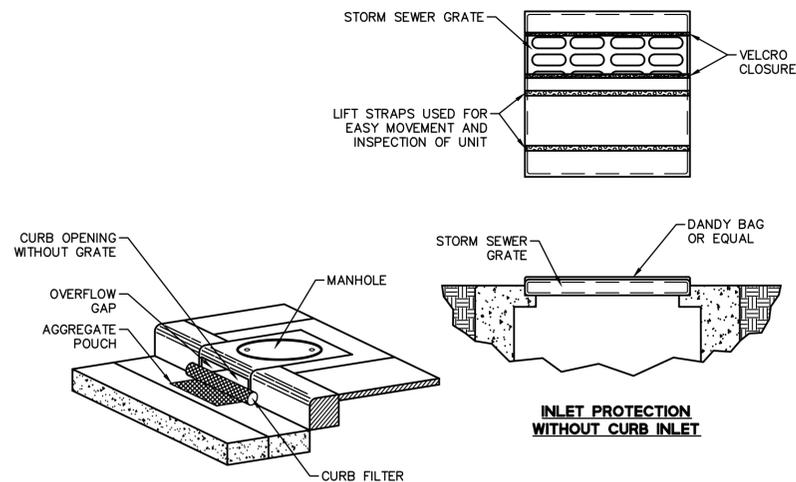
DATE	DESCRIPTION
8.01.2023	PLANNING SUBMITTAL

PRELIMINARY EROSION CONTROL PLAN

**C7.01**

PROJECT NO. 20181887

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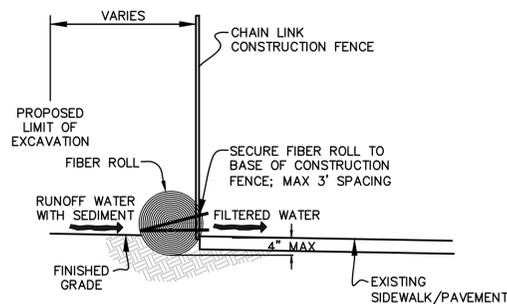


**INLET PROTECTION WITH CURB INLET**

**NOTES:**

1. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
2. PRIOR TO INSTALLATION, CLEAR THE AREA AROUND EACH INLET OF OBSTRUCTIONS, INCLUDING ROCKS, CLODS, AND DEBRIS GRATER THAN 1-IN DIAMETER.

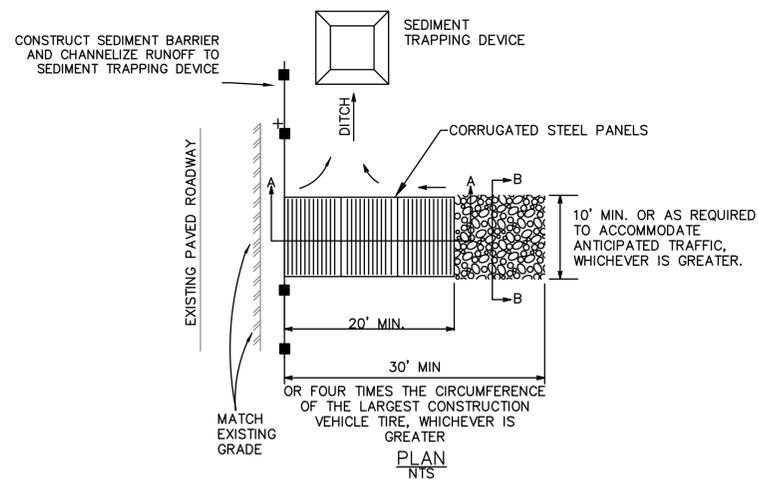
**1 CURB INLET SEDIMENT FILTER BAG PROTECTION**  
NTS



**NOTES:**

1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE ANCHORING OF THE ROLL TO THE BASE OF THE CONSTRUCTION FENCE IN A TRENCH, 3" TO 4" DEEP, AND WEIGHTED WITH A SAND OR RACK BAG TO PREVENT FIBER ROLL FROM FLOATATION OR UP LIFT.
2. ADJACENT ROLLS SHALL TIGHTLY ABUT.
3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

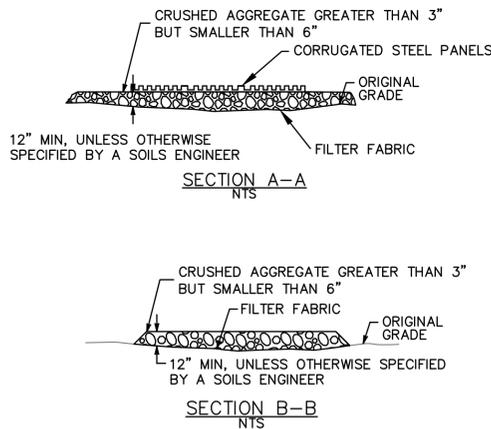
**2 FIBER ROLL**  
NTS



**NOTES:**

1. THE LOCATIONS SHOWN ARE FOR INFORMATION ONLY. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL ROCK AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USE TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY.
2. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED ROCK THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. SEDIMENT SHALL BE PREVENTED FROM ENTERING THE STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF INLET PROTECTION (E.G. GRAVELBAGS OR OTHER APPROVED METHODS).
3. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12".
4. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, OR 10', WHICHEVER IS LESS.

**3 STABILIZED CONSTRUCTION ENTRANCE**  
NTS



**EROSION AND SEDIMENT CONTROL NOTES:**

1. DEVELOPER: HABITAT  
851 BURLWAY RD, SUITE 710  
BURLINGAME, CA 94010  
CONTACT: ALEX MORTAZAVI (650) 579-4994

IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.

2. CIVIL ENGINEER: BKF ENGINEERS  
150 CALIFORNIA STREET, SUITE 600  
SAN FRANCISCO, CA 94111  
(415) 930-7900

3. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING AND AFTER STORM EVENTS.

4. DEVELOPER WILL SUBMIT TO THE CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCTOBER 15TH AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.

5. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING AND AFTER STORM EVENTS.

6. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR OTHER SUBSTANCE OVER A PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD THE HAUL MATERIAL BLOW, SPILL, OR TRACK OVER UPON SAID PUBLIC OR AND ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.

7. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

8. DURING THE RAINY SEASON, PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO THE STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.

9. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING THE POLLUTION ABATEMENT SHALL BE COMPLIED WITH.

10. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

11. THE CONTRACTOR SHALL UPDATE THE PLANS TO REFLECT CHANGING SITE CONDITIONS. PLAN UPDATES SHALL BE BASED UPON GENERAL SURVEY DATA. EROSION CONTROL EFFECTIVENESS SHALL ALSO BE MONITORED AND THE PLANS UPGRADED AS REQUIRED TO PREVENT SIGNIFICANT QUANTITIES OF SEDIMENT FROM ENTERING THE DOWNSTREAM DRAINAGE SYSTEM.

12. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STORM RUN OFF FROM LEAVING THE SITE. GRAVELBAGS, SILT FENCES AND FIBER ROLLS SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. EXISTING, TEMPORARY, OR PERMANENT CATCH BASINS SHALL USE ONE OF THE SEDIMENT BARRIERS SHOWN.

13. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO PUBLICLY AND/OR PRIVATELY OWNED AND MAINTAINED ROADS CAUSED BY THE CONTRACTOR'S GRADING ACTIVITIES, AND WILL BE RESPONSIBLE FOR THE CLEANUP OF MATERIAL SPILLED ON PUBLIC ROADS ON THE HAUL ROUTE, ADJACENT PUBLIC ROADS SHALL BE CLEANED AT THE END OF EACH WORKING DAY.

14. BEST MANAGEMENT PRACTICES AS DEFINED IN THE SWPPP SHALL BE OPERABLE YEAR ROUND.

15. THE NAME, ADDRESS AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE PROVIDED TO THE CONSTRUCTION MANAGER AND THE CITY.

16. TRUCK TIRES SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY.

17. STOCKPILED MATERIAL
- A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.
  - B. EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY, UNLESS STOCKPILING IS NECESSARY.
  - C. SURROUND STOCKPILES WITH PERIMETER SILT FENCES, FIBER ROLLS, APPROPRIATELY SIZED SECONDARY CONTAINMENT, OR OTHER RUNOFF CONTROLS.
  - D. STABILIZE INACTIVE STOCKPILES WITH SOIL STABILIZER AND/OR MULCH, OR COVER WITH A TARPAULIN.
  - E. COVER STOCKPILES OF CRUSHED AC OR PCC PAVEMENT WITH A TARPAULIN OR PROVIDE CASE-SPECIFIC DESIGNED SECONDARY CONTAINMENT AND SURROUND WITH APPROPRIATE RUNOFF CONTROLS.
  - F. USE INLET PROTECTION FOR STORM DRAIN STRUCTURES ADJACENT TO THE MATERIAL.
  - G. THOROUGHLY SWEEP PAVED AREAS EXPOSED TO SOIL EXCAVATION PLACEMENT.

18. IF NO WORK HAS PROGRESSED FOR A PERIOD OF 6-WEEKS, FINAL DRAINAGE AND EROSION CONTROL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH AN APPROVED WINTERIZATION PLAN.

19. SEDIMENT AND DEBRIS SHALL BE REMOVED FROM TEMPORARY BASINS AND DRAIN INLETS AFTER EACH STORM. SLOPES SHALL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.

20. PADS SHALL BE GRADED TO MINIMIZE STANDING WATER. SPECIFIC LOCATIONS REQUIRING SUPPLEMENTAL GRADING TO ACHIEVE ACCEPTABLE DRAINAGE SHALL BE DETERMINED BY THE CONSTRUCTION MANAGER.

21. STUBBED OUT ENDS OF PARTIALLY COMPLETED SUBDRAINS SHALL BE WRAPPED WITH AN APPROVED FABRIC TO PREVENT SOIL AND DEBRIS FROM ENTERING THE PIPE.

22. HAUL ROADS ARE CURRENTLY NOT SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE TAKEN TO MINIMIZE EROSION RELATED TO HAUL ROADS.

23. DISPOSAL AREAS FOR SEDIMENT TO BE DETERMINED IN FIELD. WHEN MATERIAL IS STOCKPILED, IT SHALL BE SURROUNDED BY FIBER ROLLS.

24. TEMPORARY AND PERMANENT SLOPES GREATER THAN 5 FEET SHALL BE SEEDED UNLESS OTHERWISE SHOWN ON THE PLAN.

25. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DURING GRADING OPERATION, BEFORE OCTOBER 1 AND PRIOR TO INSTALLATION OF STORM DRAINAGE SYSTEM. SUCH ADDITIONAL MEASURES WILL BE CONTINGENT UPON THE STAGE OF GRADING OPERATION. CONTRACTOR SHALL IMPLEMENT ANY ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED BY THE ENGINEER.

**EROSION AND SEDIMENT CONTROL MEASURES**

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.

2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.

3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.

4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS TO EXISTING PAVED STREETS. MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.

5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.

6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.

**MAINTENANCE NOTES**

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
- A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
  - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

A PLANNING APPLICATION FOR:  
**230 EL CAMINO, LLC.**  
 2 WEST 3RD AVE  
 SAN MATEO, CA 94401

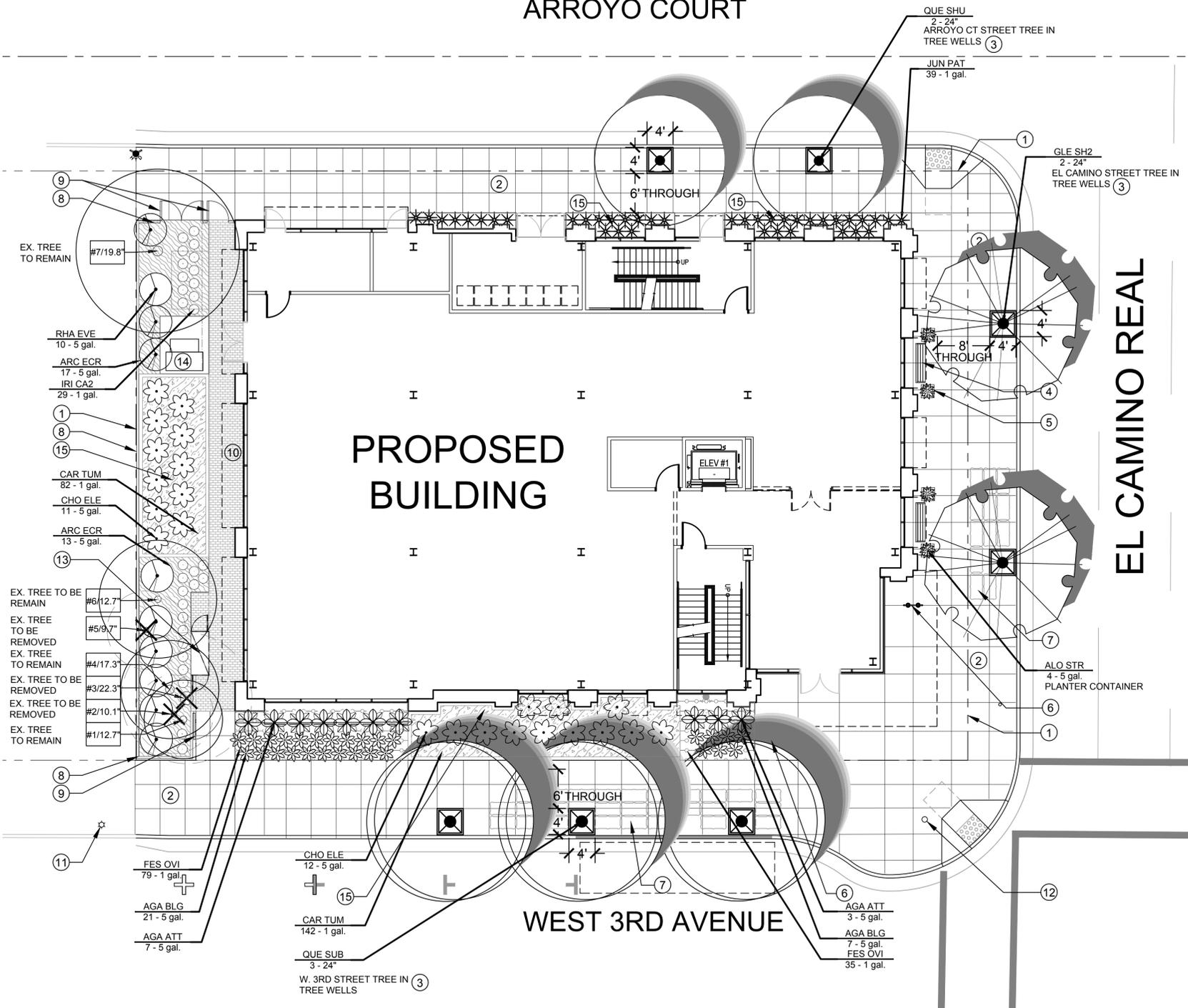
DATE	DESCRIPTION
8.01.2023	PLANNING SUBMITTAL

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# ARROYO COURT



**PROPOSED BUILDING**

**EL CAMINO REAL**

**WEST 3RD AVENUE**

**SITE PLAN**

SCALE: 1" = 10'-0"



## LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED
- SHRUB AND GROUND COVER AREA
- TREE # / TRUNK DIAMETER

## KEYNOTES

- ① PROPERTY LINE
- ② SIDEWALK
- ③ STREET TREES IN TREE WELLS WITH SAN MATEO STANDARD TREE GRATES. ALL STREET TREES TO BE IRRIGATED
- ④ BENCH
- ⑤ PLANTER CONTAINER
- ⑥ BIKE RACKS
- ⑦ SILVA CELLS AT STREET TREES (BELOW GRADE)--SEE CIVIL ENGINEERING PLANS
- ⑧ FENCE--6 FT HIGH
- ⑨ GATE--6 FT HIGH
- ⑩ COURTYARD OPEN SPACE (PERMEABLE CONCRETE PAVERS)
- ⑪ EXISTING STREETLIGHT
- ⑫ EXISTING STREETLIGHT ON TRAFFIC SIGNAL POST
- ⑬ BIKE LOCKER
- ⑭ TRANSFORMER
- ⑮ STORMWATER TREATMENT AREAS--SEE CIVIL ENGINEERING PLANS

## NOTES

### PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	QTY	DETAIL	REMARKS	
	GLE SH2	Gleditsia triacanthos inermis 'Shademaster' / Shademaster Honey Locust	24"	Box	L	2			
	QUE SHU	Quercus shumardii / Shumard Oak	24"	Box	M	2			
	QUE SUB	Quercus suber / Cork Oak	24"	Box	L	3			
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	QTY	DETAIL	REMARKS	
	AGA ATT	Agave attenuata / Foxtail Agave	5 gal.	Pot	L	10			
	AGA BLG	Agave x 'Blue Glow' / Blue Glow Agave	5 gal.	Pot	L	28			
	ALO STR	Aloe striata / Coral Aloe	5 gal.	Pot	L	4			
	CHO ELE	Chondropetalum elephantinum / Large Cape Rush	5 gal.	L	L	23		Stormwater species	
	IRI CA2	Iris douglasiana PCH 'Canyon Snow' / Canyon Snow Iris	1 gal.	Pot	L	29			
	JUN PAT	Juncus patens / California Gray Rush	1 gal.	Pot	L	39		Stormwater species	
	RHA EVE	Rhamnus californica 'Eve Case' / Eve Case Coffeeberry	5 gal.	Pot	L	10			
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	WUCOLS	SPACING	QTY	DETAIL	REMARKS
	ARC ECR	Arctostaphylos edmundsii 'Carmel Sur' / Carmel Sur Little Sur Manzanita	5 gal.	Pot	L	36" o.c.	30		
	CAR TUM	Carex tumulicola / Foothill Sedge	1 gal.	Pot	L	15" o.c.	224		Stormwater species
	FES OVI	Festuca ovina glauca 'Elijah Blue' / Elijah Blue Fescue	1 gal.	Pot	L	15" o.c.	114		



Taniguchi Landscape Architecture  
 1013 South Claremont St. Ste 1  
 San Mateo, CA 94401  
 tel. 650.638.9985  
 fax. 650.638.9996

In Association with:

A Planning Application for:  
**230 EL CAMINO, LLC.**  
 2 WEST 3RD AVE  
 SAN MATEO, CA 94401

DATE: 8.01.2023 DESCRIPTION: PLANNING SUBMITTAL

SCHEMATIC LANDSCAPE PLAN

L-1

PROJECT NO: TLA# 1901

Ref.	Species Name	Botanical Name	Fate: Preserve/Remove	Species Value %	Condition Value %	Location Value %	0.35	Caliper Inches	.70 if in allowable bldg. area	1.25 if Heritage Tree	LU Value
1	Coast live oak	<i>Quercus agrifolia</i>	P	90%	50%	75%	0.35	13.5	1.00	1.25	16.27
2	Coast live oak	<i>Quercus agrifolia</i>	R	90%	30%	40%	0.35	10.3	1.00	1.25	3.97
3	Valley oak	<i>Quercus lobata</i>	R	90%	30%	40%	0.35	22.3	1.00	1.25	8.60
4	Coast live oak	<i>Quercus agrifolia</i>	P	90%	60%	75%	0.35	18.5	1.00	1.25	26.76
5	Coast live oak	<i>Quercus agrifolia</i>	R	90%	35%	40%	0.35	11.1	1.00	1.25	5.00
6	Coast live oak	<i>Quercus agrifolia</i>	P	90%	55%	75%	0.35	13.6	1.00	1.25	18.03
7	Coast live oak	<i>Quercus agrifolia</i>	P	90%	70%	80%	0.35	22.2	1.00	1.25	39.96